

GENERAL NOTES:

SURVEYING CONTROLS: HORIZONTAL & VERTICAL CONTROLS SHALL BE SET & CERTIFIED BY A LICENSED SURVEYOR. REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, PRIOR TO CONSTRUCTION.

PRIOR TO FOUNDATION INSPECTION: BY THE CITY, A LICENSED LAND SURVEYOR OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATE THAT ALL BUILDING SETBACKS COMPLY WITH THE APPROVED PLANS.

ENCROACHMENT PERMIT APPLICANT (OWNER) SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY ALL IMPROVEMENTS IN ANY CITY RIGHT-OF-WAY OR CITY EASEMENT INCLUDING THE STORMWATER SHALE PRIOR TO COMMENCEMENT OF THE WORK.

CONSTRUCTION NADDLES SHALL BE INSTALLED ALONG STREET SIDES TO PREVENT EROSION DURING RAINY SEASON.

SILT AND MUD IN PUBLIC RIGHT-OF-WAY: IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTORS TO MAKE SURE THAT THE DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE & OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE STORM DRAINS.

DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, DEMONSTRATING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGSBC SECTION 4.409.2.1

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 93 & OUR STANDARD DETAIL & SPECIFICATION S-17.

A COMPLETED CCR-105 FORM MUST BE PROVIDED TO THE CITY/TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT & ANY CONTRACTOR & SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR OR SUPPLIER OF THE SITE OF SUCH PROJECT, & TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, &/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OR RECORD. FINAL APPROVAL OF THIS SYSTEM UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OR RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT. CFC SEC. 903.3.3 & HEALTH & SAFETY CODE 15114.7

THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 15120.2(b)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, & AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGSBC SECTION 4.504.2.4

B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OF THE OWNER/BUILDER (FOR ALL CONSTRUCTION OF RECORD BUILDING PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION & CARPET UNDERLAYMENT), FINISHING SYSTEMS, & COATINGS UNDER PROTECTION INSPECTION ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGSBC SECTION 4.504.

FIRE DEPARTMENT:

This project shall comply with the following:
 The California Fire (CFC), Building (CBC) and Electrical (CEC) Code, 2016 edition, as adopted by the City of Saratoga Municipal Code (S/MC) and, California Code of Regulations (CCR).
Construction Site Fire Safety:
 All construction sites must comply with applicable provisions of the CFC Chapter 93 and our Standard Detail and Specification S-17. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 93 Wildland-Urban Interface:
 This project is located within the designated Wildland-Urban Interface Fire Area. The building construction shall comply with the provisions of Section RB27 of the California Residential Code or the California Building Code (CBC) Chapter 7, as applicable. Note that vegetation clearance shall be in compliance with CBC Section 701A.3.4 prior to project final approval. Check with the Planning Department for related landscape plan requirements.
Address Identification:
 New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the Fire Code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.8 inch (21.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 903.1
Water Supply Requirements:
 Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor or record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.3 and Health and Safety Code 15114.7
Fire Sprinklers Required:
 An automatic residential fire sprinkler system shall be installed in one and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one and two-family dwellings when additions are made that increase the building area to more than 5,600 square feet. CRC Sec. 919.2

THIS PROJECT IS LOCATED IN THE WILDLAND URBAN INTERFACE ZONE

AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH NFPA 13D SHALL BE INSTALLED THROUGHOUT.



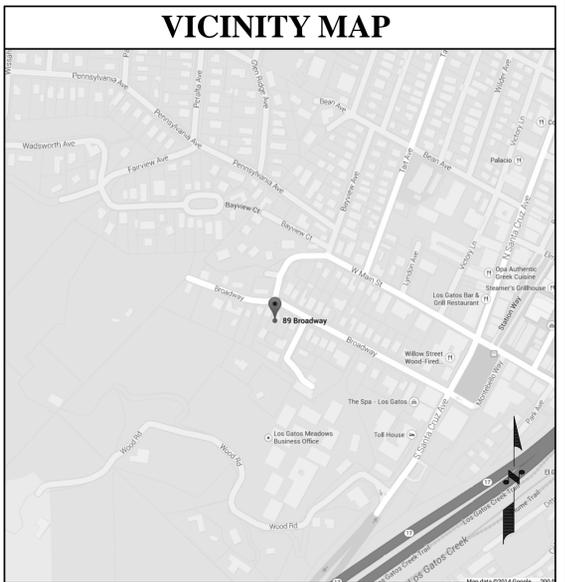
TOWN OF LOS GATOS
 FIRST REVIEW
 COMMENTS

- DRAFT CONDITIONS OF APPROVAL:**
- UNDERSTOOD** 1) APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
 - UNDERSTOOD** 2) EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
 - OK 3) OUTDOOR LIGHTING:** Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
 - NONE REMOVED** 4) TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
 - OK 5) EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
 - UNDERSTOOD** 6) TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
 - OK 7) TREE STAKING:** All newly planted trees shall be double-staked using rubber tree ties.
 - UNDERSTOOD** 8) TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be subject to the satisfaction of the Town Attorney.
 - THIS IS IT 9) COMPLIANCE MEMORANDUM:** A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Please resubmit and provide a compliance memorandum showing how all of the deficiencies and general comments have been addressed. PLEASE NOTE THAT COMMENTS/DEFICIENCIES LISTED ABOVE MAY NOT BE AN EXHAUSTIVE LIST OF ALL COMMENTS OR CONDITIONS.

Ryan Safty

Ryan Safty
 Associate Planner
 rsafty@losgatosca.gov
 (408) 354-6802



PROJECT DATA

PROJECT ADDRESS:	89 BROADWAY LOS GATOS, CA 95030
OWNER:	LONA MERLI 89 BROADWAY LOS GATOS, CA 95030 408-884-6465
APN:	510-45-045
ZONING:	R-1D-LHP
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	V-B
GROSS SITE AREA:	6,548 SF
20% PLUS 3% FOR EACH 1% OF SLOPE OVER 20%:	3% X 2.7% = 0.1% + 30% = 30.1%
22.7% = 0.028 X 2 X 740 / 0.15	
NET SITE AREA	6,548 - 38.1% = 4050 SF
LOT COVERAGE 40%	40 - ((14-2) X 0.5) / 5 = 36.7%
FAR	4,050 X 36.7% = 1486 SF
BUILDING AREA	EXISTING ADDITION PROPOSED
RESIDENCE LIVING AREA	1,270 SF 0 SF 1,270 SF
DETACHED GARAGE BELOW GRADE	0 SF 206 SF 206 SF
DETACHED GARAGE 4' ABOVE GRADE	0 SF 176 SF 176 SF
CARPORT	809 SF -303 SF 0 SF
TOTAL FLOOR AREA	1,879 SF 14 SF 1,652 SF
SETBACKS	BUILDING ENVELOPE FOR ACCESSORY STRUCTURE LIVING AREA 1,270 SF
FRONT 15'	
REAR 20'	3,828 SF X 15% = 574 SF
SIDES 5'	
HEIGHT 8'	

SCOPE OF WORK

REMOVE (E) CARPORT WITH OFFICE ON TOP. REPLACE WITH NEW GARAGE W/LAUNDRY AT REAR

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE 2016 CBC PART 2, CRC PART 2.5, CBC PART 3, CMC PART 4, CPC PART 5, CGSBC PART 6, CHCC PART 8, CGBG PART 10, CGSBC PART 11 AS WELL AS ALL APPLICABLE STATE & LOCAL CODES.

DEFERRED SUBMITTAL

FIRE SPRINKLERS: FIRE SPRINKLERS SHALL BE INSTALLED TO MEET NFPA-13D STANDARDS & BE INSTALLED BY STATE OF CALIFORNIA C-16 LICENSED CONTRACTOR. PLANS TO BE SUBMITTED TO & APPROVED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT BEFORE ISSUANCE OF A BUILDING PERMIT.

SHEET INDEX

A-1	SITE PLAN
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A-5	EXISTING & PROPOSED RIGHT & REAR ELEVATION:

WILDLAND-URBAN INTERFACE

ROOF VALLEYS:
 VALLEYS & GUTTERS SHALL BE 26 GAUGE GALV. SHEET CORROSION-RESISTANT METAL. INSTALL OVER NOT LESS THAN ONE LAYER OF 1/2" MINERAL SURFACED NONPERFORATED GAP SHEET COMPLYING WITH ASTM D 3404. AT LEAST 50' WIDE THE FULL LENGTH OF THE VALLEY. GUTTERS SHALL HAVE THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER. AS REQ'D PER SEC. R531.5.3 & R531.5.4 TYP.

