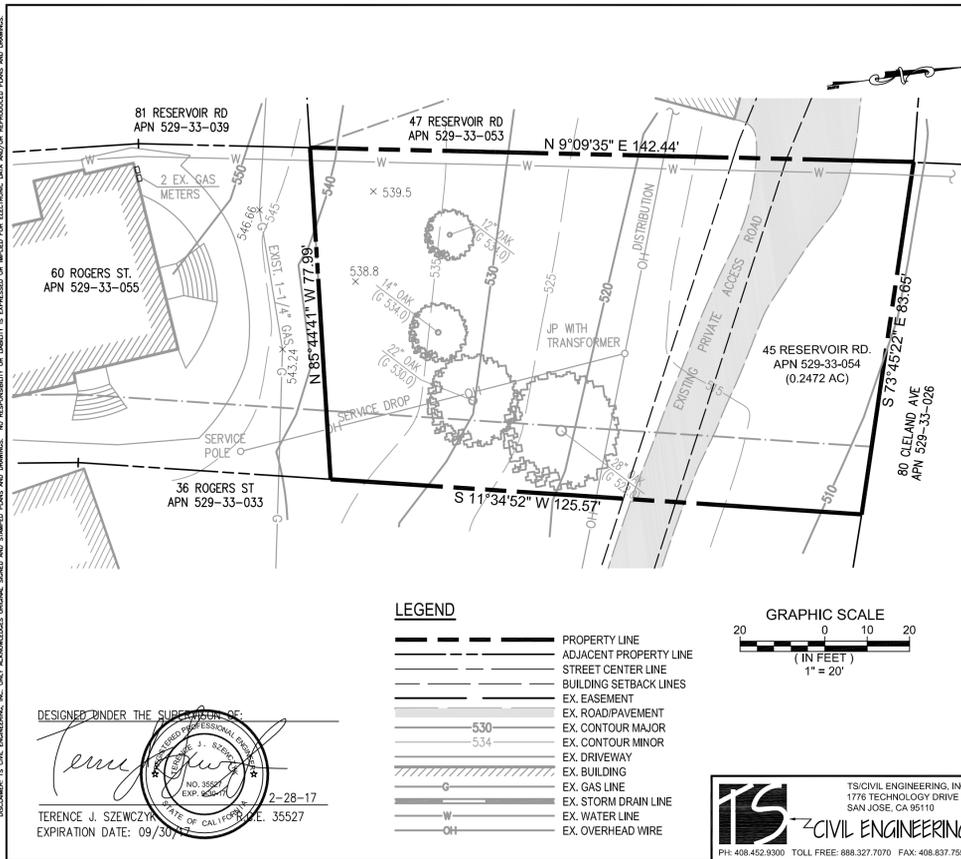


DISCLAIMER: TS/CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND DATED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.

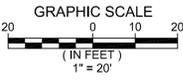


DESIGNED UNDER THE SUPERVISION OF:

 TERENCE J. SZEWCZYK
 EXPIRATION DATE: 09/30/17

LEGEND

- — — — — PROPERTY LINE
- — — — — ADJACENT PROPERTY LINE
- — — — — STREET CENTER LINE
- — — — — BUILDING SETBACK LINES
- — — — — EX. EASEMENT
- — — — — EX. ROAD/PAVEMENT
- — — — — EX. CONTOUR MAJOR
- — — — — EX. CONTOUR MINOR
- — — — — EX. DRIVEWAY
- — — — — EX. BUILDING
- — — — — EX. GAS LINE
- — — — — EX. STORM DRAIN LINE
- — — — — EX. WATER LINE
- — — — — EX. OVERHEAD WIRE



AVERAGE SLOPE

ELEVATION	CONTOUR LENGTH
510	17'
520	75'
530	79'
540	37'
TOTAL	210'

$S = \frac{(0.00229)(10)(210)}{0.2472}$

$S = 19.45\%$

SEC. 29.40.250 - DENSITY FORMULAE

- (A) THE MINIMUM LAND AREA REQUIRED FOR EACH DWELLING UNIT IN ANY SUBDIVISION IS DETERMINED BY THE FOLLOWING SLOPE DENSITY REGULATIONS:
 (1) THE AVERAGE SLOPE OF LAND PROPOSED TO BE SUBDIVIDED IS DETERMINED ACCORDING TO THE FORMULA:

$S = \frac{(0.0023)(A)(L)}{(A)}$

WHERE:

S IS THE AVERAGE SLOPE IN PERCENT (FOR EXAMPLE, 40% IS WRITTEN 40.0).

I IS THE CONTOUR INTERVAL IN FEET.

L IS THE COMBINED LENGTH OF CONTOUR LINES IN FEET.

A IS THE GROSS AREA IN ACRES OF THE PARCEL, NOT INCLUDING THE RIGHT-OF-WAY OF EXISTING PUBLIC ROADS.

A TOPOGRAPHIC MAP SHALL BE USED WHICH MEETS THE REQUIREMENTS FOR OBTAINING APPROVAL OF TENTATIVE MAPS.

CONTOUR INTERVALS SHALL NOT EXCEED TEN (10) FEET ELEVATION CONTOUR LENGTH

TS CIVIL ENGINEERING
 TS/CIVIL ENGINEERING, INC.
 1776 TECHNOLOGY DRIVE
 SAN JOSE, CA 95110
 PH: 408.452.9300 TOLL FREE: 888.327.7070 FAX: 408.837.7550

AVERAGE SLOPE EXHIBIT
 LANDS OF MICHAEL XU
 45 RESERVOIR ROAD
 LOS GATOS 95032-7031
 APN 529-33-054

DATE: 2-28-17
 SCALE: 1"=20'
 DRAWN: DKH
 CHECKED: TJS
 ENGINEER: TJS
 JOB NO.: 16-268

61 East Main Street, Suite D
 Los Gatos, CA 95030
 Phone: 408-595-8016
 Fax: 408-595-5732
 terry@tjma-arch.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
 RESIDENTIAL & COMMERCIAL ARCHITECTURE
 License # 623221

Dates & Revisions	
Technical Review Resubmittal	01/29/2018
Architecture & Site Permit Submittal	03/28/2017
Rev. Description	Date:

XU RESIDENCE
 Custom Home
 45 Reservoir Rd
 Los Gatos, CA 95030

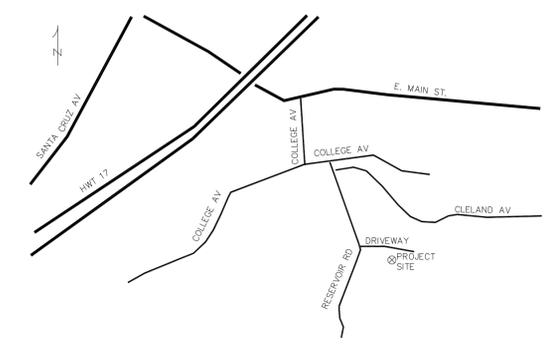
Print Date: 01/29/2018
 Project: #16045
 Scale:
 Drawn by:

Sheet Title:
AVERAGE SLOPE EXHIBIT
 (For Reference Only)

C-0

PLANS FOR CONSTRUCTION OF A NEW HOME

45 RESERVOIR ROAD LOS GATOS, CALIFORNIA



VICINITY MAP
SCALE: NONE

TOWN OF LOS GATOS STANDARD GRADING NOTES

1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408)399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHALL INCLUDE:
 - a.) A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - b.) ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY RO EITHER PUBLIC PROPERTY OR PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIR BORN PARTICULATES.
- THE CONTRACTOR SHALL WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - a.) RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - b.) TOE AND TOP OF FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THE DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.

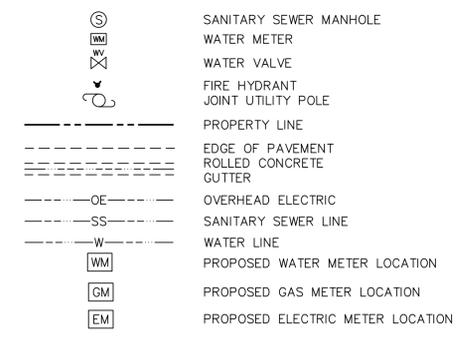
SOILS ENGINEERS: _____
REFERENCE REPORT NO.: _____
LETTER NO. _____ DATED _____, 20____, SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ONSITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION ADN TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.

15. ALL PRIVATE AN PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMALWRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS, AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
17. OWNER/APPLICANT: _____ (____) _____
18. GENERAL CONTRACTOR: _____ PHONE: _____
19. GRADING CONTRACTOR: _____ PHONE: _____
20. a.) CUT: 550 CY EXPORT: 445 CY
b.) FILL: 105 CY IMPORT: 0 CY
21. WATER SHALL BE AVAILABLE ON SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO APPROVAL OF ALL PLANS.
23. A TOWN ENCROACHMETNT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENT AGENCIES.
24. NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOE AD APPROVED BY THE TOWN ENGINEER.
25. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
26. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OF PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR STREET WILL NOT BE ALLOWEDUNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENCE.
27. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLAN (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWEDONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMETN BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AN ADQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

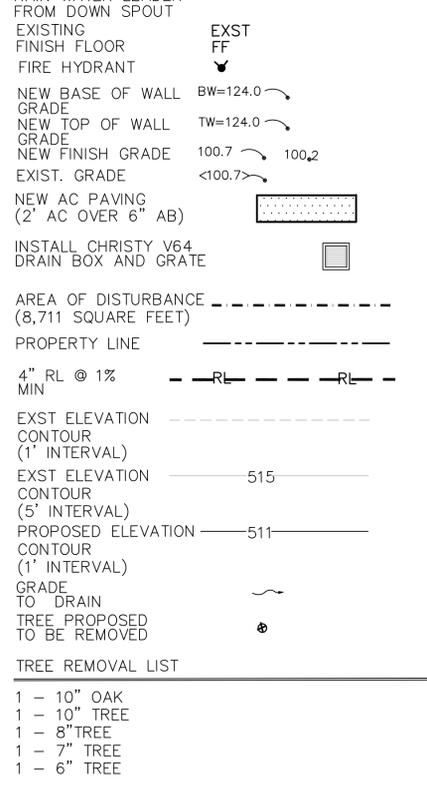
SHEET INDEX

SHEET	DESCRIPTION
C1	COVER SHEET
C2	GRADING PLAN
C3	CROSS SECTIONS, DETAIL
C4	WATER POLLUTION CONTROL PLAN
C5	BLUE PRINT FOR A CLEAN BAY
C6	TOPOGRAPHIC MAP
C7	UTILITY PLAN, DRIVEWAY PROFILE

LEGEND (UTILITY PLAN)

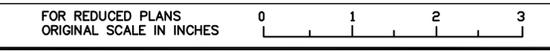


LEGEND (GRADING PLAN)



