

REMODEL/ADDITION

758 SOLITA CT LOS GATOS, CALIFORNIA

WARREN DESIGN |
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760 C. 209.534.7371

These drawings and the design information herein are the property of Warren Design and are not to be used for any other project without the written consent of Warren Design. © 2024

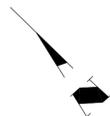
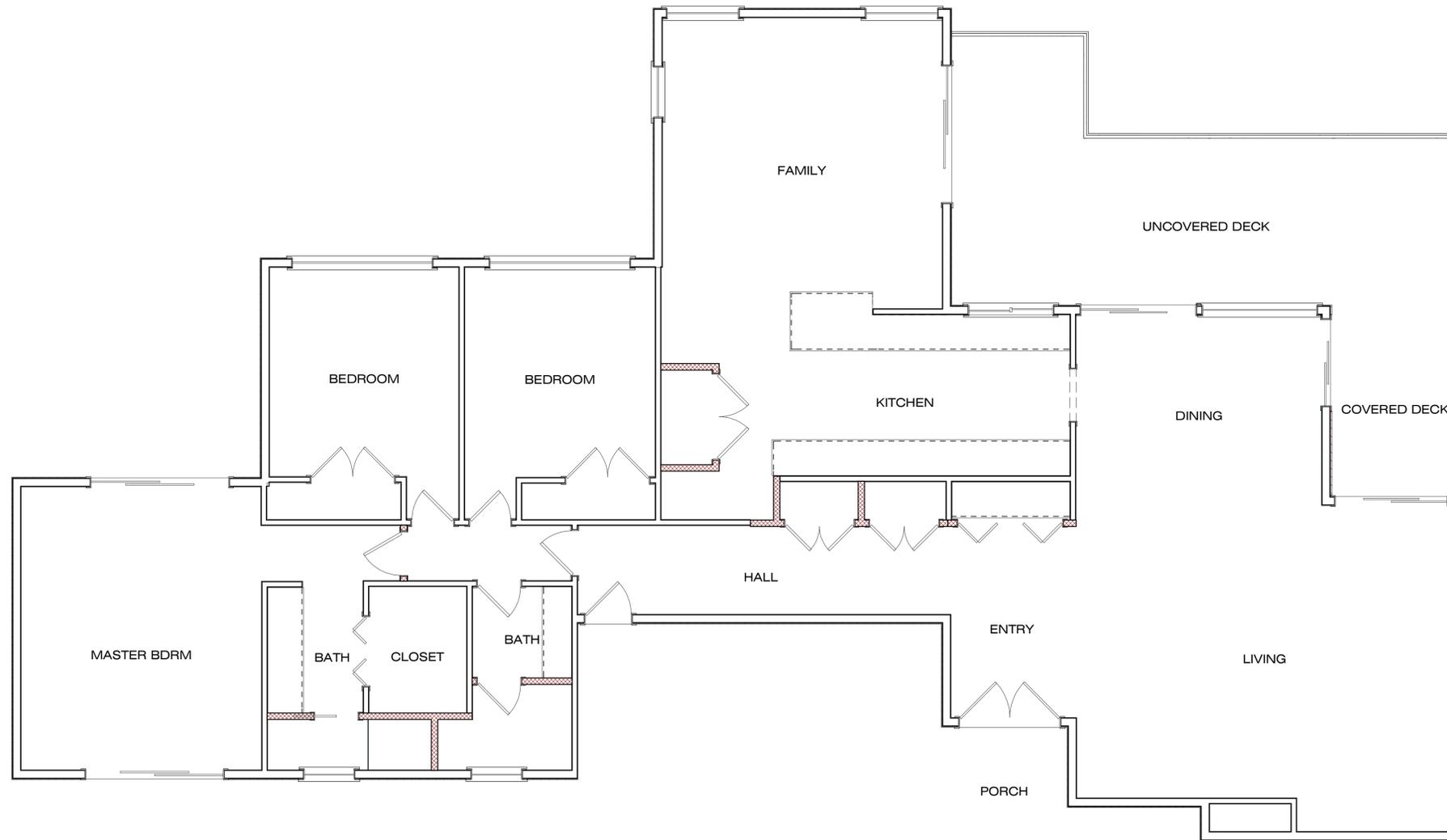
REMODEL/ADDITION
758 SOLITA CT.
LOS GATOS CALIFORNIA