VENTS:
 WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED TO THE UNDERSIDE OF THE RAFTERS, & UNDERFLOOR VENTILATION SHALL BE IN ACCORDANCE WITH SECTION 1205 OF THE CBC & SECTIONS R531.6.1 THROUGH R531.6.3 OF THIS SECTION TO RESIST BUILDING IGNITION FROM THE TRIP OF BURNING EMBERS & FLAME THROUGH THE VENTILATION OPENING. R531.6.1

EXTERIOR WALLS:
 EXTERIOR WALL COVERINGS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL & EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF & TERMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. R531.7.5

ENCLOSED EAVES & EAVE SOFFITS:
 THE EXPOSED UNDERSIDE OF ENCLOSED EAVES HAVING EITHER A BOXED-IN EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE OR GUTTERS SHALL HAVE AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS. SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
 1. NONCOMBUSTIBLE MATERIAL
 2. IGNITION RESISTANT MATERIAL
 3. ONE LAYER OF 3/4" TYPE "X" GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAIL SOFFIT.
 4. THE EXTERIOR PORTION OF A 1 HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT INCLUDING ASSEMBLIES USING THE GYPSUM PANEL & SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
 5. BOXED IN EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN EITHER OF THE FOLLOWING:
 5.1 SPM STANDARD 12-7A-3 OR ASTM E2871
 EXCEPTIONS: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION:
 1. GABLE END OVERHANGS & ROOF ASSEMBLY PROJECTIONS BEYOND AN EXTERIOR WALL OTHER THAN AT THE LOWER END OF THE RAFTER TAIL.
 2. FASCIA & OTHER ARCHITECTURAL TRIM BOARDS. CBC R531.7.5

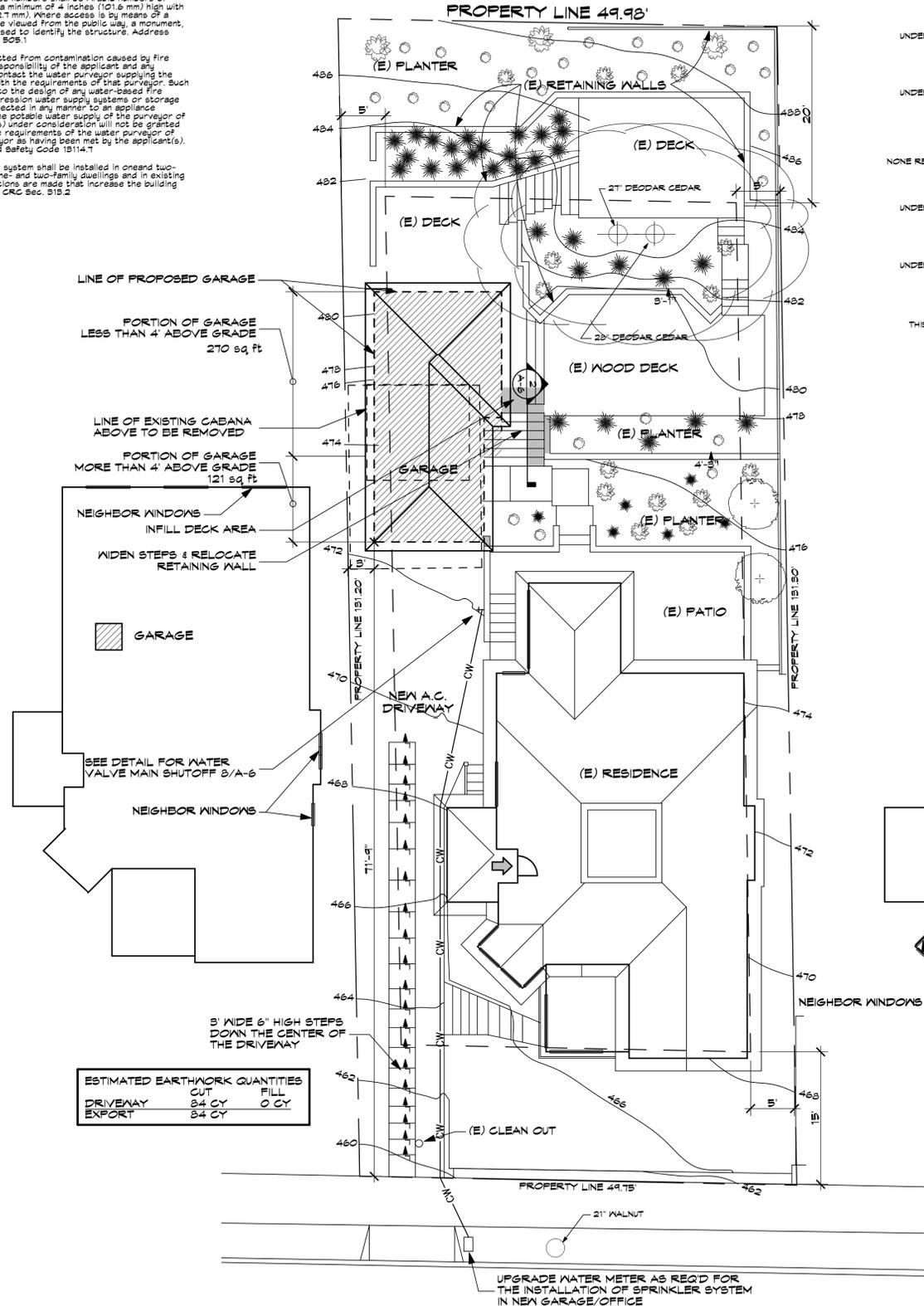
UNDERFLOOR PROTECTION:
 UNDERFLOOR AREAS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS. PER SEC. R531.7.5 TYP.

EXTERIOR GLAZING:
 EXTERIOR GLAZING SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE. PER R531.8.2

EXTERIOR DOORS:
 EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD 504 (24-1) OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES & RAILES NOT LESS THAN 1 3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/2" THICK OR SHALL HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MIN. PER R531.8.3

GUTTERS:
 GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CBC R531.5.4

OPEN ROOF EAVES:
 THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF ONE OF THE FOLLOWING:
 1. NONCOMBUSTIBLE MATERIAL
 2. IGNITION RESISTANT MATERIAL
 3. ONE LAYER OF 3/4" TYPE "X" GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE ROOF DECK
 4. THE EXTERIOR PORTION OF A 1 HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL & SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
 EXCEPTIONS:
 1. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF OPEN ROOF EAVES HAVING A MIN. NOMINAL DIMENSION OF 2"
 2. SOLID WOOD BLOCKING INSTALLED BETWEEN RAFTER TAILS ON THE EXPOSED UNDERSIDE OF OPEN ROOF EAVES HAVING A MIN. NOMINAL DIMENSION OF 2"
 3. GABLE END OVERHANGS & ROOF ASSEMBLY PROJECTIONS BEYOND AN EXTERIOR WALL OTHER THAN AT THE LOWER END OF THE RAFTER TAILS
 4. FASCIA & OTHER ARCHITECTURAL TRIM BOARDS. CBC R531.7.4



ESTIMATED EARTHWORK QUANTITIES

DRIVEWAY	84 CY	FILL	0 CY
EXPORT	84 CY		

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

REVISIONS

KOHLSAAT & ASSOCIATES
 LICENSED ARCHITECT
 51 UNIVERSITY AVE., 11 - LOS GATOS, CA • 95030 • (408) 395-3555



A NEW GARAGE FOR THE:
MERLI RESIDENCE
 89 BROADWAY LOS GATOS CA 95030

NOTE: The Contractor shall verify all dimensions, conditions, and locations prior to starting any field location called by field conditions. Field conditions shall be indicated on the plans and be brought to the Architect's attention prior to installation.