**APPROVED FOR GRADING
AND DRAINAGE ONLY**
PARKS AND PUBLIC WORKS DEPARTMENT
LOS GATOS, CALIFORNIA

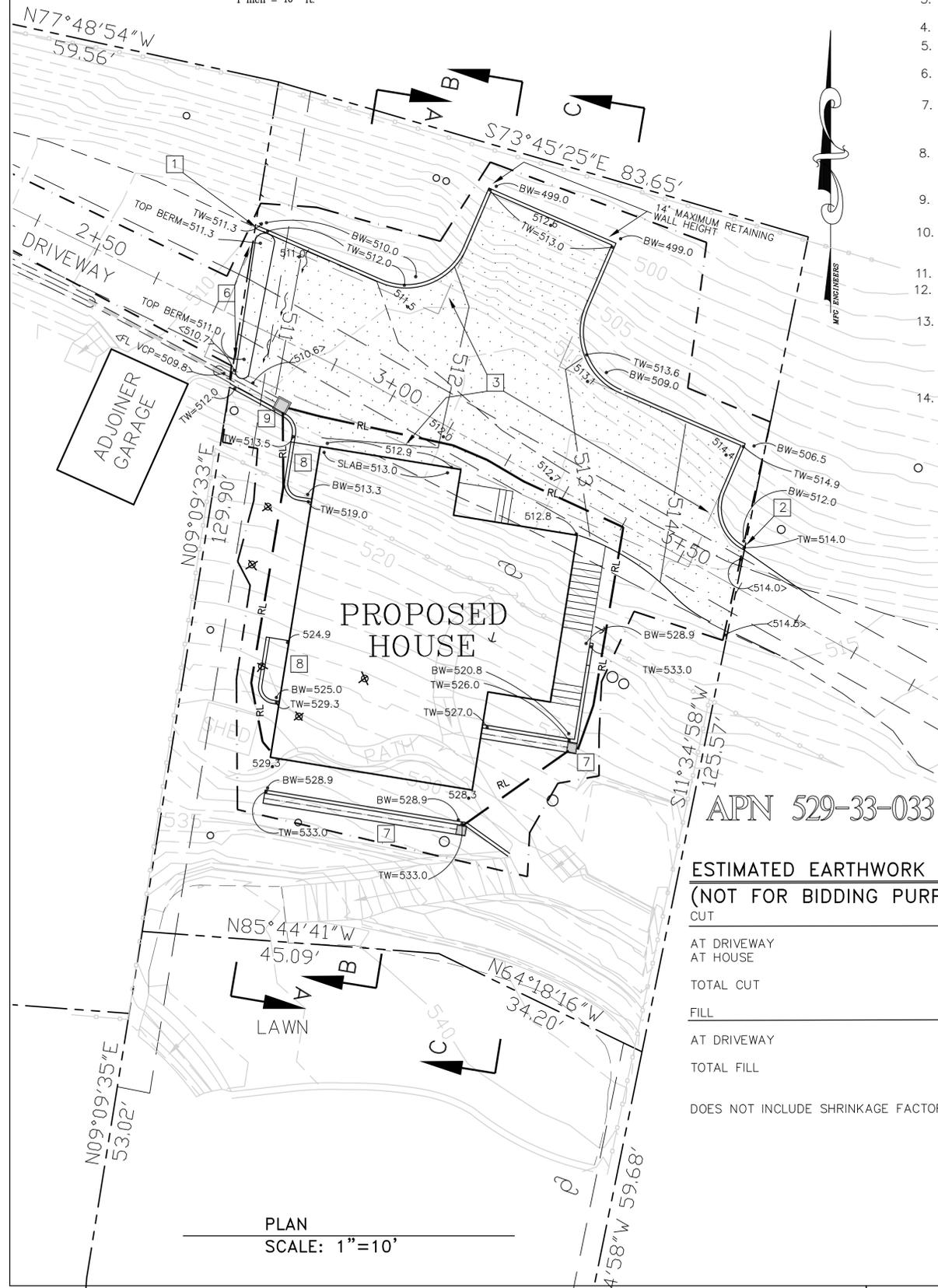
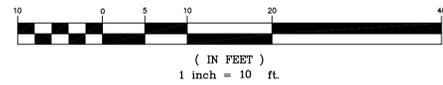
Project Engineer _____ Date _____
Permit Number _____ Expiration Date _____



SHEET NAME: _____ DRAWING NAME: _____

REVISION	DATE	BY	
1	10/24/18	MFG	RESPOND TO PLAN CHECK COMMENTS CHANGED HOUSE & DRIVEWAY DESIGN
PROJECT ENGINEER MICHAEL F. GOODHUE, P.E., L.S. PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519			
45 RESERVOIR ROAD, LOS GATOS GRADING AND DRAINAGE PLAN			
DRAWN: MFG			
CHECKED: MFG			
DATE: 10/2016			
SCALE: NONE			
JOB NO.			
SHEET			
C1 OF 7			

GRAPHIC SCALE



GENERAL NOTES

1. ALL RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION ARE HEREBY INCORPORATED BY REFERENCE.
2. THE SOILS REPORT WAS PREPARED BY _____ (_____) _____
3. THE INTENT OF THIS PLAN IS TO PROVIDE FOR GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF LOS GATOS.
4. TOP SOIL SHALL BE STRIPPED AND STOCK PILED BEFORE GRADING.
5. NATIVE MATERIAL USED FOR FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
6. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
7. STORM DRAIN PIPE SHALL BE POLY VINYL CHLORIDE CONFORMING TO ASTM D 3034, SDR 35 OR APPROVED EQUIVALENT SMOOTH WALL PIPE. CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS.
8. CONTRACTOR SHALL TIE ALL DOWNSPOUTS INTO THE NEW STORM DRAIN SYSTEM WITH WATER TIGHT 4" DIAMETER RAIN WATER LEADERS. PROVIDE AIR GAP WHERE LEADERS GO UNDER GROUND.
9. CONTRACTOR SHALL GRADE THE INVERTS OF ALL DRAIN BOXES AND INSTALL ALL STORM DRAIN PIPING TO DRAIN SO AS TO ELIMINATE ALL STANDING WATER.
10. CONTRACTOR SHALL GRADE TO PROVIDE 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 5 FEET IN LOCATIONS WERE CONCRETE SWALE OR CONCRETE FLAT WORK IS NOT INSTALLED.
11. DIRT AND DEBRIS SHALL NOT BE WASHED INTO STORM DRAINAGE FACILITIES.
12. AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS.
13. ASPHALT CONCRETE (AC) SHALL BE 1/2" MAXIMUM TYPE "B" IN CONFORMANCE WITH SECTION 39 OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS. ASPHALT SHALL BE PG-6410 AND AMOUNT TO BE MIXED WITH THE AGGREGATE SHALL BE BETWEEN 5 AND 7 PERCENT BY WEIGHT OF DRY AGGREGATE. ASPHALT FOR AC CURBS SHALL BE PG-6410 WITH 3/8" MAXIMUM SIZE AGGREGATE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY 24 HOURS A DAY DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY.

PROPOSED IMPROVEMENT NOTES

- 1 BEGIN RETAINING WALL, STRUCTURAL DESIGN BY OTHERS. SEE CROSS SECTIONS ON SHEET C3.
- 2 END RETAINING WALL.
- 3 FIRE DEPARTMENT TURN AROUND TEMPLATE, SEE SHEET C3 FOR REQUIRED DIMENSIONS
- 4 NOT USED
- 5 NOT USED
- 6 INSTALL ROLLED AC BERM TO GRADES SHOW. THE INTENT OF THIS BERM IS TO DIRECT RUNOFF TOWARDS EXISTING AC SWALE.
- 7 INSTALL 18" WIDE 3" (MIN) DEEP CONCRETE VEE GUTTER AT 1% MIN SLOPE, AT REAR WALL OF HOUSE, 6" THICK 3#3 TRANSVERSE GRADE 40 REBAR. INSTALL 12"x18" DRAIN INLET. TIE DRAIN INLET INTO RAIN WATER LEADER SYSTEM.
- 8 INSTALL RETAINING WALL AT HOUSE, STRUCTURAL DESIGN BY OTHERS.
- 9 INTSTALL CHRISTY V64 DRAIN BOX, CONCRETE INVERT=509.9, GRATE=512.0. KNOCK OUT END TO ALLOW FLOW INTO EXISTING SWALLE. REPAVE EXISTING SWALE. SEE DETAIL 1 (DRAIN BOX), THIS SHEET.

ESTIMATED EARTHWORK
(NOT FOR BIDDING PURPOSES)

CUT	
AT DRIVEWAY	25 CUBIC YARDS
AT HOUSE	525 CUBIC YARDS
TOTAL CUT	550 CUBIC YARDS
FILL	
AT DRIVEWAY	105 CUBIC YARDS
TOTAL FILL	105 CUBIC YARDS

DOES NOT INCLUDE SHRINKAGE FACTOR FOR FILL

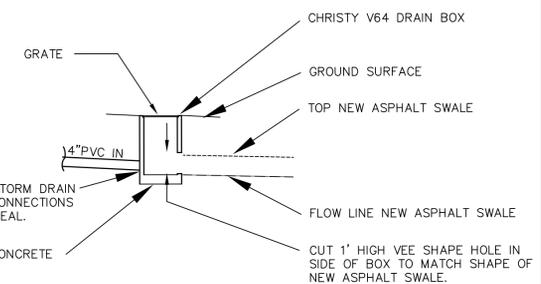
IMPERVIOUS AREA CALCULATIONS

EXISTING IMPERVIOUS AREA	
SHED	96 SF
DRIVEWAY	1,255 SF
TOTAL EXSTING IMPERVIOUS AREA	1,351*SF
PROPOSED IMPERVIOUS AREA	
ASPHALT DRIVEWAY	2,334 SF
NEW HOUSE	2,080 SF
TOTAL PROPOSED IMPERVIOUS AREA	4,414 SF
IMPERVIOUS AREA TO BE REMOVED	1,351 SF
NEW IMPERVIOUS AREA	4,414 SF
NET IMPERVIOUS AREA TO BE ADDED	3,063 SF

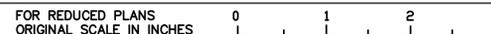
*IMPERVIOUS AREA TO BE REMOVED

LEGEND

- RAIN WATER LEADER FROM DOWN SPOUT RL
- EXISTING FINISH FLOOR EXST
- FINISH FLOOR FF
- FIRE HYDRANT
- NEW BASE OF WALL BW=124.0
- GRADE
- NEW TOP OF WALL TW=124.0
- GRADE
- NEW FINISH GRADE 100.7 100.2
- EXIST. GRADE <100.7
- NEW AC PAVING (2" AC OVER 6" AB)
- INSTALL CHRISTY V64 DRAIN BOX AND GRATE
- AREA OF DISTURBANCE (8,711 SQUARE FEET)
- PROPERTY LINE
- 4" RL @ 1% MIN
- EXIST ELEVATION CONTOUR (1" INTERVAL)
- EXIST ELEVATION CONTOUR (5" INTERVAL) 515
- PROPOSED ELEVATION CONTOUR (1" INTERVAL) 511
- GRADE TO DRAIN
- TREE PROPOSED TO BE REMOVED
- TREE REMOVAL LIST
- 1 - 10" OAK
- 1 - 10" TREE
- 1 - 8" TREE
- 1 - 7" TREE
- 1 - 6" TREE