CALGREEN MANDATORY MEASURES	FIRE DEPARTMENT NOTES	GENERAL NOTES	SHEET INDEX																																				
<p>A4.1 PLANNING & DESIGN-SITE DEVELOPMENT 4.106.2: A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. 4.106.3: THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS. A4.2 ENERGY EFFICIENCY 4.201.1: LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS. A4.3 WATER EFFICIENCY & CONSERVATION 4.303.1: INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS: 1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED. 2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED. 4.403.2: WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES 4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS. OUTDOOR WATER USE: 4.304.1 AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOILED-BASED. A4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY 4.406.1: JOINTS & OPENINGS ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 4.408.1: A MINIMUM OF 75% OR THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PER-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT. 4.408.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY. 4.410.1 AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. A4.5 ENVIRONMENTAL QUALITY POLLUTANT CONTROL: 4.504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. 4.504.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS. 4.504.2.2: PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. 4.504.2.3: ALL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS. 4.504.2.4: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. 4.504.3: CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. 4.504.4: 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAMS. 4.504.5: PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH: 4.505.2: VAPOR RETARDER & CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS. 4.505.3: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. INDOOR AIR QUALITY & EXHAUST 4.506.1: ENERGY STAR COMPLIANT EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM, CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. ENVIRONMENTAL COMFORT 4.507.1: WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2. 4.507.2: DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS: 1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT. 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19-D (MANUAL D) OR EQUIVALENT. 3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT. INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702.11: HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. 702.2: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING. 703.1: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.</p>	<p>THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5". SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.</p>	<p>1. CONTRACTOR SHALL COMPLY WITH ALL CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2016, CALIFORNIA BUILDING CODE (CBC) 2016, CALIFORNIA MECHANICAL CODE (CMC) 2016, CALIFORNIA PLUMBING CODE (CPC) 2016, CALIFORNIA FIRE CODE (CFC) 2016, CALIFORNIA ELECTRICAL CODE (CEC) 2016, CALIFORNIA GREEN BUILDING CODE (CGBC) 2016, ENERGY EFFICIENCY STANDARDS TITLE 24. 