SITE PLAN

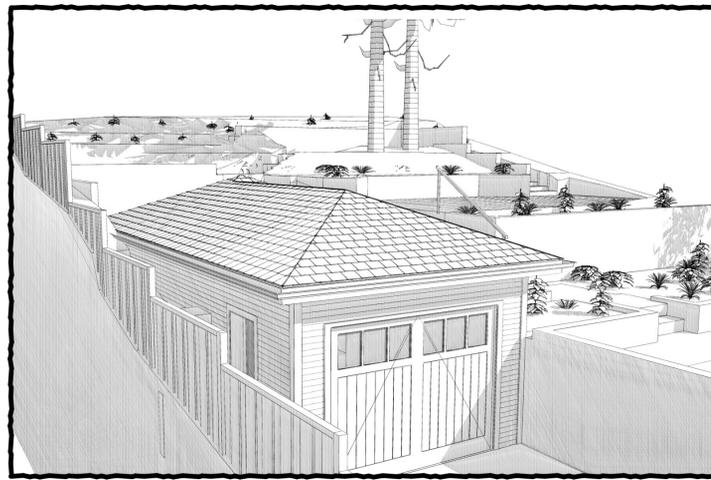
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SCALE: AS SHOWN

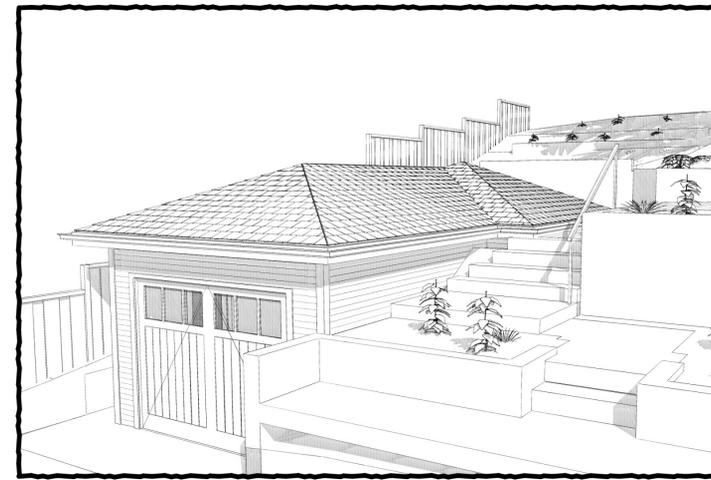
SHEET

A-1

1 OF 18



FRONT LEFT



FRONT RIGHT

ARCHITECTURAL NOTES

OPENABLE WINDOW AREA
 OPENABLE WINDOW AREA IN HABITABLE ROOMS MUST BE 4% OF THE FLOOR AREA FOR VENTILATION. EMERGENCY ESCAPE OPENINGS IN HABITABLE ROOMS SHALL BE 5.7 SF AT GRADE LEVEL ROOMS & 5.7 SF AT ALL OTHER LEVELS. MIN. DIMENSIONS OF 20" HIGH AND 20" WIDE (SHALL NOT EXCEED 44" ABOVE FLOOR). THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS WINDOWS WITH TWO OR MORE LATCHES SHALL HAVE THE LATCHES INTERCONNECTED & OPERABLE FROM THE LOWEST LATCH. RS05.1, RS10.

GLAZING CERTIFICATION

ALL NEW GLAZING (FENESTRATIONS) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.

EXTERIOR DOORS

ALL EXTERIOR DOORS SHALL BE SOLID CORE DOORS. IV STILES AND RAILS NOT LESS THAN 1 1/8" THICK AND FIELD PANELS NOT LESS THAN 1 1/8" THICK. ALL GLAZING SHALL BE DUAL GLAZED AND TEMPERED.

SAFETY GLAZING

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE OF SAFETY GLAZING MATERIAL IN ACCORDANCE WITH CRC SECTION R502.4:

- FIXED GLAZING PANELS OF SLIDING DOOR ASSEMBLIES & PANELS IN SWINGING DOORS.
- ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED SURFACE IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR WHEN CLOSED & THE BOTTOM EDGE IS WITHIN 60" ABOVE THE WALKING SURFACE.
- DOORS, EXTERIOR WINDOWS & ENCLOSURES FOR BATHUBS & SHOWERS & IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE & DRAIN OUTLET IS MORE THAN 18 SQUARE FEET. THE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE FLOOR, THE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR & ONE OR MORE WALKING SURFACES IS WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

SHOWER WINDOWS

WINDOWS IN SHOWERS SHALL BE MADE FROM MATERIALS THAT ARE NOT ADVERSELY AFFECTED BY MOISTURE. GLAZING SHALL BE TEMPERED. CRC R501.2, R502.4

WOODEN BACKING

MINIMUM 2"x8" WOODEN BACKING SHALL BE PROVIDED IN ALL BATHROOM WALLS AT WATER CLOSETS, SHOWERS, BATHUBS AND TUBS. BACKING SHALL BE APPLIED FROM THE FLOOR, FURTHER, PROVIDE BACKING FOR GRAB BARS FOR TOILETS ON FIRST FLOOR.

FINISHES

PROVIDE 5/8" GYP. BOARD AT ALL INTERIOR WALL & CEILING LOCATIONS.

INTERIOR WALL AND CEILING PAINTS SHALL BE LOW-VOC (100 GPH VOCs (NON-FLAT) AND 150 VOCs (NON-FLAT GLOSS)).

FLOOR FINISHES SHALL BE LOW VOC, WATER BASED (250 GPH VOCs).

CAULK & CONSTRUCTION ADHESIVES SHALL BE LOW VOC (70 GPH VOCs).

TO REDUCE FORMALDEHYDE IN INTERIOR FINISHES A MINIMUM OF 50% OF INTERIOR TRIM SHALL BE POPLAR OR ALDER.

ACCESS

UNDER FLOOR: ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM 18" X 24". OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 18" X 24". R402.4

ATTIC:

BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQ. FEET & HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND SHALL BE A LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. WHEN THE ACCESS IS LOCATED IN CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30" AT SOME POINT ABOVE THE ATTIC ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF THE CEILING FRAMING MEMBERS. R507.1.

LANDING

FLOORS & LANDINGS AT EXTERIOR DOORS, THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR DOORS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" UNIT VERTICAL IN 12 UNIT HORIZONTAL (2%). RS11.5

RESIDENTIAL TOWN ACCESSIBILITY STANDARDS

THE RESIDENCE SHALL BE DESIGNED WITH ADAPTABILITY FEATURES FOR A SINGLE FAMILY RESIDENCE PER TOWN RESOLUTION 1994-51.

A. WOODEN BACKING (2" X 8" MINIMUM) SHALL BE PROVIDED IN ALL BATHROOM WALLS, AT WATER CLOSETS, SHOWERS AND BATHUBS AT 34" FROM THE FLOOR TO THE CENTER OF THE BACKING.

B. ALL PASSAGE DOORS SHALL BE AT LEAST 32" WIDE ON THE ACCESSIBLE FLOOR.

C. PRIMARY ENTRANCE SHALL BE A 36" WIDE DOOR. MINIMUM INCLUDING A 5" LEVEL LANDING NO MORE THAN 1" OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL, WITH AN 18" CLEARANCE AT THE INTERIOR STRIKE EDGE.

D. DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.

A1.0 STRUCTURE

- A1.1 4" NOM. STUD WALL 2 1/2" TH. STUD WALL FROM 2X STUDS @ 16" O.C.
- A1.2 5" NOM. STUD WALL 5 1/2" TH. STUD WALL FROM 2X STUDS @ 16" O.C.
- A1.3 4" CONCRETE RETAINING WALL 4" TH. CONCRETE RETAINING WALL
- A1.4 EXTERIOR LANDINGS FLOORS & LANDINGS AT EXTERIOR DOORS, THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR DOORS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). CRC R511.5 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1/4" LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 1/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. CRC R511.5.1
- A1.5 TEMPERED GLASS SEE ARCHITECTURAL NOTE FOR SAFETY GLAZING
- A1.6 GUARDS @ BALCONY PROVIDE 42" H. GUARDRAIL AT LANDINGS, WALKWAYS, BALCONIES & SIMILAR WALKING SURFACES WITH ADJACENT OPENINGS MORE THAN 30" ABOVE FLOOR OR GRADE BELOW. PROVIDE BALUSTERS SPACED SUCH THAT A 4" DIA. SPHERE CANNOT PASS THROUGH. RAIL FABRICATOR SHALL PROVIDE SHOP DRAWING, SPEC. & CALC. FOR APPROVAL BY ARCHITECT & BE SUBMITTED TO THE TOWN OF LOS GATOS. CRC R512
- A1.7 PROTECTION OF WOOD & WOOD BASED PRODUCTS AGAINST DECAY LOCATION REQUIRED: PROTECTION OF WOOD & WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANFA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 4 OF ANFA U1. WOOD SIDING, SHEATHING & WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS, & SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER. RS11.5