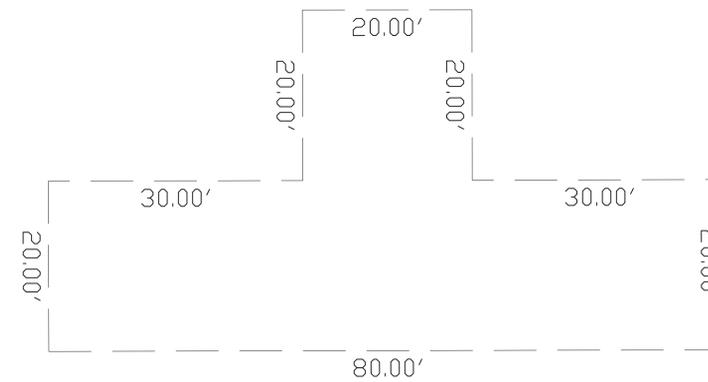
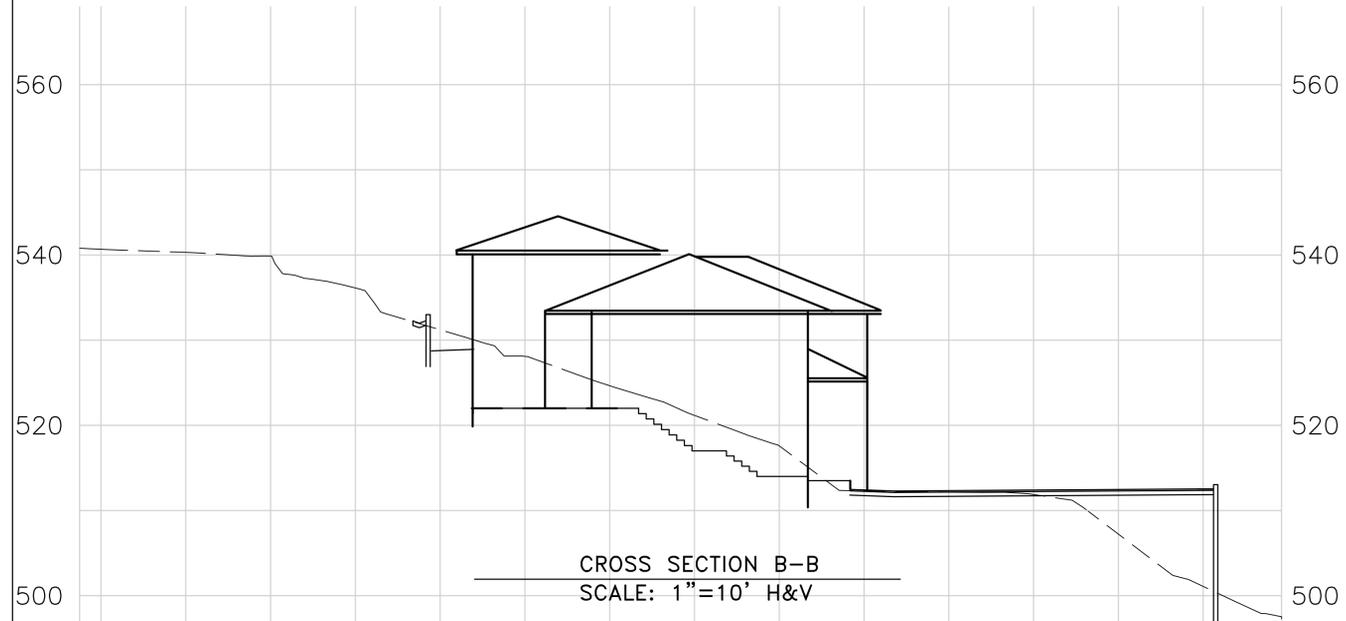
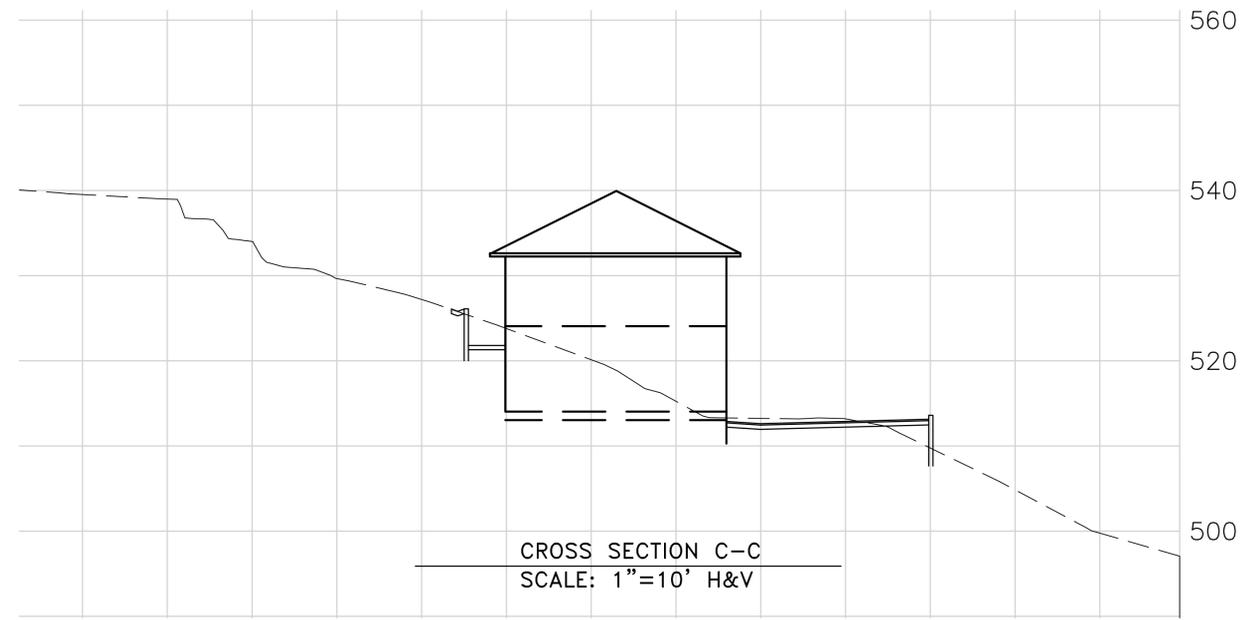
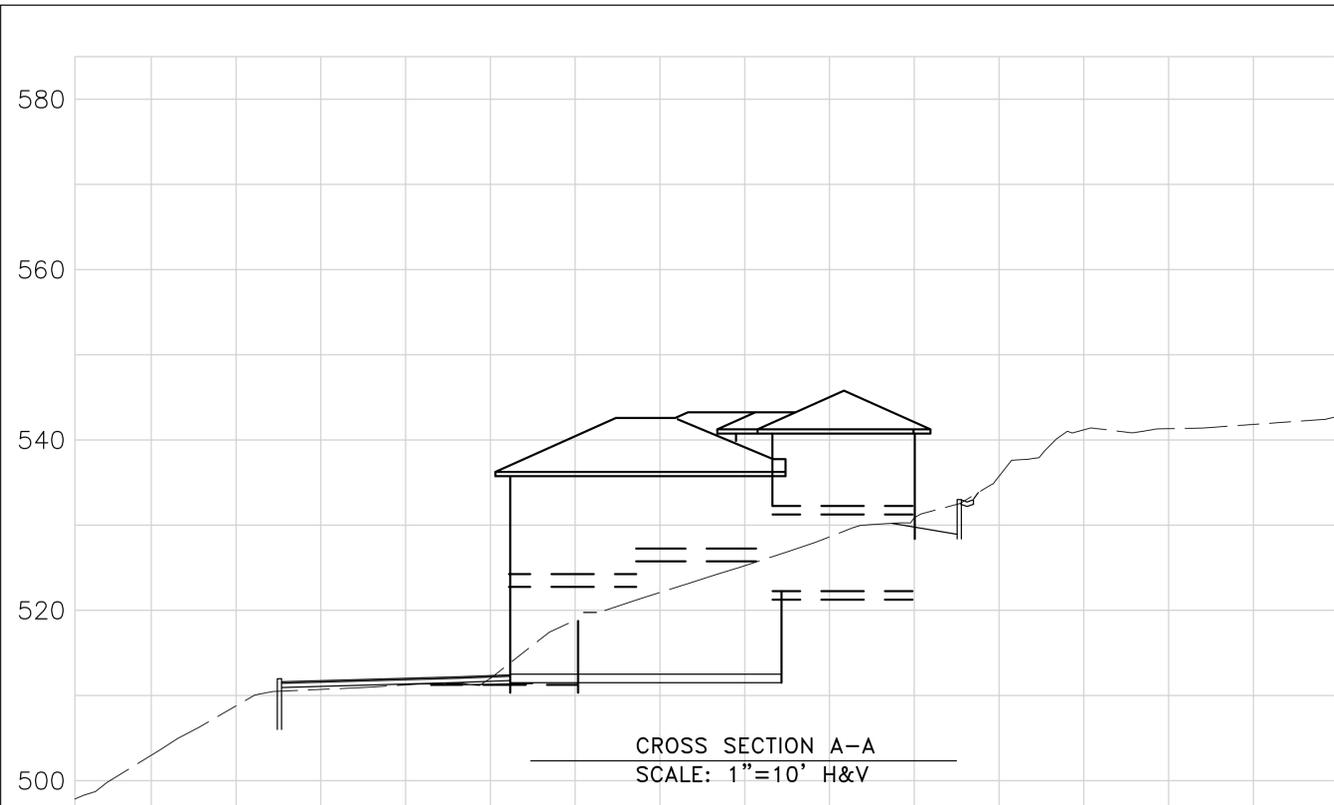


DETAIL 1
DRAIN BOX
SCALE: 1"=10'



SHEET NAME: DRAWING NAME:

BY MFG	REVISION 1	RESPOND TO PLAN CHECK COMMENTS CHANGED HOUSE & DRIVEWAY DESIGN	DATE 10/24/18	LAND SURVEYOR MICHAEL E. GOODRICH No. 4874 Exp. 12/31/21 STATE OF CALIF.	PROFESSIONAL ENGINEER MICHAEL E. GOODRICH No. 4874 Exp. 12/31/21 STATE OF CALIF.	PROJECT ENGINEER MFG Engineers, Inc PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519	APN 529-33-054	GRADING & DRAINAGE PLAN	45 RESERVOIR ROAD, LOS GATOS, CA
DRAWN: MFG									
CHECKED: MFG									
DATE: 10/2016									
SCALE: 1"=10'									
JOB NO.									
SHEET									
C2 OF 7									