2. INSULATION AT ALL EXTERIOR WALLS, WALLS BETWEEN HOUSE AND GARAGE, WOOD FLOOR, FLOOR ABOVE GARAGE, AND CEILINGS SHALL BE (PER T-24 CALC'S): FLOOR: R-19, WALLS: R-13 PAPERFACED FIBERGLASS BATT, CEILING (FLAT): R-30 FIBERCEL BLOWN. STAPLE CERTIFICATE ADJACENT TO OVERHEAD DOOR ON INTERIOR OF GARAGE. 3. VENTILATION REQUIRED: ATTIC MINIMUM OF 1/300 OF ATTIC SPACE. PROVIDE A MINIMUM OF 50% AT ROOF WITH DORMER VENTS WITH THE BALANCE OF THE REQUIRED VENTING AT EAVES. 4. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE. 5. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 95% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2500 PSI AT 28 DAYS. FLAT WORK SHALL BE 2500 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 6" ABOVE GRADE. PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION. 6. SILL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. 7. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS. 8. PROVIDE SOLID BLOCKING AT ALL FURRED CEILINGS AND SOFFITS AT WALLS. 9. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2'-16d EACH END. 10. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM). 11. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED. 12. POWER DRIVEN FASTENERS: ICBG #1200, PIN #DN72 AS MANUFACTURED BY "HILTI". SPACING: 18" O.C. AT ALL BEARING WALLS, 36" O.C. AT ALL NON-BEARING WALLS. 13. EXTERIOR FINISH TO BE HORIZONTAL SIDING AT 1st FLOOR AND SHINGLE SIDING AT THE 2nd FLOOR- SEE EXTERIOR ELEVATIONS. 14. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR #1/ CASING BEAD, MILCOR #66/EXTERIOR CORNER, MILCOR #1 EXP. JOINT, INTERIOR CORNER, MILCOR #30 EXP. JOINT. 15. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS. 16. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED, H.S.=HORIZONTAL SLIDER, S.H.=SINGLE HUNG, OBS.=OBSCURE, FXD.=FIXED, TEMP.=TEMPERED, HLF. AND=HALF ROUND. 17. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS. 18. EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE, ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS. 19. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM. 20. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION. 21. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.</p>	<p>T-1 PROJECT DATA/ GENERAL NOTES C-1 GRADING AND DRAINAGE PLAN A-1 SITE PLAN A-2 EXISTING ENTRY LEVEL FLOOR PLAN A-3 PROPOSED ENTRY LEVEL FLOOR PLAN A-4 PROPOSED LOWER LEVEL FLOOR PLAN A-5 PROPOSED EXTERIOR ELEVATIONS A-6 PROPOSED EXTERIOR ELEVATIONS A-7 EXISTING EXTERIOR ELEVATIONS A-8 ROOF PLAN E-1 ELECTRICAL PLAN</p>																																				
	<p style="text-align: center;">SPECIAL INSPECTIONS</p> <p>ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY. RETROFIT HOLD-DOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLD-DOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).</p>		<p style="text-align: center;">PROJECT DATA</p> <table border="0"> <tr> <td>PROJECT ADDRESS:</td> <td>758 SOLITA CT.</td> </tr> <tr> <td>ASSESSOR PARCEL NUMBER:</td> <td>407-07-015</td> </tr> <tr> <td>ZONING:</td> <td>R-1</td> </tr> <tr> <td>CONSTRUCTION TYPE:</td> <td>V-B</td> </tr> <tr> <td>OCCUPANCY TYPE:</td> <td>R-3U</td> </tr> <tr> <td>LOT SIZE:</td> <td>28,701 S.F.