A2.0 FINISHES

- A2.1 5/8" TYPE 'X' GYPSUM BOARD 5/8" TYPE 'X' GYPSUM BOARD SHALL BE APPLIED THROUGH OUT THE GARAGE. TYP. U.O.N.
- A2.2 5/8" GYPSUM BOARD 5/8" GYPSUM BOARD SHALL BE APPLIED THROUGH OUT THE RESIDENCE. TYP. U.O.N.
- A2.3 3" LAP SIDING PROVIDE 3" LAP SIDING TO MATCH RESIDENCE O/1 LAYER TYP. K HOUSE WRAP O/1/2" FLAMEBLOCK OSB SHEATHING
- A2.4 EXTERIOR CEILING PROVIDE 1X V-RUSTIC HARDE SIDING NON COMBUSTIBLE @ EXTERIOR CEILING & OVERHANGS

A3.0 PENETRATION

- A3.1 INTERIOR SOLID CORE DOOR PROVIDE SOLID CORE DOOR 1 1/2" THICK
- A3.2 WINDOW ALUM GLAD WOOD FRAMED WINDOW WITH TEMPERED GLASS ON ONE PANE
- A3.3 EXTERIOR DOOR ALUM GLAD WOOD FRAMED BIFOLD DOOR W/ TEMPERED DUAL GLAZING
- A3.4 ROLL UP GARAGE DOOR PROVIDE WOOD SECTIONAL ROLL UP CARRIAGE STYLE DOOR W/ AUTOMATIC OPENER
- A3.5 GARAGE MAN DOOR PROVIDE FIBERGLASS DOOR W/ 20 MIN RATING & W/ APPROVED

A4.0 CABINETRY

- A4.1 BUILT-IN VANITY PROVIDE BUILT-IN VANITY
- A4.2 BUILT-IN CABINETS 15" DEEP UPPER & 24" DEEP LOWER CABINETS & COUNTERTOPS
- A4.3 CLOSETS SHELVEING SYSTEM W/ ADJUSTABLE SHELVES & POLES

A5.0 PLUMBING

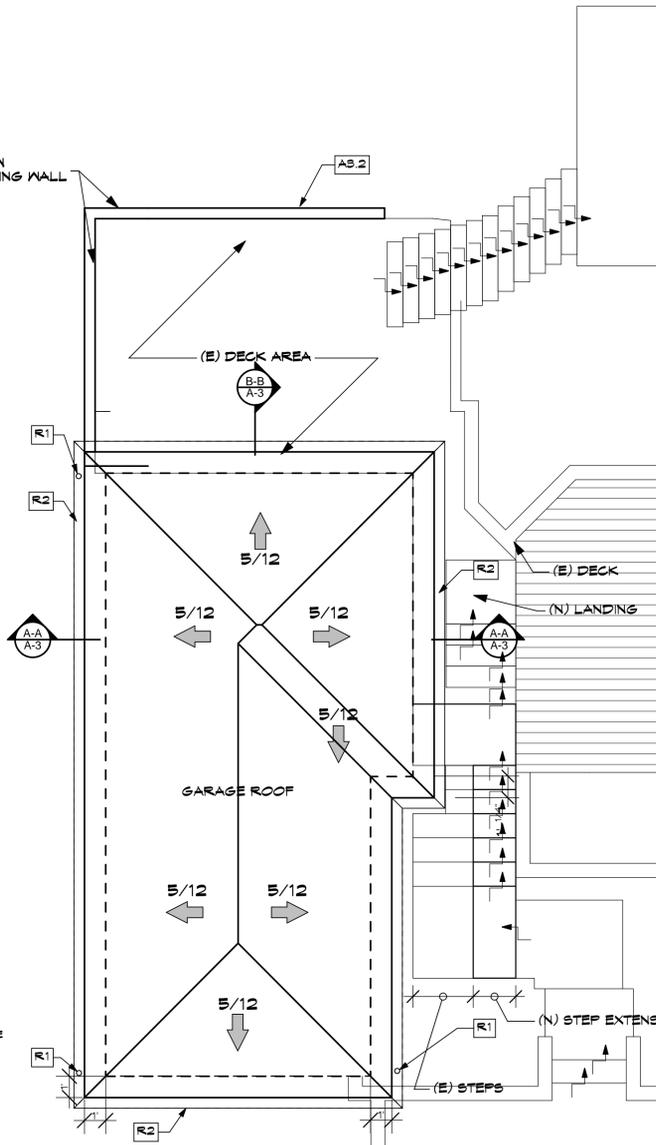
- A5.1 OVAL SINK(S) IN VANITY CABINET
- A5.2 UTILITY SINK 28" X 22" UTILITY SINK WITH STAND
- A5.3 HIGH-EFFICIENCY TOILET PROVIDE ONLY HIGH-EFFICIENCY DUAL-FLUSH OR 1.28 GPF TOILETS
- A5.4 ANNULAR SPACES ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN FLATES OR FOUNDATIONS SHALL BE PROTECTED AGAINST ROCCENTS BY COING THE OPENINGS WITH CEMENT MORTAR OR CONCRETE MASONRY. CSBSC 4.406.1

A6.0 APPLIANCES, FIREPLACES, ETC.

- A6.1 MINI SPLIT HEATING & COOLING MINI SPLIT SYSTEM WITH CONDENSER OUTSIDE & DUCTLESS CASSETTE INSIDE MOUNTED HIGH ON WALL TO PROVIDE HEATING & COOLING.
- A6.2 ON-DEMAND WATER HEATER PROVIDE HIGH EFFICIENCY ON-DEMAND WATER HEATER BY NORTZ, MODEL NR6651-OD, AFPR NFGC ANS Z223.1/ NFPA 54
- A6.3 WASHER FRONT LOADING WASHING MACHINE TO MEET ENERGY STAR AND CEE TIER 2 REQUIREMENTS (MODIFIED ENERGY FACTOR 2.0, WATER FACTOR 6.0)
- A6.4 DRYER PROVIDE 4" MIN. VENT WITH BACKDRIFT DAMPER TO EXTERIOR AT CLOTHES DRYER. MAX. LENGTH 1/4" PER CMG 504.4.2. MAINTAIN 6" MIN. CLEARANCE TO COMBUSTIBLES UNLESS DRYER IS LISTED FOR REDUCED CLEARANCE.