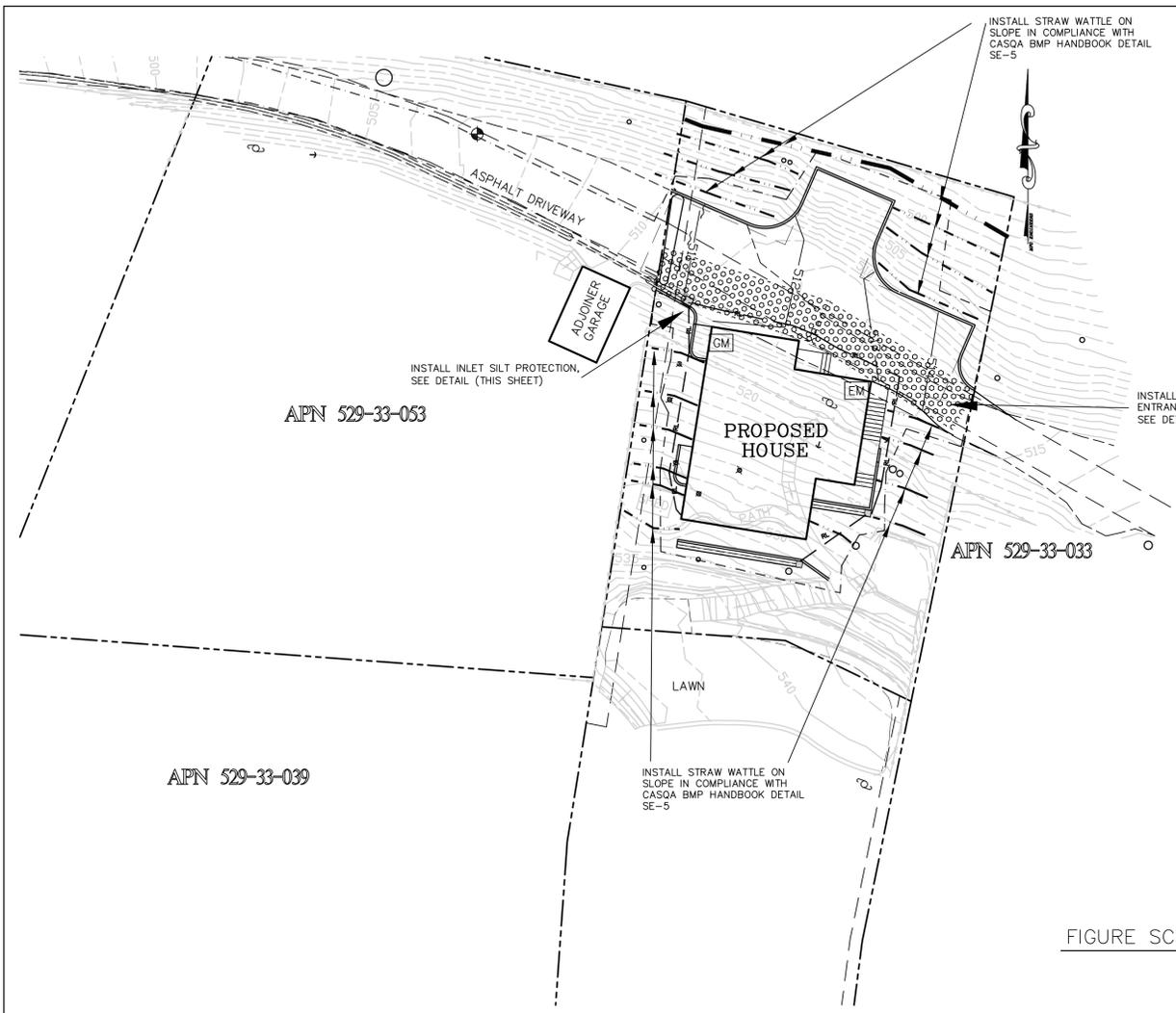
FIRE DEPARTMENT REQUIRED
TURN AROUND DIMENSIONS

FOR REDUCED PLANS
ORIGINAL SCALE IN INCHES

SHEET NAME:

DRAWING NAME:

BY MFG	REVISION RESPOND TO PLAN CHECK COMMENTS	DATE 10/24/18	LAND SURVEYOR MICHAEL F. GOODRINE No. 43754 Exp. 12/31/21	PROFESSIONAL ENGINEER MICHAEL F. GOODRINE No. 43754 Exp. 12/31/21
	CHANGED HOUSE & DRIVEWAY DESIGN		LAND SURVEYOR MICHAEL F. GOODRINE No. 43754 Exp. 12/31/21	PROFESSIONAL ENGINEER MICHAEL F. GOODRINE No. 43754 Exp. 12/31/21
PROJECT ENGINEER MFG Engineers, Inc PO BOX 1914 APTOS, CA. 95001 CEL (831) 601-9519		APN 529-33-054 CROSS SECTIONS, DETAIL 45 RESERVOIR ROAD, LOS GATOS, CA		
DRAWN: MFG		DATE: 10/2016		
CHECKED: MFG		SCALE: NOTED		
JOB NO.		SHEET		
C3 OF 7				



LEGEND

- RAIN WATER LEADER FROM DOWN SPOUT RL
- EXISTING FINISH FLOOR EXST
- FIRE HYDRANT
- NEW BASE OF WALL GRADE BW=124.0
- NEW TOP OF WALL GRADE TW=124.0
- NEW FINISH GRADE 100.7
- EXIST. GRADE <100.7>
- NEW AC PAVING (2' AC OVER 6" AB)
- INSTALL CHRISTY V64 DRAIN BOX AND GRATE
- AREA OF DISTURBANCE (8,711 SQUARE FEET)
- PROPERTY LINE
- 4" RL @ 1% MIN
- EXST ELEVATION CONTOUR (1' INTERVAL)
- EXST ELEVATION CONTOUR (5' INTERVAL) 515
- PROPOSED ELEVATION CONTOUR (1' INTERVAL) 511
- GRADE TO DRAIN
- TREE PROPOSED TO BE REMOVED

EROSION CONTROL REQUIREMENTS

- THE FOLLOWING EROSION CONTROL AND HOUSE KEEPING MEASURES ARE INTENDED TO CONTROL THE RELEASE OF SILT, DUST, GARBAGE AND ANY OTHER POLLUTANTS FROM THE SITE OR INTO THE ATMOSPHERE AND SOIL DURING CONSTRUCTION. THESE MEASURES ARE INTENDED TO COMPLY WITH FEDERAL, STATE AND LOCAL REQUIREMENTS THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMP'S) LISTED BELOW.
- COVER OF BARE SOIL:** ONE OF THE FOLLOWING MEASURES SHALL BE USED TO COVER BARE SOIL DURING THE WINTER SEASON (OCTOBER 15TH TO APRIL 15TH);

SEED AND STRAW MULCH: SEED AND STRAW MULCH SHALL BE USED IN DISTURBED AREAS AS A MEANS FOR TEMPORARY EROSION CONTROL UNTIL PERMANENT STABILIZATION IS ESTABLISHED. IT MAY BE USED ON SLOPES UPTO 3:1 H:V (33%).

SEED AND STRAW MULCH SHALL CONSIST OF SPREADING SEED (A MINIMUM OF 5 LBS/1000 SQ FT) OVER DISTURBED AREAS AND THEN PLACING A UNIFORM LAYER OF STRAW (2-3 BALES/1000 SQ FT) AND INCORPORATING IT INTO THE SOIL WITH A STUDDED ROLLER OR ANCHORING IT WITH A TACKIFIER STABILIZING EMULSION.

SEED SHALL BE ANNUAL WINTER BARLEY AND THE STRAW SHALL BE DERIVED FROM RICE BARLY OR WHEAT.

EROSION CONTROL BLANKETS (GEOTEXTILE OR EROSION MATS) EROSION CONTROL BLANKETS ARE REQUIRED ON SLOPES STEEPER THAN 3:1, HOWEVER THEY MAY BE USED ON GROUND SURFACES FLATTER THAN 3:1 IN LIEU OF SEED AND STRAW MULCH. SEEDING MUST BE PLACED ON THE DISTURBED GROUND PRIOR TO PLACEMENT OF THE EROSION CONTROL BLANKET AND DESCRIBED IN THE SEED AND STRAW MULCH SECTION ABOVE.
 - SEDIMENT CONTROL:**

FIBER ROLLS (WATTLES) SHALL BE PLACED AT THE DOWN SLOPE PERIMETER OF DISTURBANCE LIMITS TO PREVENT OR LIMIT SEDIMENT FROM LEAVING THE SITE. IN URBAN AREAS OR SITES DIRECTLY ADJACENT TO STREETS, FIBER ROLLS SHALL BE PLACED AT THE BACK OF SIDEWALK OR CURB TO LIMIT SEDIMENT FROM ENTERING THE STREET.

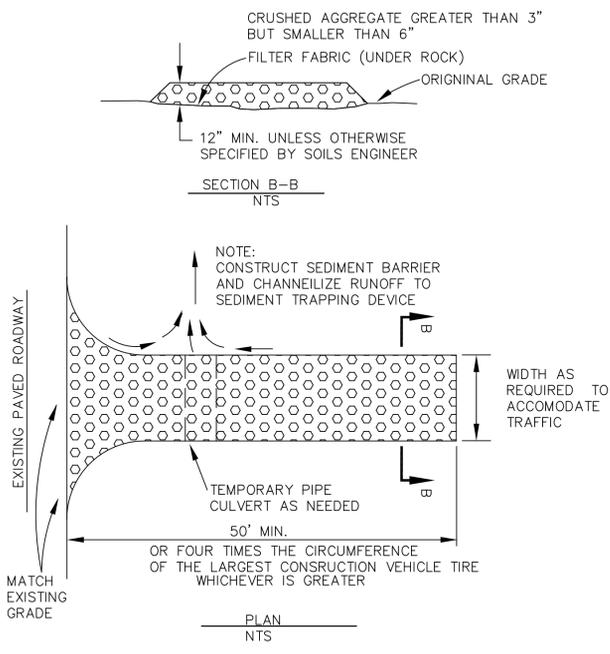
STORM DRAIN INLET PROTECTION: ALL STORM DRAIN INLETS ON THE SITE (NEW AND EXISTING) AND EXISTING DOWNSTREAM OFFSITE INLETS SHALL RECEIVE STORM DRAIN INLET PROTECTION AS SHOWN ON THE STORM DRAIN INLET PROTECT DETAIL ON THIS PLAN.
 - STABILIZED CONSTRUCTION EXIT:** A STABILIZED CONSTRUCTION EXIT IS SHOWN FOR THIS PROJECT. CONTRACTOR SHALL EFFECTIVELY LIMIT OFF SITE TRACKING BY SWEEPING THE STREET DAILY IF NECESSARY AND BY OTHER MEANS AS DEVISED BY THE CONTRACTOR OR DIRECTED BY THE COUNTY INSPECTOR.
 - ROCKED ACCESS AREAS:** CONTRACTOR SHALL PROVIDE A ROCKED ACCESS AREA WERE CONSTRUCTION VEHICLES PARK, TRAVEL AND WORK. ROCKED ACCESS AREAS SHALL CONSIST OF 6" OF COMPACTED BASE ROCK OR DRAIN ROCK. ROCKED ACCESS AREAS ARE INTENDED TO KEEP CONSTRUCTION VEHICLES OFF OF BARE SOIL.
 - HOUSE KEEPING REQUIREMENTS:**

DUST CONTROL/WIND EROSION CONTROL: CONTRACTOR SHALL EFFECTIVELY LIMIT DUST AND WIND EROSION BY WATERING THE SITE AS NEEDED AND KEEPING ALL MATERIAL STOCK PILES COVERED WHEN NOT IN USE.