</td> </tr> <tr> <td>MAX. HOUSE F.A.R.:</td> <td>4,601 S.F.</td> </tr> <tr> <td>MAX. GARAGE F.A.R.:</td> <td>1,160 S.F.</td> </tr> <tr> <td>EXISTING HOUSE:</td> <td>2,305 S.F.</td> </tr> <tr> <td>PROPOSED LOWER LEVEL ADDITION:</td> <td>978 S.F.</td> </tr> <tr> <td>TOTAL PROPOSED F.A.R.:</td> <td>3,283 S.F. (11.4%)</td> </tr> <tr> <td>EXISTING DETACHED GARAGE:</td> <td>528 S.F.</td> </tr> <tr> <td>EXISTING COVERED PORCH:</td> <td>64 S.F.</td> </tr> <tr> <td>EXISTING COVERED DECK:</td> <td>84 S.F.</td> </tr> <tr> <td>EXISTING UNCOVERED DECK:</td> <td>441 S.F.</td> </tr> <tr> <td>MAX. LOT COVERAGE:</td> <td>3,968.65 S.F.</td> </tr> <tr> <td>PROPOSED BUILDING COVERAGE:</td> <td>3,304 S.F.</td> </tr> <tr> <td>PROPOSED PAVEMENT COVERAGE:</td> <td>1,401 S.F.</td> </tr> </table>	PROJECT ADDRESS:	758 SOLITA CT.	ASSESSOR PARCEL NUMBER:	407-07-015	ZONING:	R-1	CONSTRUCTION TYPE:	V-B	OCCUPANCY TYPE:	R-3U	LOT SIZE:	28,701 S.F.	MAX. HOUSE F.A.R.:	4,601 S.F.	MAX. GARAGE F.A.R.:	1,160 S.F.	EXISTING HOUSE:	2,305 S.F.	PROPOSED LOWER LEVEL ADDITION:	978 S.F.	TOTAL PROPOSED F.A.R.:	3,283 S.F. (11.4%)	EXISTING DETACHED GARAGE:	528 S.F.	EXISTING COVERED PORCH:	64 S.F.	EXISTING COVERED DECK:	84 S.F.	EXISTING UNCOVERED DECK:	441 S.F.	MAX. LOT COVERAGE:	3,968.65 S.F.	PROPOSED BUILDING COVERAGE:	3,304 S.F.	PROPOSED PAVEMENT COVERAGE:	1,401 S.F.
PROJECT ADDRESS:	758 SOLITA CT.																																						
ASSESSOR PARCEL NUMBER:	407-07-015																																						
ZONING:	R-1																																						
CONSTRUCTION TYPE:	V-B																																						
OCCUPANCY TYPE:	R-3U																																						
LOT SIZE:	28,701 S.F.																																						
MAX. HOUSE F.A.R.:	4,601 S.F.																																						
MAX. GARAGE F.A.R.:	1,160 S.F.																																						
EXISTING HOUSE:	2,305 S.F.																																						
PROPOSED LOWER LEVEL ADDITION:	978 S.F.																																						
TOTAL PROPOSED F.A.R.:	3,283 S.F. (11.4%)																																						
EXISTING DETACHED GARAGE:	528 S.F.																																						
EXISTING COVERED PORCH:	64 S.F.																																						
EXISTING COVERED DECK:	84 S.F.																																						
EXISTING UNCOVERED DECK:	441 S.F.																																						
MAX. LOT COVERAGE:	3,968.65 S.F.																																						
PROPOSED BUILDING COVERAGE:	3,304 S.F.																																						
PROPOSED PAVEMENT COVERAGE:	1,401 S.F.																																						
	<p style="text-align: center;">VICINITY MAP</p>		<p>SCOPE OF WORK: CONSTRUCT A NEW ADDITION UNDERNEATH AN EXISTING RESIDENCE FOR A NEW MASTER SUITE AND WORKOUT/ OFFICE AREA WITH A BATH. WILL REMODEL THE EXISTING MAIN LEVEL KITCHEN, BATH, LIVING AND DINING ROOMS TO UPDATE THE HOUSE THROUGHOUT. EXISTING EXTERIOR FACADE TO REMAIN UNTOUCHED EXCEPT WHERE NECESSARY TO ACCOMMODATE LOWER LEVEL ADDITION. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.</p>																																				