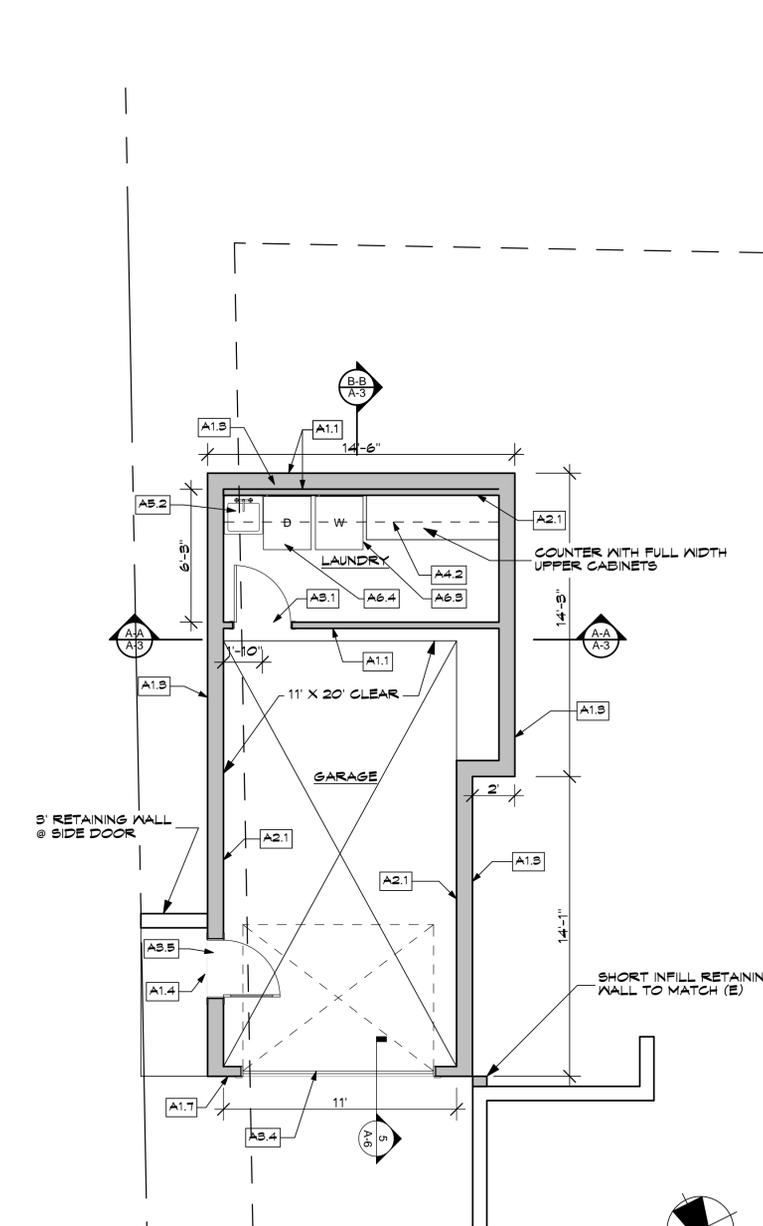
ROOF LEGEND

- R1 3" ROUND GALV. PAINTED DOWNSPOUT TO SPLASH BLOCKS DIRECTED TO VEGETATED AREAS
- R2 PROVIDE 3" PAINTED FACIA GUTTER W/ A GUTTER COVER THAT PREVENTS THE ACCUMULATION OF LEAVES AND DEBRIS & ROUND COPPER DOWNSPOUTS TO DISCHARGE INTO SPLASHBLOCKS
- RS CLASS 'A' ROOF ASSEMBLY, COMPOSITION SHINGLES O/1 LAYER LAYFAST 555 T/45 UNDERLAYMENT BY ME TECHNOLOGIES OR EQUAL O/1/2" PLYWOOD SHEATHING, TO MATCH RESIDENCE
- R4 2X3 PAINTED FACIA TO MATCH RESIDENCE
- RS 1 HOUR PROTECTION ON THE UNDERSIDE OF THE ROOF EAVE. 1X V-RUSTIC SIDING O/ 1/2" TYPE 'X' GYPSUM W/ 2X3 FACIA



ROOF PLAN

SCALE: 1/4" = 1'-0"



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. 11 - LOS GATOS, CA • 95030 • (408) 395-3555



A NEW GARAGE FOR THE:
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 89 BROADWAY LOS GATOS CA 95030

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FLOOR PLAN/ ROOF PLAN

DATE: 9/28/18

SCALE: AS SHOWN

SHEET

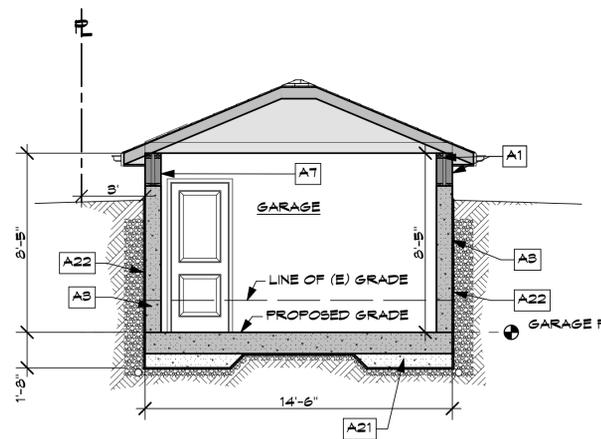
A-2

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Door & Window Schedule									
ID	Room	Width	Height	Front or Open Side View	Type	Frame Material	Temp. Glass	Screen	Remarks
D1	GARAGE	9'	7'		SECTIONAL ROLL UP	ALUM.	YES		
D2	GARAGE	2'-8"	6'-8"		EXTERIOR SWING	FIBER GLASS	YES		
D3	LAUNDRY	2'-8"	7'		SWING	WOOD			