CONSTRUCTION MATERIALS: ALL LOOSE OF STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL SPOILS, AGGREGATE FLY ASH, STUCCO, HYDRATED LIME, ETC) SHALL BE COVERED AND BERMED. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED, COMPLETELY ENCLOSED. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE THOSE MATERIALS AND EQUIPMENT THAT ARE INTENDED TO BE OUTSIDE. BEST MANAGEMENT PRACTICES TO LIMIT AND PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION MATERIALS SHALL BE IMPLEMENTED.

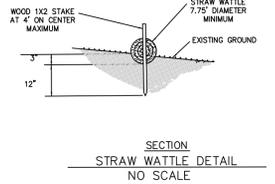
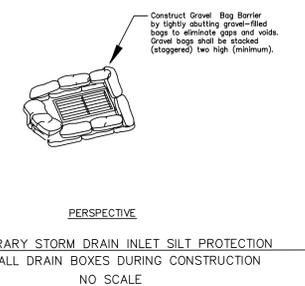
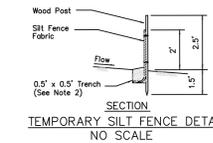
WASTE MANAGEMENT: DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PERVIOUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS. PORTABLE TOILETS SHALL BE LOCATED A MINIMUM OF 20' FROM DRAIN INLETS, STREETS, DRIVEWAYS, DRAINAGE FACILITIES, STREAMS OR OTHER RIPARIAN AREAS. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY AND CLEANED AND REPLACED AS NECESSARY. COVER WASTE AND DISPOSAL CONTAINERS AT THE END OF EACH WORK DAY AND DURING EACH RAIN EVENT. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE SO THAT SPILLS AND LEAKS CAN AND SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT CONTAIN POSSIBLE POLLUTANTS SHALL BE CONSTRUCTED TO EFFECTIVELY CONTAIN POLLUTANTS SO THAT THERE IS NO DISCHARGE INTO THE SOIL OR SURROUNDING AREA.
 - VEHICLE STORAGE & MAINTENANCE:** MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE OR FUEL FROM LEAKING ONTO THE GROUND OR INTO STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
 - LANDSCAPE MATERIALS:** CONTAIN STOCKPILED AND STORED MATERIALS SUCH AS MULCHES, TOPSOIL, FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT BEING ACTIVELY USED. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIALS WITHIN 2 DAYS BEFORE A FORECAST RAIN EVENT OR DURING PERIODS OF RAIN. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURERS' RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED PERSONNEL.

FIGURE SC-5 STABILIZED CONSTRUCTION EXIT

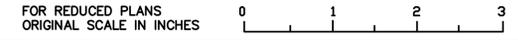


PLAN SCALE: 1"=20'

- NOTES**
- Temporary Linear Sediment Barrier shall be silt fence, fiber roll, gravel bag barrier, or other.
 - Install Temporary Silt Fence by first digging trench, driving posts, joining and securing fabric. Then backfill and tamp.
 - Dimensions may vary to fit field conditions.



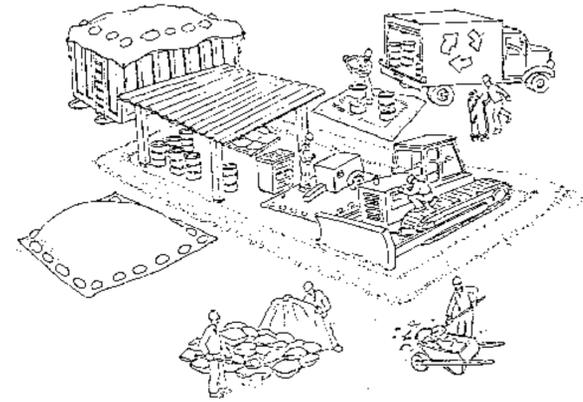
TEMPORARY WATER POLLUTION CONTROL DETAILS (TEMPORARY DRAINAGE INLET PROTECTION)



SHEET NAME: DRAWING NAME:

BY	MFG
REVISION	RESPOND TO PLAN CHECK COMMENTS
DATE	7/24/18
LAND SURVEYOR	CHANGED HOUSE & DRIVEWAY DESIGN
REGISTERED PROFESSIONAL ENGINEER	INDUSTRIAL CIVIL
PROJECT ENGINEER	MFG Engineers, Inc PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519
APN 529-33-054	WATER POLLUTION CONTROL PLAN
	45 RESERVOIR ROAD, LOS GATOS, CA
DRAWN:	MFG
CHECKED:	MFG
DATE:	10/2016
SCALE:	1"=20'
JOB NO.	
SHEET	C4 of 7

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

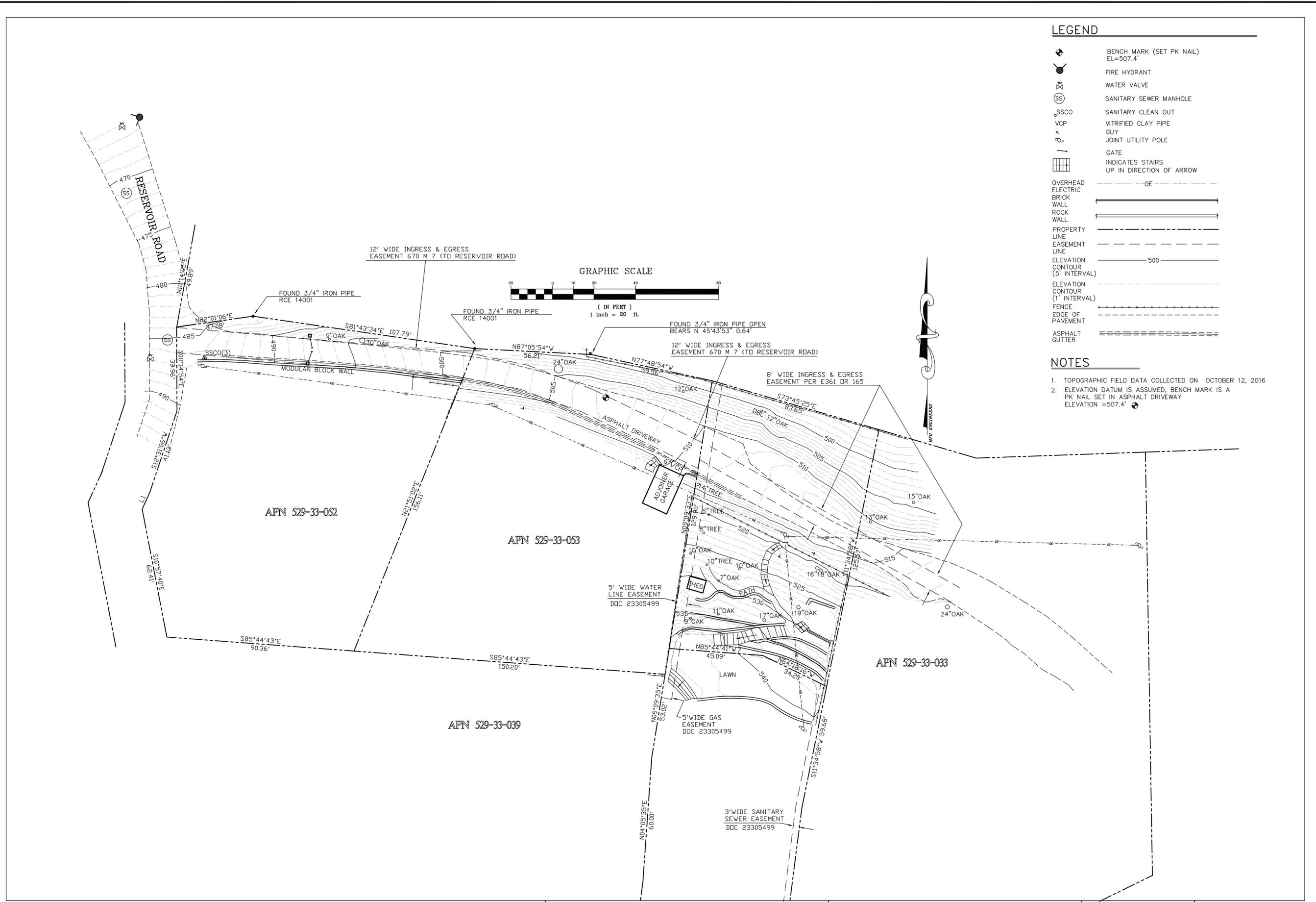


Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!