Date: 9/1/18
Drawn By:
Revisions:
▲
▲
▲
▲
▲
▲

**TITLE PAGE
PROJECT DATA
SHEET INDEX**

Project No: **1826**
Sheet No: **A-2**
of PAGES



Existing/Demo Entry Level Floor Plan



Date: 9/1/18

Drawn By:

Revisions:

- ▲
- ▲
- ▲
- ▲
- ▲

EXISTING/
DEMO FLOOR
PLAN

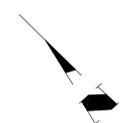
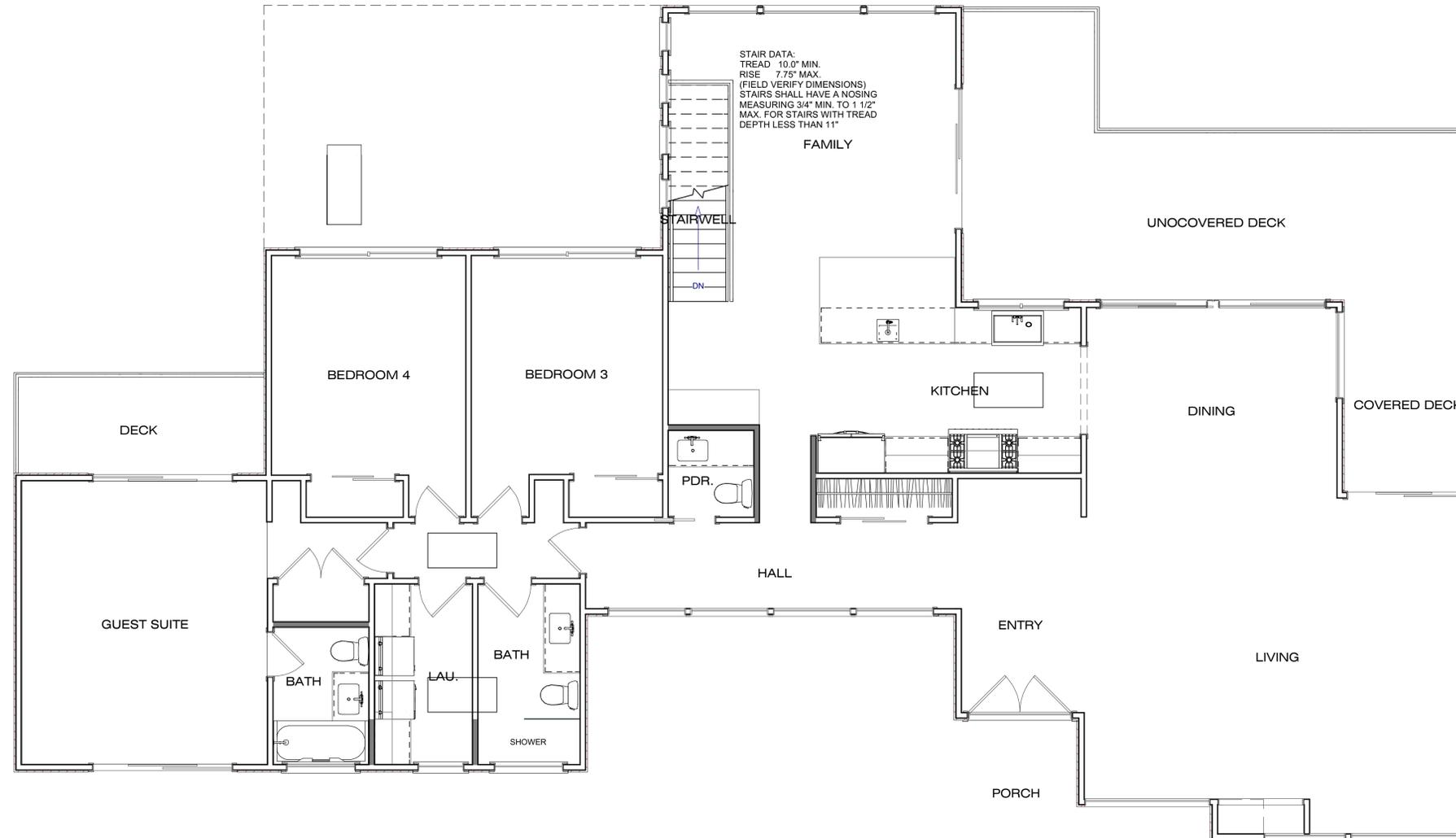
Project No:
1826

Sheet No:
A-2

of PAGES

GENERAL NOTES:

1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
2. ALL EXTERIOR HEADERS SHALL BE AT 8'-0" U.N.O.
3. ALL EXTERIOR DOORS SHALL BE AT LEAST 13/4" THICK
4. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
5. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET
6. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
7. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
8. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/ FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.
9. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
10. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
11. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
12. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
13. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
14. INSTALL PRE-FAB MET. FIREPLACES PER MFG'S SPEC'S. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
15. PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
16. PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
17. LANDINGS NO MORE THAN 7.75" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 1 1/2" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
18. ALL GYPSUM BOARD TO 5/8" TYP. U.N.O.
19. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.
20. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CEN-C SECTION 117).
21. THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2". (150)(1/2) CEN-C.
22. VENTING FOR ISLAND FIXTURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2016 CALIFORNIA PLUMBING CODE.