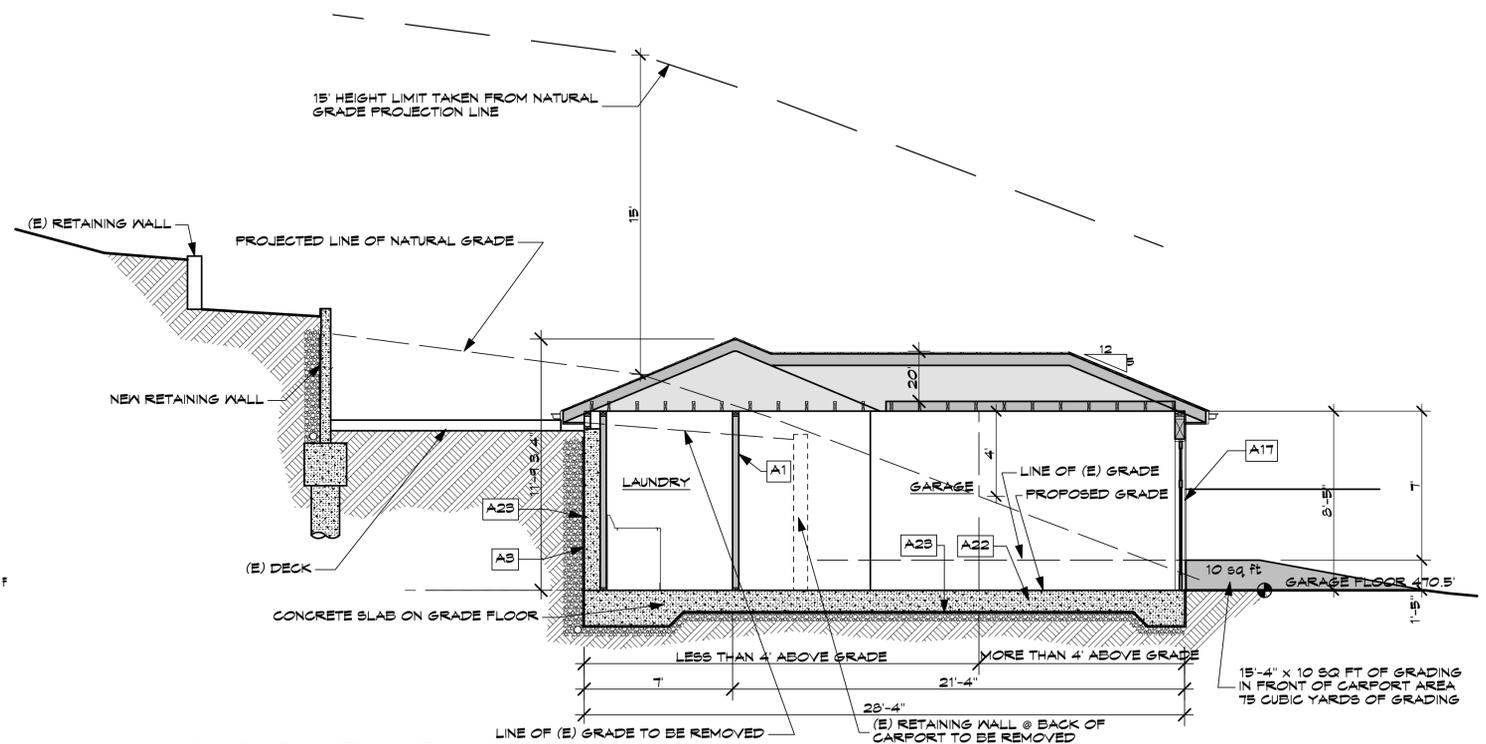
ARCHITECTURAL SECTION NOTES

- A1 4" NOM. STUD WALL
5 1/2" TH. STUD WALL FROM 2X STUDS @ 16" O.C.
- A2 6" NOM. STUD WALL
5 1/2" TH. STUD WALL FROM 2X STUDS @ 16" O.C.
- A3 9" CONCRETE WALL
9" CONCRETE WALL W/1" @ 9" O.C. VERTICALLY & #5 @ 12" O.C. HORIZONTALLY
- A4 R-21 BATT WALL INSULATION TYP.
PROVIDE LOW-EMITTING INSULATION
- A5 R-19 BATT MIN. FLOOR INSULATION TYP.
PROVIDE LOW-EMITTING INSULATION
- A7 WALL & CEILING FINISH
5/8" GYP. BD. TYP. @ WALLS & CEILING, TYPE 'X' @ CEILING UNDER LIVING AREA.
- A8 EXTERIOR WALL FINISH
5" HORIZONTAL WOOD LAP SIDING W/ONE LAYER #30 LB FEET TO MATCH (E)
- A9 ROOFING
CLASS 'A' ROOF ASSEMBLY, COMPOSITION SHINGLES O/1 LAYER LAYFAST SBS TUBS UNDERLAYMENT BY MB TECHNOLOGIES OR EQUAL O/ 1/2" PLYWOOD SHEATHING
- A10 FLOOR SHEATHING
1 3/8" T&G PLYWOOD FLOORING
- A11 GUTTERS
VERIFY OR PROVIDE 5" PAINTED FACIA GUTTER W/ A GUTTER COVER THAT PREVENTS THE ACCUMULATION OF LEAVES AND DEBRIS & ROUND GUTTER DOWNSPOUTS TO DISCHARGE INTO SPLASHBLOCKS
- A12 HANDRAIL & GUARDRAIL @ STAIR
PROVIDE MIN. ONE 1 1/2" O TO 2" O WOOD STAIR HANDRAIL 34" TO 38" ABOVE STAIR NOBINGS WITH NO SHARP EDGES. PROVIDE WOOD BALUSTERS, WHERE REQUIRED SUCH THAT A 4 3/8" DIA. SPHERE CANNOT PASS THROUGH.
- A13 GUARDRAIL @ BALCONY
PROVIDE 42" H. GUARDRAIL 2X3 PONY WALL W/GAP & 2 1/2" SQ TOP RAIL ON 3 1/2" HIGH POST @ 4' O.C.
- A14 FLOOR SYSTEM
TJI FLOOR JOIST W/1 1/2" PLYWOOD T&G FLOORING
- A15 OPEN-CELL, LOW DENSITY, SPRAY FOAM INSULATION R-39 MIN.
"ICYNENE" (CLASSIC MAX, ECO R3.1 PER IN. PLUS R4.0 PER IN.) SPRAY FOAM INSULATION, ICC #EPR-1826 APPLIED DIRECTLY TO THE BOTTOM OF THE ROOF SHINGLES & ANY GABLE ENDS. MAINTAIN 3" CLR. MIN. TO 1" O-RATED LIGHTS BY BOXING AROUND FIXTURE WITH 1/2" PLYWOOD. FILL CAVITY ABOVE IC LIGHT WITH 2" RIDGE INSULATION & AROUND W/BATT TYPE INSULATION. ANY AREA THAT HAS ICYNENE & ACCESS SHALL BE SPRAYED WITH A PRESCRIPTIVE IGNITION BARRIER OR 1/2" GYPSUM AS A THERMAL BARRIER TO THE FULL DEPTH OF THE RAFTERS. WHEN 1/2" GYPSUM IS USED AS A THERMAL BARRIER, THE ICYNENE SHALL BE FILLED TO THE DEPTH OF THE RAFTERS OR WALL TO LEAVE NO AIR GAP BETWEEN THE ICYNENE & THE GYPSUM.
- A16 EXTERIOR CEILING
PROVIDE 1X V-RUSTIC @ EXTERIOR CEILINGS
- A17 GARAGE DOOR
SECTIONAL ROLL UP CARRIAGE DOOR W/TEMPERED GLASS & AUTOMATIC DOOR OPENER
- A18 WINDOWS
ALUM. CLAD WOOD FRAME WINDOWS W/DUAL GLAZING
- A19 POST
6X8 WOOD POST W/TRIM TOP & BOTTOM
- A20 DOOR
ALUM. CLAD WOOD FRAMED BIFOLD DOOR W/DUAL GLAZING
- A21 PROTECTED OVERHANG
PROVIDE PROTECTED OVERHANG ON SIDE OF GARAGE NEXT TO NEIGHBOR. CLOSED SOFFIT WITH 1X V-RUSTIC SIDING O/1/2" TYP 'X' EXTERIOR GYPSUM W/2X3 FACIA
- A22 SLAB ON GRADE
12" THICKENED EDGE SLAB ON GRADE. SEE STRUCTURAL PLANS FOR DETAILS
- A23 WATERPROOFING
STEGO WRAP CLASS 'A' VAPOR BARRIER



A-A SECTION

SCALE: 1/4" = 1'-0"



B-B SECTION

SCALE: 1/4" = 1'-0"

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SECTIONS/ROOF PLAN/DOOR & WINDOW SCHEDULE

DATE: 9/28/18

SCALE: AS SHOWN

SHEET

A-3

3 OF 13



A NEW GARAGE FOR THE:
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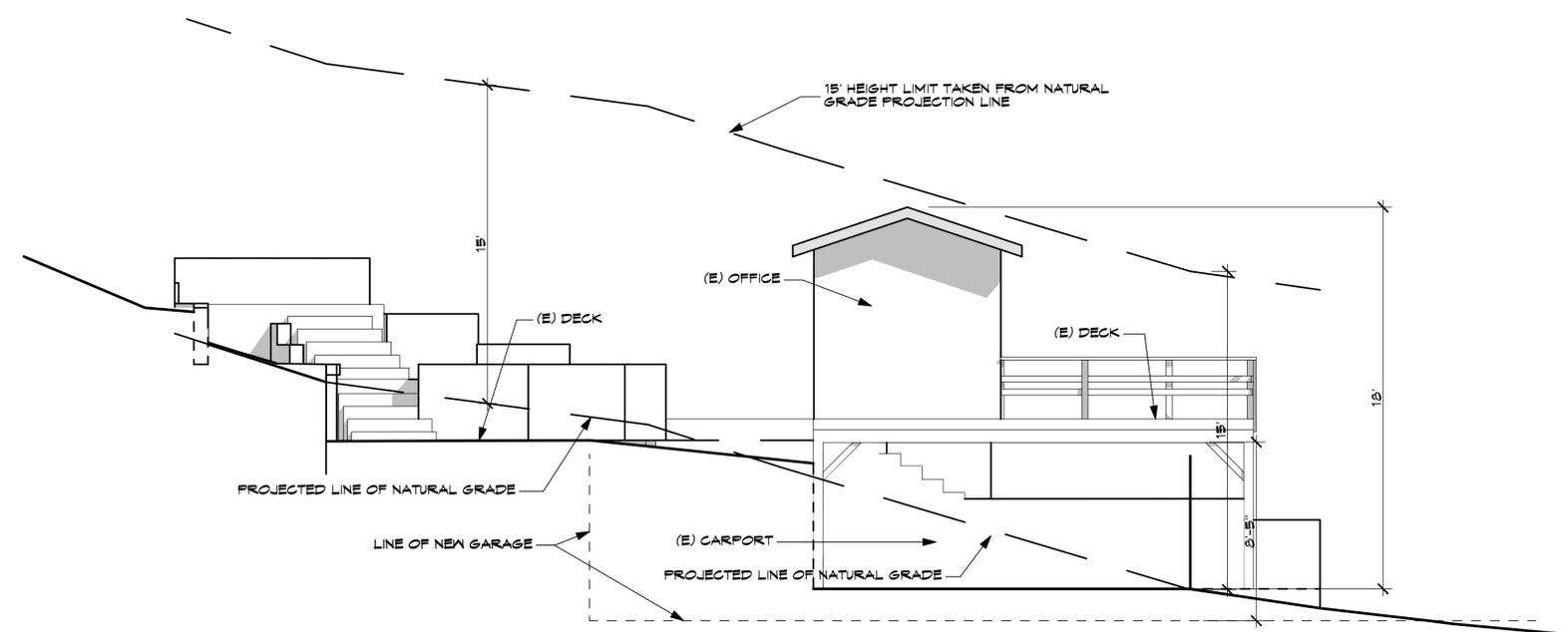
EXISTING & PROPOSED LEFT & FRONT ELEVATIONS