LEGEND

- BENCH MARK (SET PK NAIL)
EL=507.4'
- FIRE HYDRANT
- WATER VALVE
- SANITARY SEWER MANHOLE
- SANITARY CLEAN OUT
- VITRIFIED CLAY PIPE
- GUY
- JOINT UTILITY POLE
- GATE
- INDICATES STAIRS
UP IN DIRECTION OF ARROW
- OVERHEAD ELECTRIC
- BRICK WALL
- ROCK WALL
- PROPERTY LINE
- EASEMENT LINE
- ELEVATION CONTOUR (5' INTERVAL) 500
- ELEVATION CONTOUR (1' INTERVAL)
- FENCE
- EDGE OF PAVEMENT
- ASPHALT GUTTER

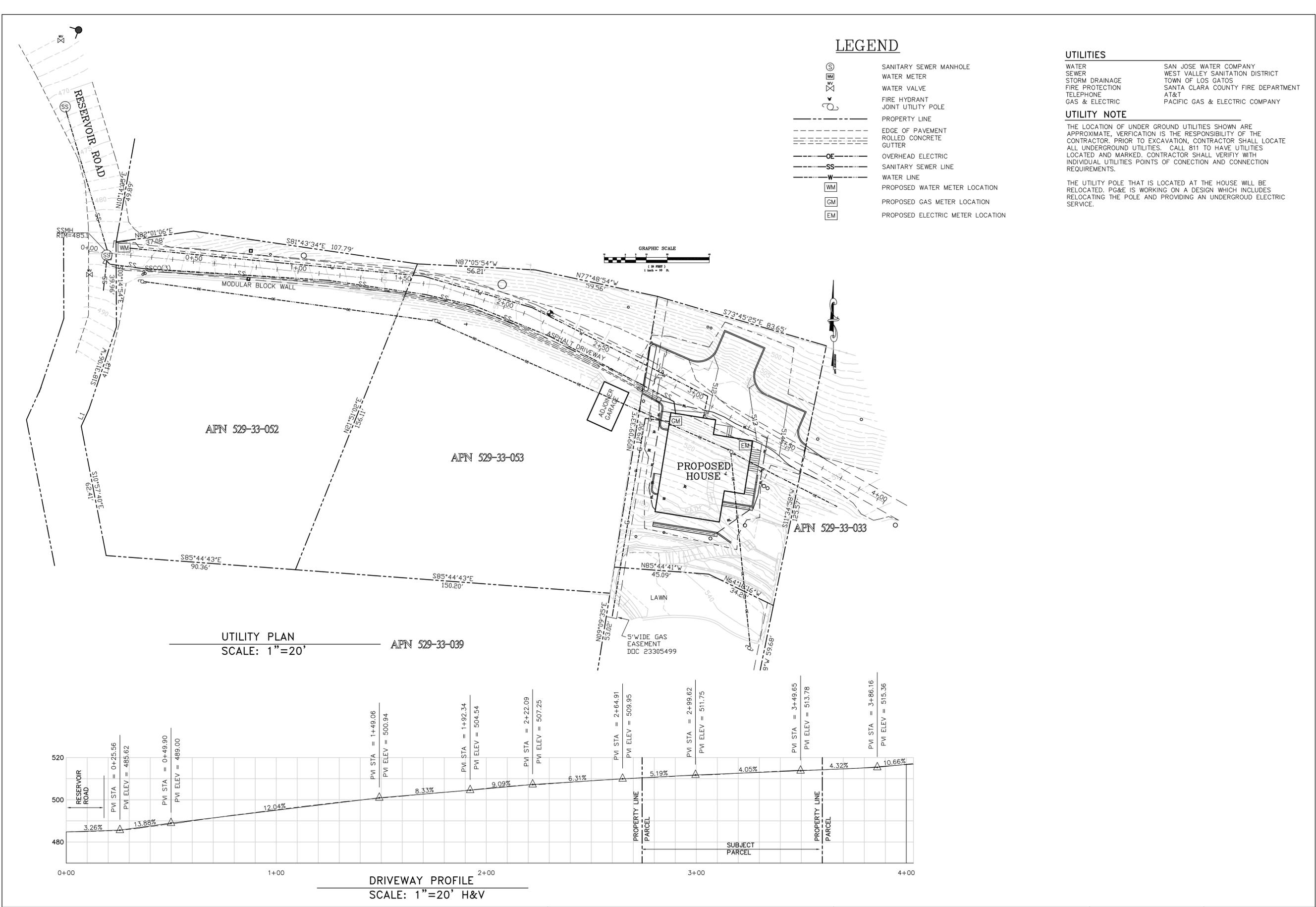
NOTES

1. TOPOGRAPHIC FIELD DATA COLLECTED ON OCTOBER 12, 2016
2. ELEVATION DATUM IS ASSUMED, BENCH MARK IS A PK NAIL SET IN ASPHALT DRIVEWAY ELEVATION =507.4'

BY	MFG
REVISION	1 ADDED JOINT UTILITY POLE DN APN 529-33-033
DATE	6/16/17
LAND SURVEYOR	MICHAEL E. GOODRICH No. 7857 Exp. 12/31/18
REGISTERED PROFESSIONAL ENGINEER	MICHAEL E. GOODRICH No. 48784 Exp. 12/31/18
PROJECT ENGINEER	MFG Engineers, Inc PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519
APN 529-33-054	
TOPOGRAPHIC MAP	
45 RESERVOIR ROAD, LOS GATOS, CA	
DRAWN:	MFG
CHECKED:	MFG
DATE:	10/2016
SCALE:	1"=20'
JOB NO.	
SHEET	C6 OF 7

FOR REDUCED PLANS ORIGINAL SCALE IN INCHES

SHEET NAME: DRAWING NAME:



LEGEND

- SANITARY SEWER MANHOLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- JOINT UTILITY POLE
- PROPERTY LINE
- EDGE OF PAVEMENT
- ROLLED CONCRETE GUTTER
- OVERHEAD ELECTRIC
- SANITARY SEWER LINE
- WATER LINE
- PROPOSED WATER METER LOCATION
- PROPOSED GAS METER LOCATION
- PROPOSED ELECTRIC METER LOCATION

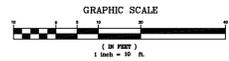
UTILITIES

- WATER SAN JOSE WATER COMPANY
- SEWER WEST VALLEY SANITATION DISTRICT
- STORM DRAINAGE TOWN OF LOS GATOS
- FIRE PROTECTION SANTA CLARA COUNTY FIRE DEPARTMENT
- TELEPHONE AT&T
- GAS & ELECTRIC PACIFIC GAS & ELECTRIC COMPANY

UTILITY NOTE

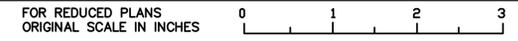
THE LOCATION OF UNDER GROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED. CONTRACTOR SHALL VERIFY WITH INDIVIDUAL UTILITIES POINTS OF CONNECTION AND CONNECTION REQUIREMENTS.

THE UTILITY POLE THAT IS LOCATED AT THE HOUSE WILL BE RELOCATED. PG&E IS WORKING ON A DESIGN WHICH INCLUDES RELOCATING THE POLE AND PROVIDING AN UNDERGROUND ELECTRIC SERVICE.



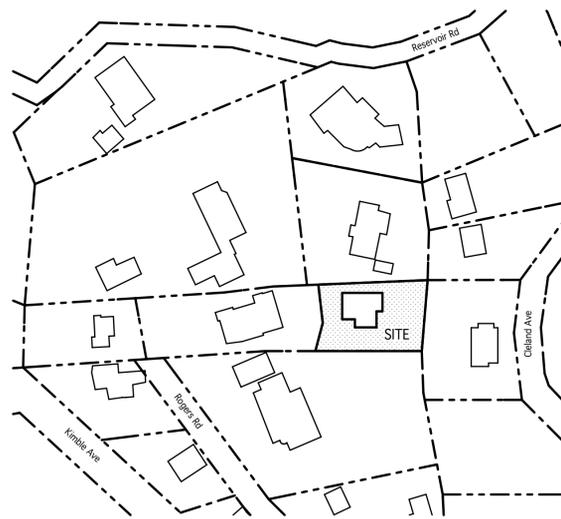
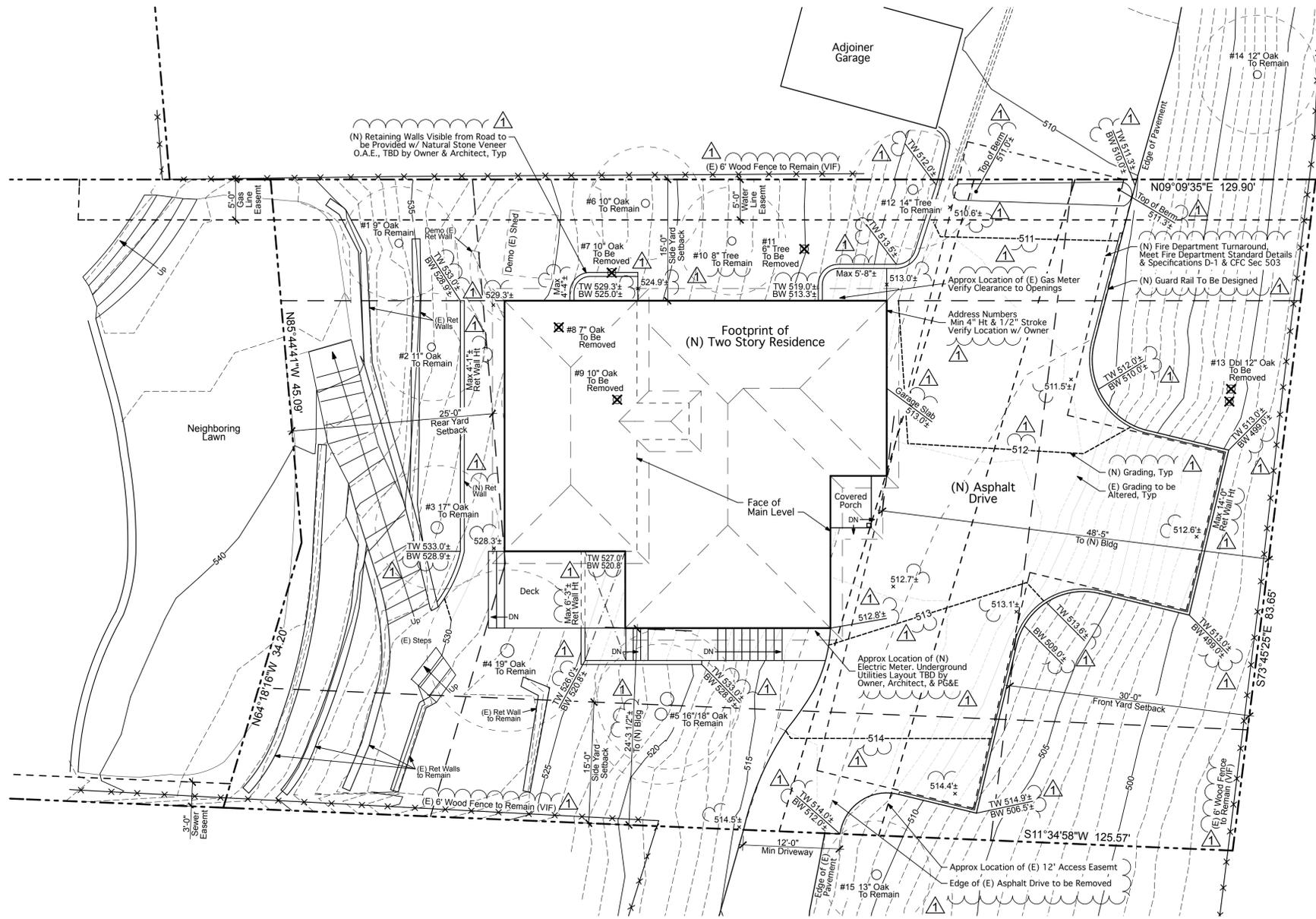
UTILITY PLAN
SCALE: 1"=20'

DRIVEWAY PROFILE
SCALE: 1"=20' H&V



SHEET NAME: DRAWING NAME:

BY	
REVISION	
DATE	
PROJECT ENGINEER	APN 529-33-054
PROJECT ENGINEER	MFG Engineers, Inc P.O. BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519
UTILITY PLAN	UTILITY PLAN
45 RESERVOIR ROAD, LOS GATOS, CA	45 RESERVOIR ROAD, LOS GATOS, CA
DRAWN: MFG	
CHECKED: MFG	
DATE: 1/2018	
SCALE: NOTED	
JOB NO.	
SHEET	
C7 of 7	



SCHMATIC BUILDING ADJACENCY PLAN
Scale: 1"=100'

SCHMATIC SITE PLAN

PREP SITE FOR NEW CONSTRUCTION. VERIFY ALL DIMENSIONS & SITE CONDITIONS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY IN WRITING.