Proposed Entry Level Floor Plan



Date: 9/1/18

Drawn By:

Revisions:

- ▲
- ▲
- ▲
- ▲
- ▲

PROPOSED
ENTRY LEVEL
FLOOR PLAN

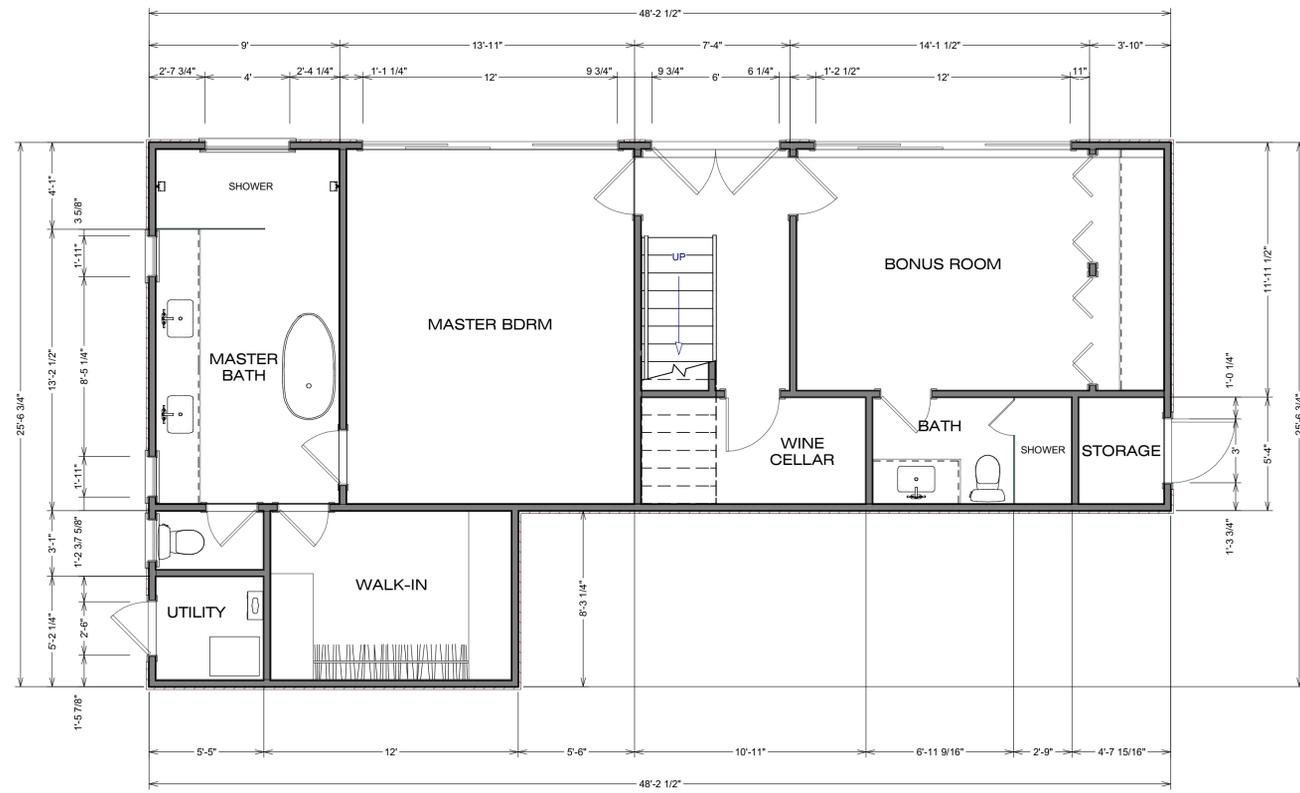
Project No:

1826

Sheet No:

A-3

of PAGES



Proposed Lower Level Floor Plan



Date: 9/1/18

Drawn By:

Revisions:

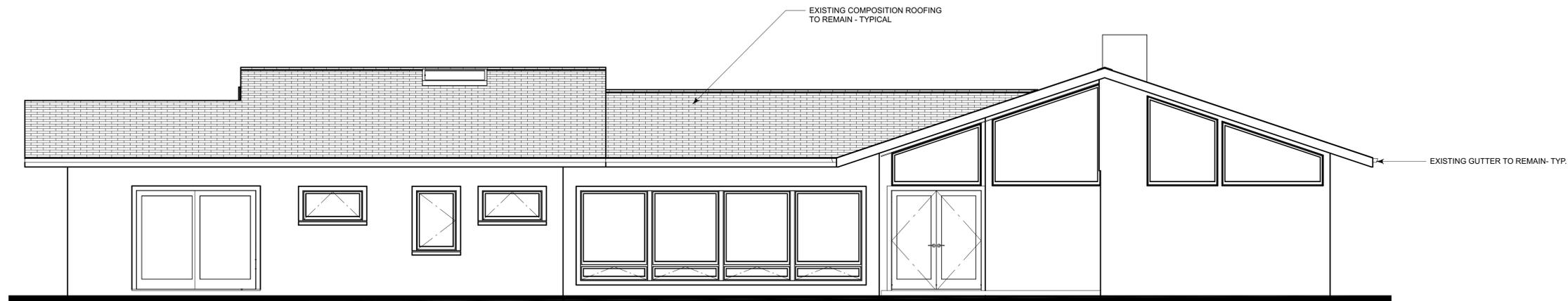
- ▲
- ▲
- ▲
- ▲
- ▲

PROPOSED
LOWER LEVEL
FLOOR PLAN

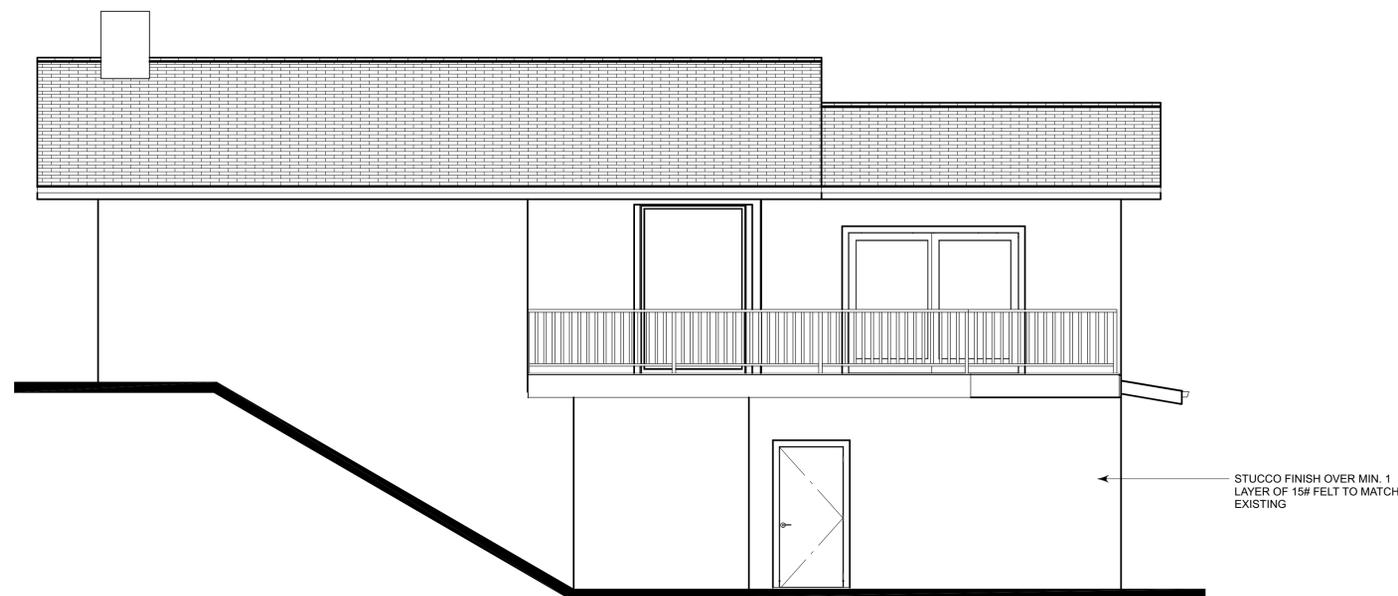
Project No:
1826

Sheet No:
A-4

of PAGES



Proposed Front/ South Elevation



Proposed Right/ East Elevation

ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
 EXTERIOR WINDOWS AND DOORS.
 AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS.
 AT BUILT-IN GUTTERS.

Date: 9/1/18

Drawn By:

Revisions:



PROPOSED EXTERIOR ELEVATIONS