DATE: 9/28/18

SCALE: AS SHOWN

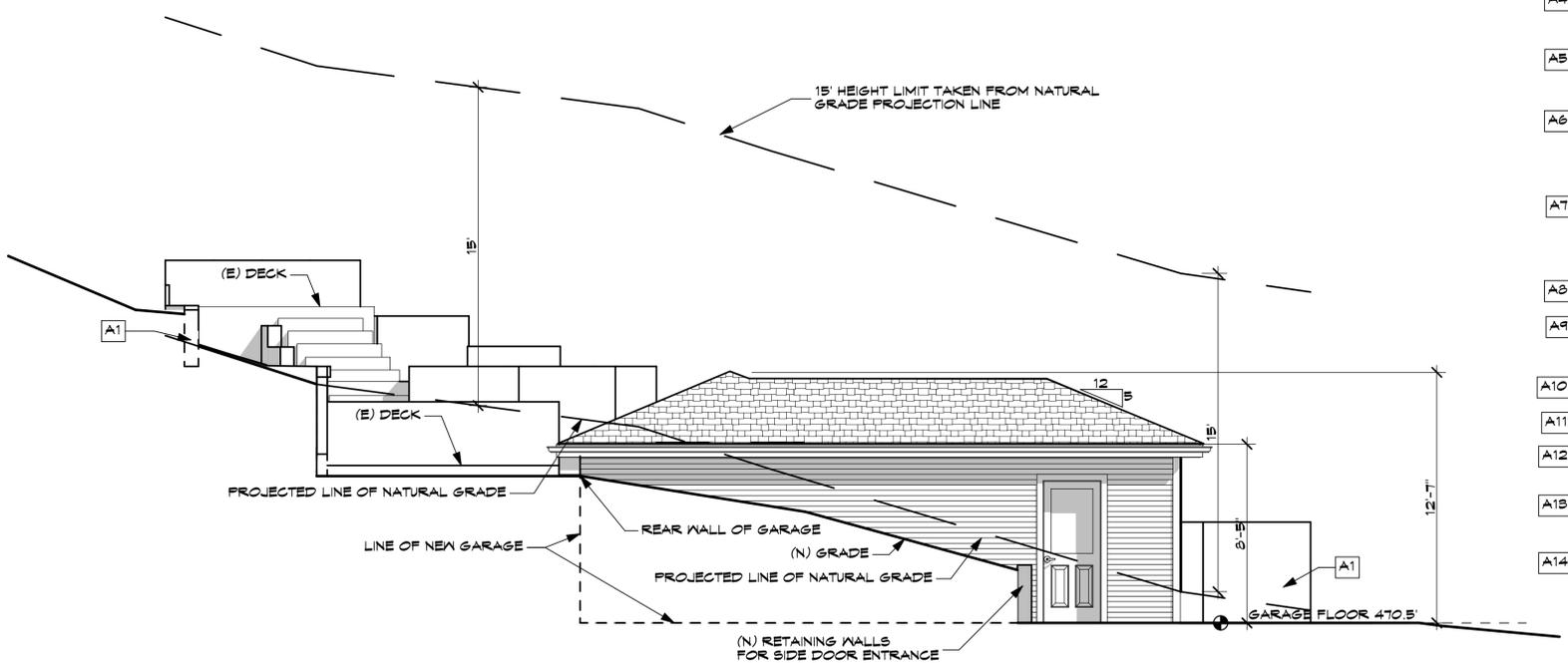
SHEET

A-4



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

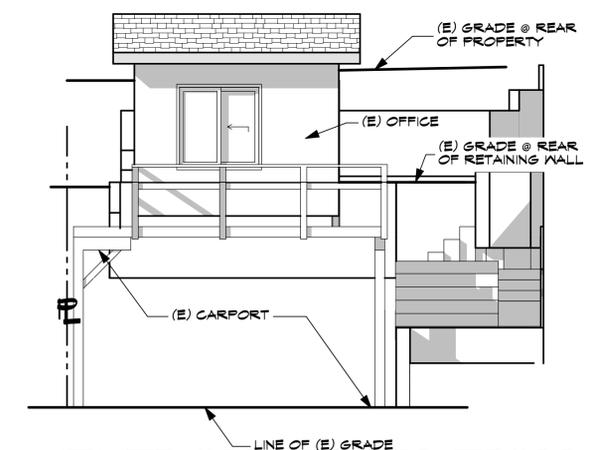


PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

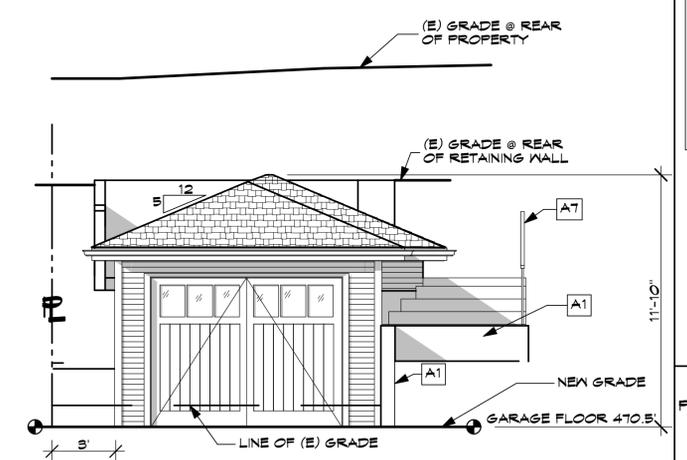
ELEVATION NOTES

- A1 (E) RETAINING WALL
- A2 9" CONCRETE WALL
4" CONCRETE WALL 1/4" @ 9" OC VERTICALLY & #5 @ 12" OC HORIZONTALLY
- A3 FACIA
PROVIDE 2X8 PAINTED FACIA TO MATCH RESIDENCE
- A4 EXTERIOR WALL FINISH
3" HORIZONTAL WOOD LAF SIDING W/ ONE LAYER TYVEK HOUSE WRAP 0/ 1/2" OSB FLAMEBLOCK SHEATHING TO MATCH (E)
- A5 ROOFING
CLASS "A" ROOF ASSEMBLY: COMPOSITION SHINGLES 0/1 LAYER LAYFAST SBS T/48 UNDERLAYMENT BY MB TECHNOLOGIES OR EQUAL 0/ 1/2" PLYWOOD SHEATHING
- A6 GUTTERS
PROVIDE 5" PAINTED FACIA GUTTER W/ A GUTTER COVER THAT PREVENTS THE ACCUMULATION OF LEAVES AND DEBRIS & ROUND COPPER DOWNSPUTS TO DISCHARGE INTO SPLASHBLOCKS
- A7 HANDRAIL & GUARDRAIL @ STAIR
PROVIDE MIN. ONE 1 1/2" @ TO 2" @ WOOD STAIR HANDRAIL 34" TO 38" ABOVE STAIR NOSINGS WITH NO SHARP EDGES. PROVIDE WOOD BALUSTERS, WHERE REQUIRED SUCH THAT A 4 3/8" DIA. SPHERE CANNOT PASS THROUGH.
- A8 PATIO POST
3X3 DECORATIVE POST W/ TRIM TOP & BOTTOM
- A9 GUARDRAIL @ BALCONY
PROVIDE 42" H. GUARDRAIL, 2X8 PONY WALL W/ CAP & 2 1/2" SQ TOP RAIL ON 3 1/2" HIGH POST @ 4' OC.
- A10 DOORS
ALUM. GLAD WOOD FRAME DOOR W/ DUAL GLAZING
- A11 WINDOWS
ALUM. GLAD WOOD FRAME WINDOWS W/ DUAL GLAZING
- A12 GARAGE DOOR
SECTIONAL ROLL UP CARRIAGE DOOR W/ TEMPERED GLASS & AUTOMATIC DOOR OPENER
- A13 MINI SPLIT HEATING & COOLING
MINI SPLIT SYSTEM WITH CONDENSER OUTSIDE & DUCTLESS CASSETTE INSIDE MOUNTED HIGH ON WALL TO PROVIDE HEATING & COOLING.
- A14 ON-DEMAND WATER HEATER
PROVIDE HIGH EFFICIENCY ON-DEMAND WATER HEATER BY NORITZ, MODEL NRC661-0-D, APFR. NFGC ANSI Z229.1/ NFPA 54



(E) FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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EXISTING & PROPOSED RIGHT & REAR ELEVATIONS