APN: 529-33-013 Parcel 3
 LOT SIZE: 10,000 Sq Ft GROSS
 ZONING: R-1:20 - In Hillside Overlay
 ALLOWABLE FAR: 2,368 Sq Ft @ 33.3%
 ALLOWABLE LOT COVERAGE: 4,000 Sq Ft @ 40%

ALLOWABLE FAR = 35% - ($\frac{A_{calc}}{25} \times 20\%$)

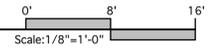
$A_{calc} = A_{net} - A_{net} [10\% + (2\% \text{ for each } 1\% > 10\% \text{ slope})]$

$A_{net} = 10,000 \text{ Sq Ft}$
 Slope = 19.45%

$A_{calc} = 10,000 \text{ Sq Ft} - 10,000 \text{ Sq Ft} [10\% + (2\%)(9.45)]$
 $= 10,000 \text{ Sq Ft} - 10,000 \text{ Sq Ft} (28.9\%)$
 $= 7,110 \text{ Sq Ft}$
 $A_{calc} = 7.11 \text{ for Calc. Purposes}$

$FAR = 35\% - (\frac{7.11 - 5}{25} \times 20\%)$
 $= 35\% - (\frac{2.11}{25} \times 20\%)$
 $= 35\% - (.0844 \times 20\%)$
 $= 35\% - 1.7\%$

$FAR = 33.3\%$



TREE INDEX

#	CIRCUMFERENCE	STATUS
1	9" Oak	To Remain
2	11" Oak	To Remain
3	17" Oak	To Remain
4	19" Oak	To Remain
5	16"/18" Oak	To Remain
6	10" Oak	To Be Removed
7	10" Oak	To Be Removed
8	7" Oak	To Be Removed
9	10" Oak	To Be Removed
10	8" Tree	To Remain
11	6" Tree	To Be Removed
12	14" Tree	To Remain
13	Dbl 12" Oak	To Be Removed
14	12" Oak	To Remain
15	13" Oak	To Remain

NOTE: WHERE FEASIBLE, LANDSCAPING SHALL BE DESIGNED TO REDUCE IMPACTS OF PESTICIDE USE AS FOLLOWS:
 a. PROVIDE IRRIGATION WHICH REDUCES RUNOFF & PROMOTES SURFACE INFILTRATION
 b. TREAT STORM WATER RUNOFF BY INCORPORATING ELEMENTS THAT COLLECT, DETAIN, & INFILTRATE RUNOFF.

61 East Main Street, Suite D
 Los Gatos, CA 95030
 Phone: 408-395-8016
 Fax: 408-395-5732
 terry@tma-arch.com

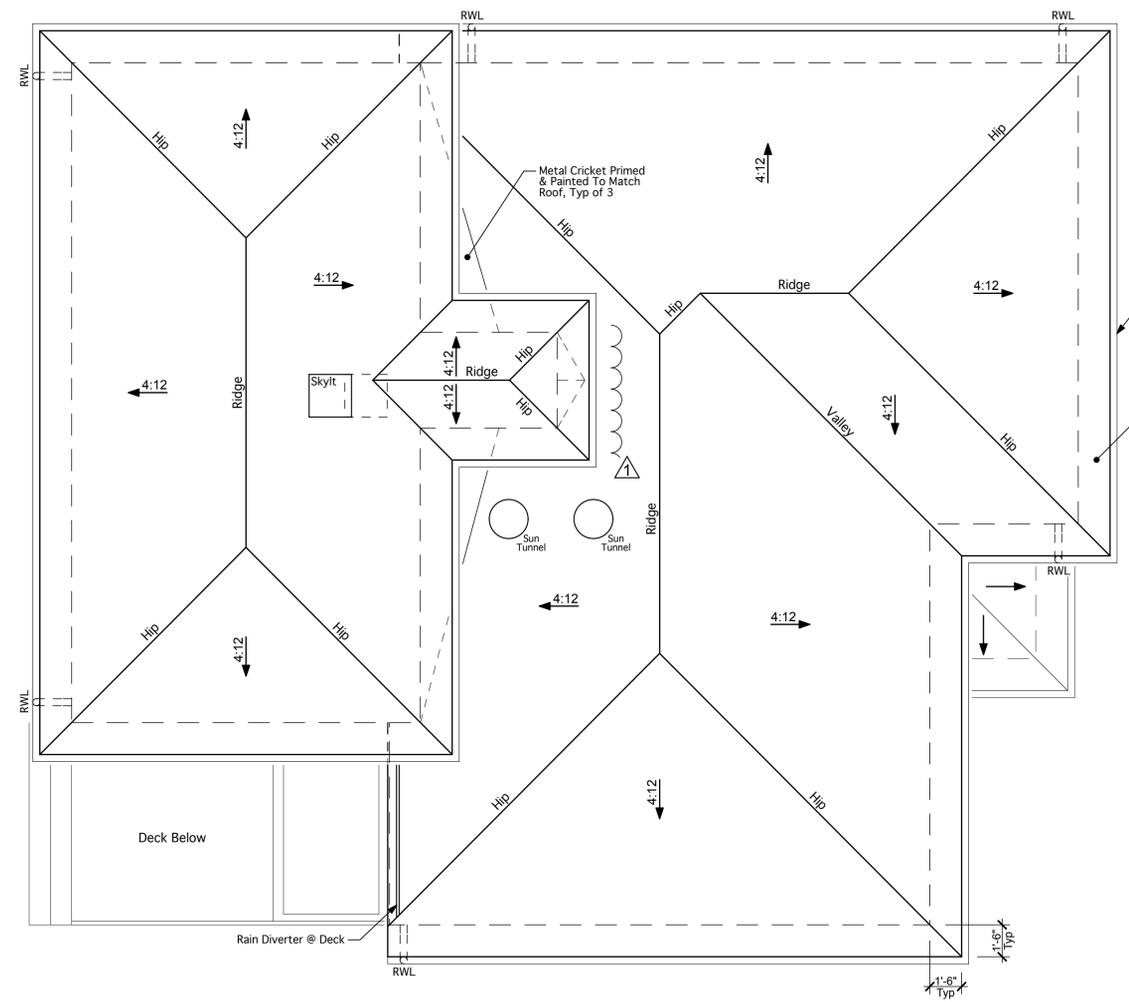
TERRY J. MARTIN ASSOCIATES, A.I.A.
 RESIDENTIAL & COMMERCIAL ARCHITECTURE
 License # 623221

Dates & Revisions	
Technical Review Resubmittal	01/29/2018
Architecture & Site Permit Submittal	03/28/2017
Rev. Description	Date:

XU RESIDENCE
 Custom Home
 45 Reservoir Rd
 Los Gatos, CA 95030

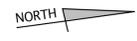
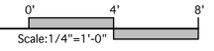
Print Date: 01/29/2018
 Project: #16045
 Scale: 1/8" = 1'
 Drawn by: T.J. RTP

Sheet Title:
SCHMATIC SITE PLAN



ROOF PLAN

Field Verify All Dimensions & Conditions Prior to Commencing Work.



61 East Main Street, Suite D
 Los Gatos, CA 95030
 Phone: 408-395-8016
 Fax: 408-395-5732
 terry@tjma-arch.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
 RESIDENTIAL & COMMERCIAL ARCHITECTURE
 License # 623221