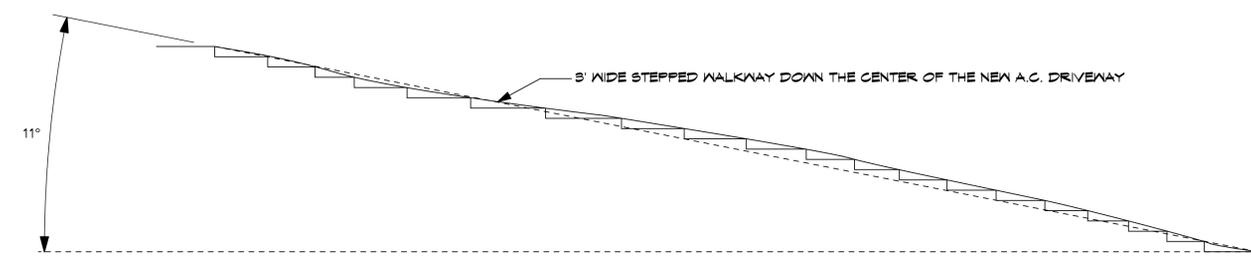
DATE: 9/28/18

SCALE: AS SHOWN

SHEET

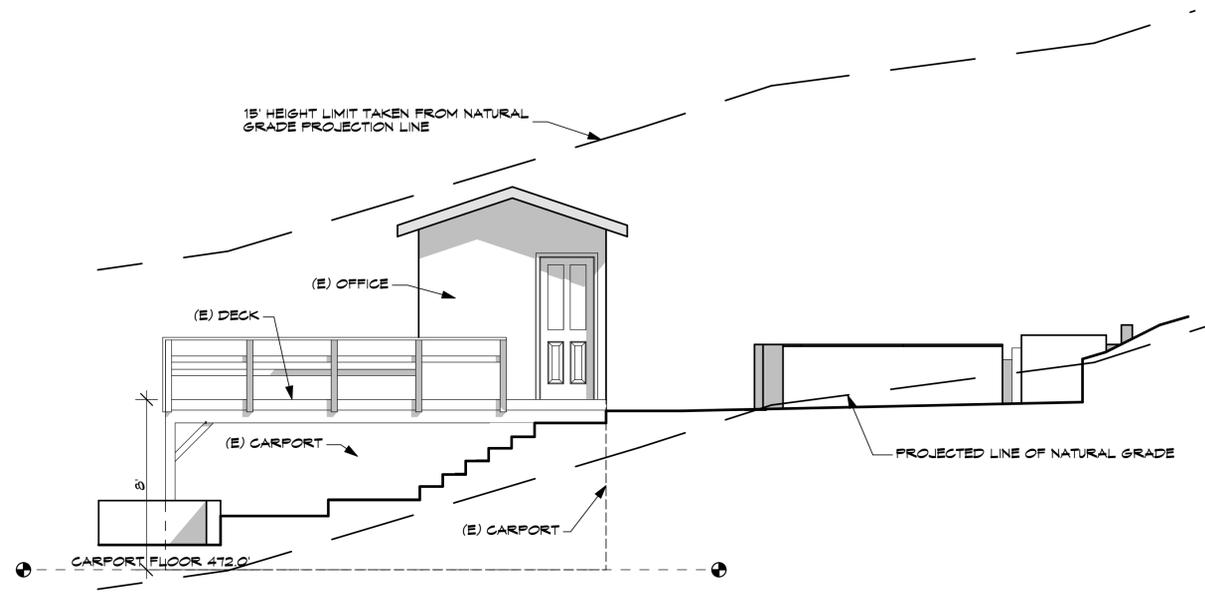
A-5

5 OF 15



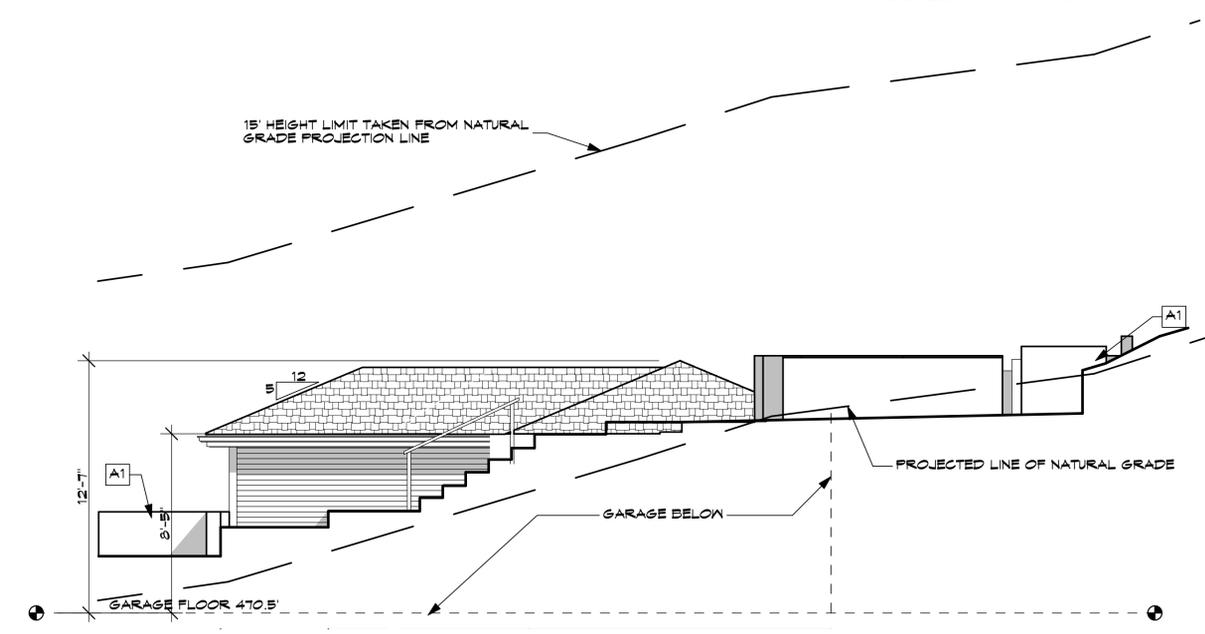
DRIVEWAY STAIR PROFILE

SCALE: 1/4" = 1'-0"



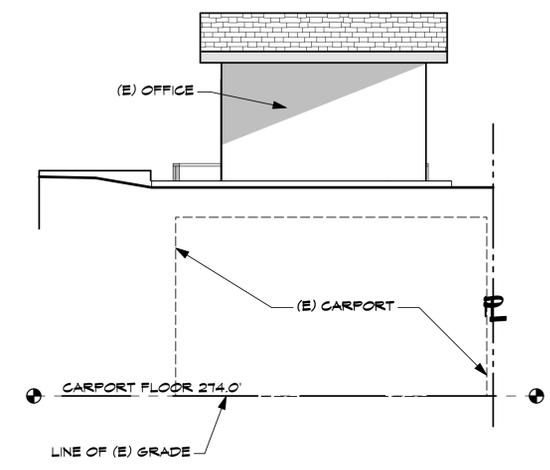
EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



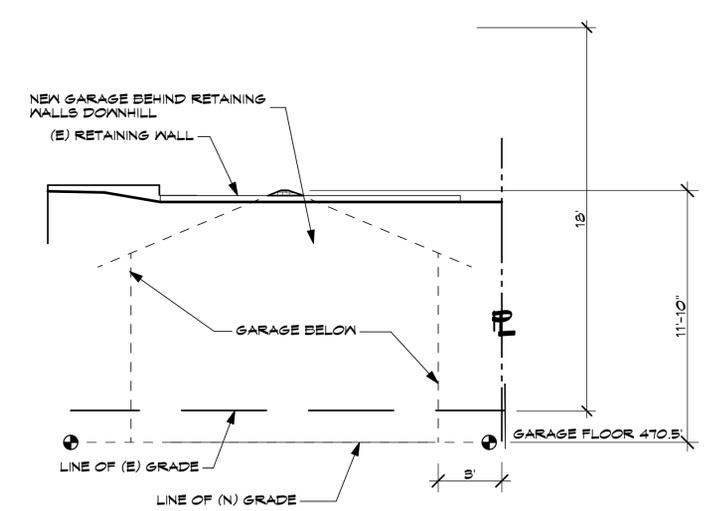
PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
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4" CONCRETE WALL 1/4" @ 9" OC VERTICALLY & #5 @ 12" OC HORIZONTALLY
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PROVIDE 2X8 PAINTED FACIA TO MATCH RESIDENCE
 - A4 EXTERIOR WALL FINISH
3" HORIZONTAL WOOD LAP SIDING W/ONE LAYER TYBEK HOUSE WRAP 0/1/2 OSB FLAMEBLOCK SHEATHING TO MATCH (E)
 - A5 ROOFING
CLASS 'A' ROOF ASSEMBLY. COMPOSITION SHINGLES 0/1 LAYER LAYFAST SBS T/48 UNDERLAYMENT BY MB TECHNOLOGIES OR EQUAL 0/1/2" PLYWOOD SHEATHING
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PROVIDE HIGH EFFICIENCY ON-DEMAND WATER HEATER BY NORITZ, MODEL NRC661-OD, APPR. NFGC AN61 Z229.1/ NFFA 54