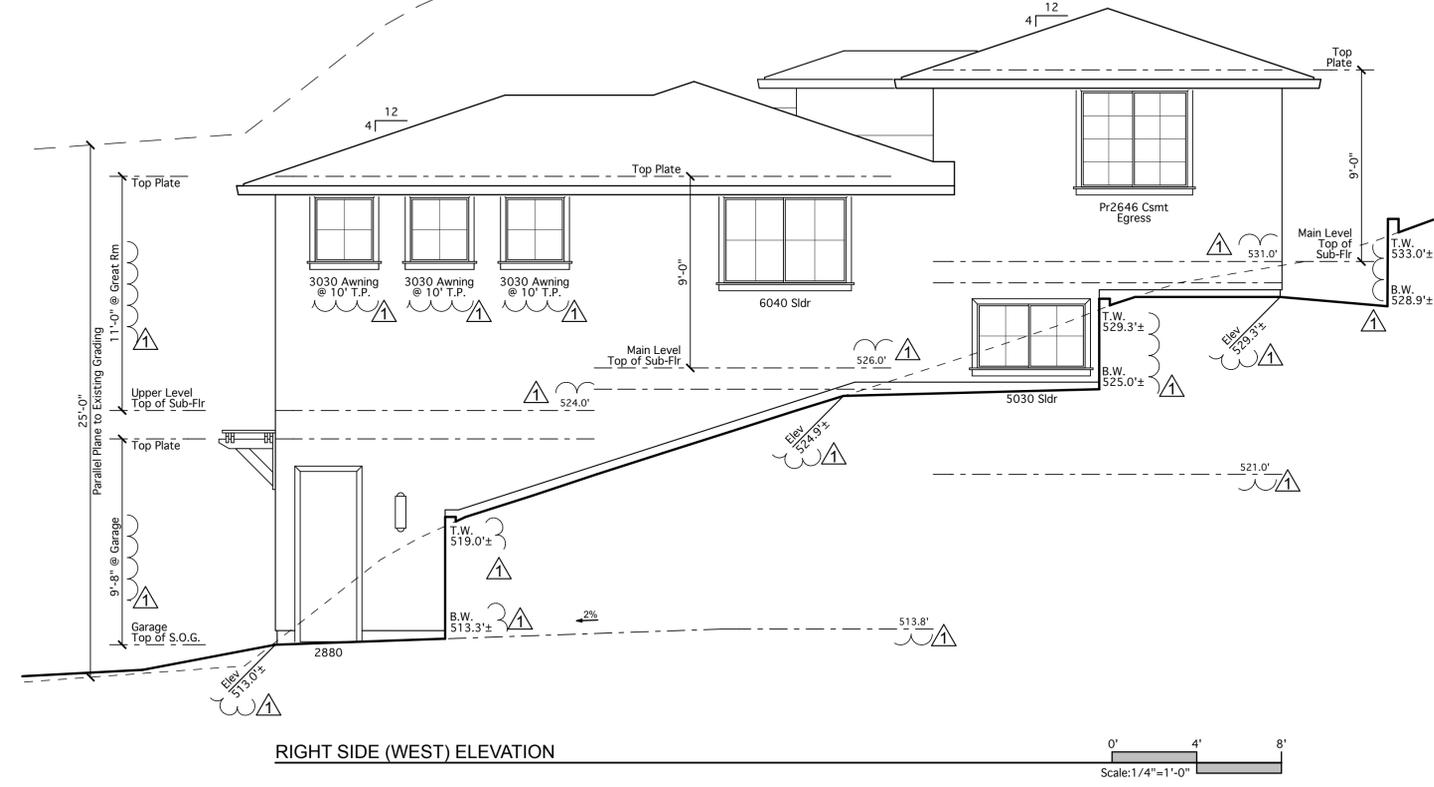
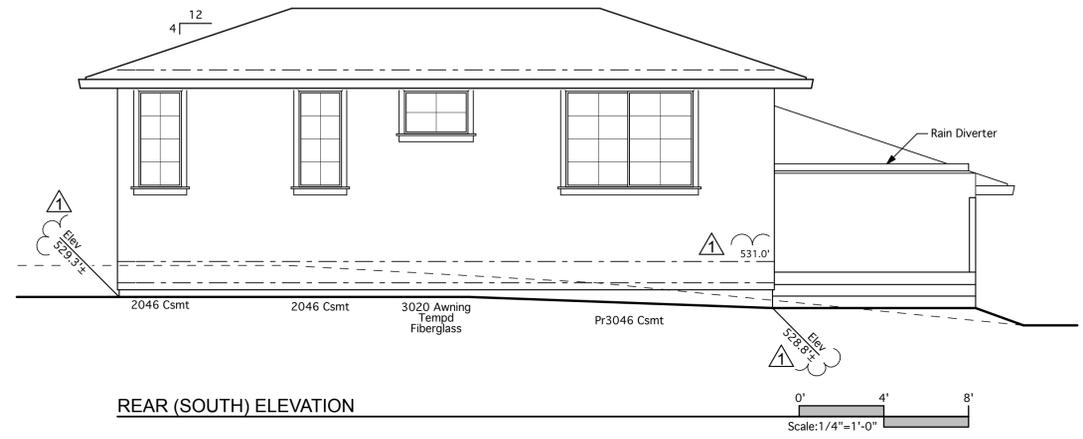
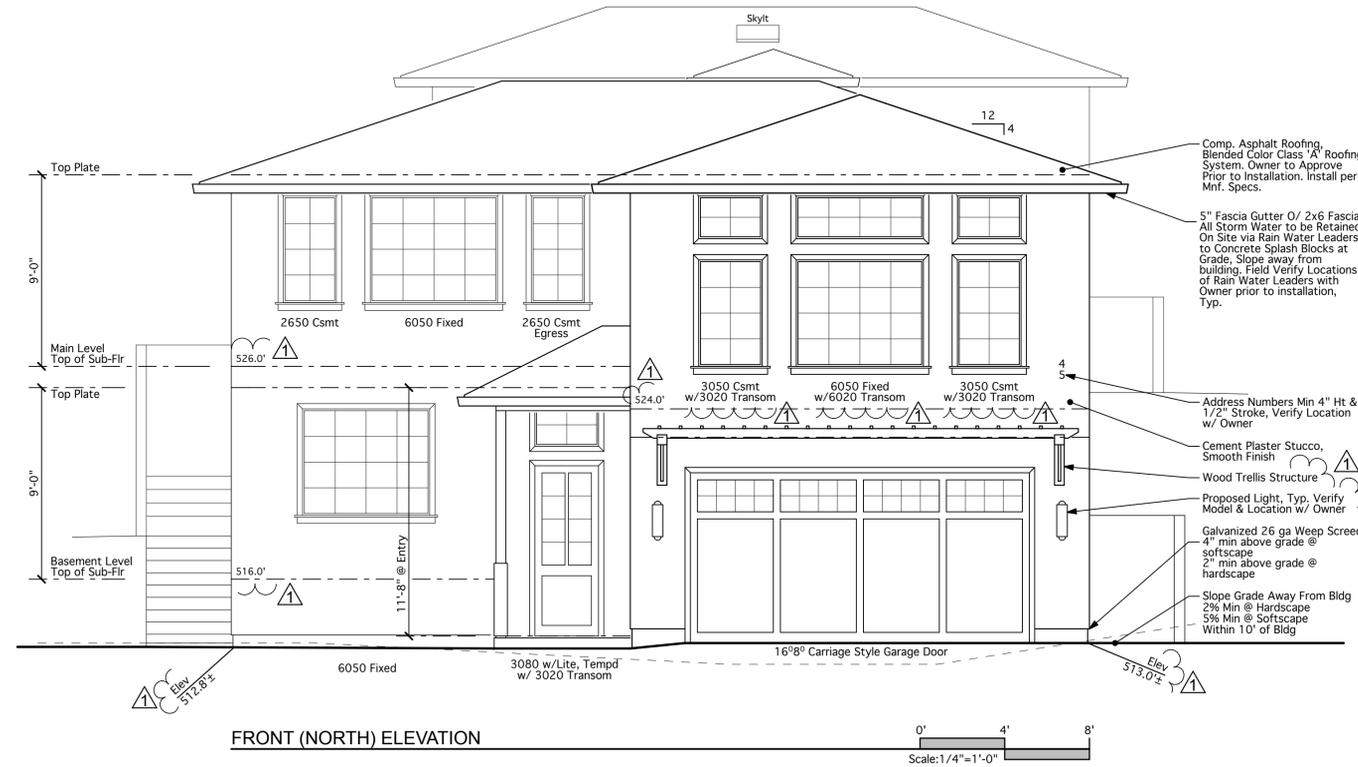
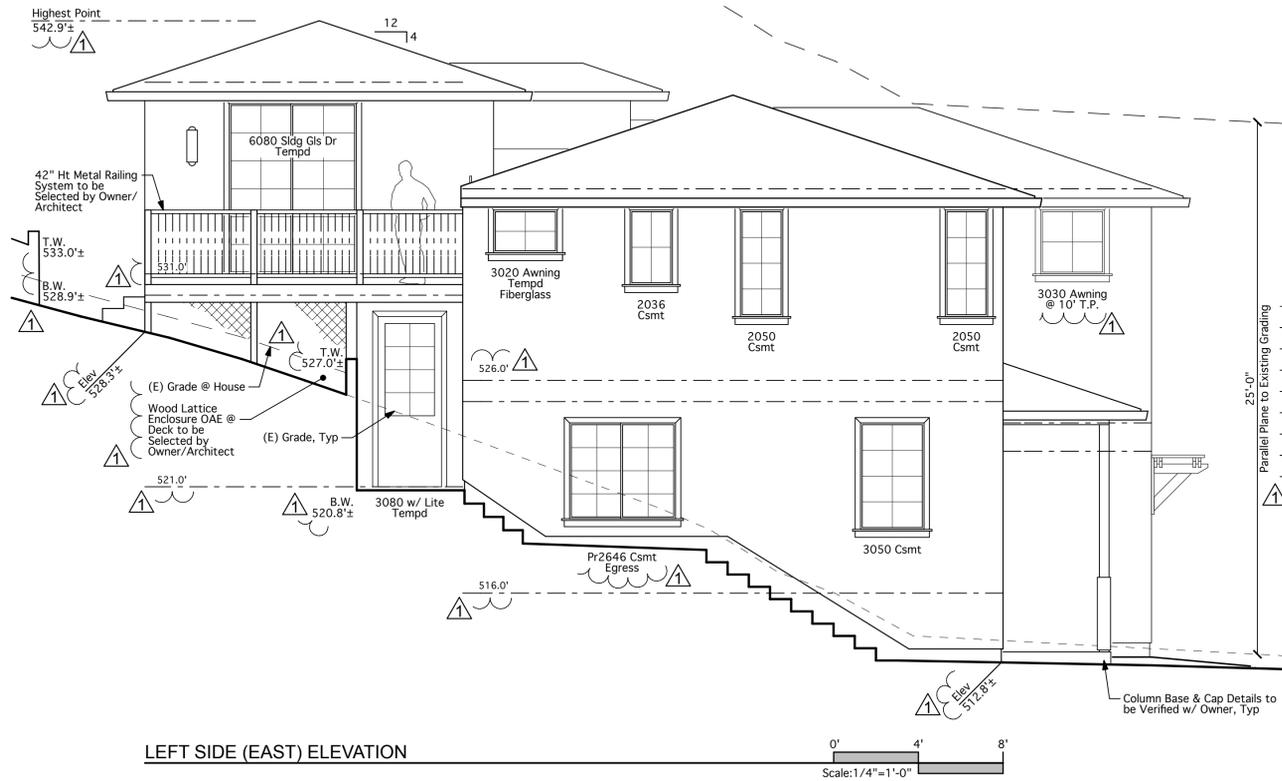
Dates & Revisions		
Technical Review Resubmittal	01/29/2018	Date:
Architecture & Site Permit Submittal	03/28/2017	
Rev. Description		

XU RESIDENCE
 Custom Home
 45 Reservoir Rd
 Los Gatos, CA 95030

Print Date:	01/29/2018
Project:	#16045
Scale:	1/4" = 1'
Drawn by:	TJ, RTP

Sheet Title:
ROOF PLAN

A-4



- Comp. Asphalt Roofing, Blended Color Class 'A' Roofing System. Owner to Approve Prior to Installation. Install per Mnf. Specs.
- 5" Fascia Gutter O/ 2x6 Fascia All Storm Water to be Retained On Site via Rain Water Leaders to Concrete Splash Blocks at Grade. Slope away from building. Field Verify Locations of Rain Water Leaders with Owner prior to installation, Typ.
- Address Numbers Min 4" Ht. & 1/2" Stroke, Verify Location w/ Owner
- Cement Plaster Stucco, Smooth Finish
- Wood Trellis Structure
- Proposed Light, Typ. Verify Model & Location w/ Owner
- Galvanized 26 ga Weap Screenshot 4" min above grade @ softscape
- 2" min above grade @ hardscape
- Slope Grade Away From Bldg 2% Min @ Hardscape 5% Min @ Softscape Within 10' of Bldg

61 East Main Street, Suite D
 Los Gatos, CA 95030
 Phone: 408-395-8016
 Fax: 408-395-5732
 terry@tmarch.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
 RESIDENTIAL & COMMERCIAL ARCHITECTURE
 License # 623221

Dates & Revisions	
Technical Review Resubmittal	01/29/2018
Architecture & Site Permit Submittal	03/28/2017
Rev. Description	Date:

XU RESIDENCE
 Custom Home
 45 Reservoir Rd
 Los Gatos, CA 95030

Print Date: 01/29/2018
 Project: #16045
 Scale: 1/4" = 1'
 Drawn by: T.J. RTP

Sheet Title:
EXTERIOR ELEVATIONS

A-5