Project No:

1826

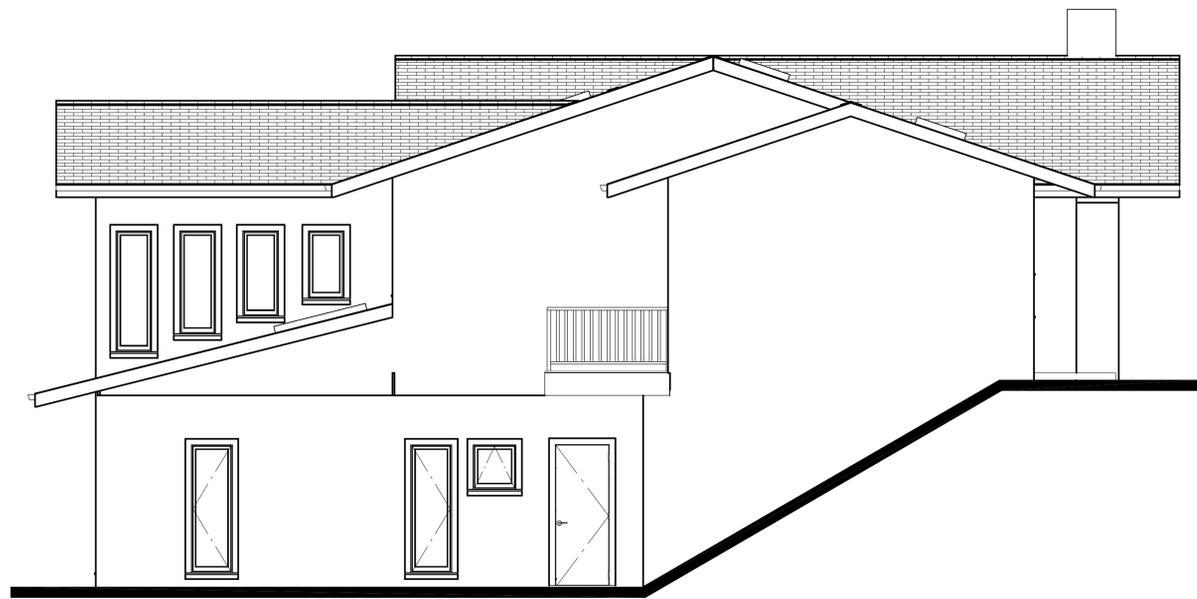
Sheet No:

A-5

of PAGES



Proposed Rear/ North Elevation



Proposed Left/ West Elevation

WARREN DESIGN |
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760 C. 209.534.7371

These drawings and the design information herein are the property of Warren Design. No part of these drawings or design information may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design.

REMODEL/ADDITION

758 SOLITA CT. CALIFORNIA
LOS GATOS

Date: 9/1/18

Drawn By:

Revisions:



PROPOSED
EXTERIOR
ELEVATIONS

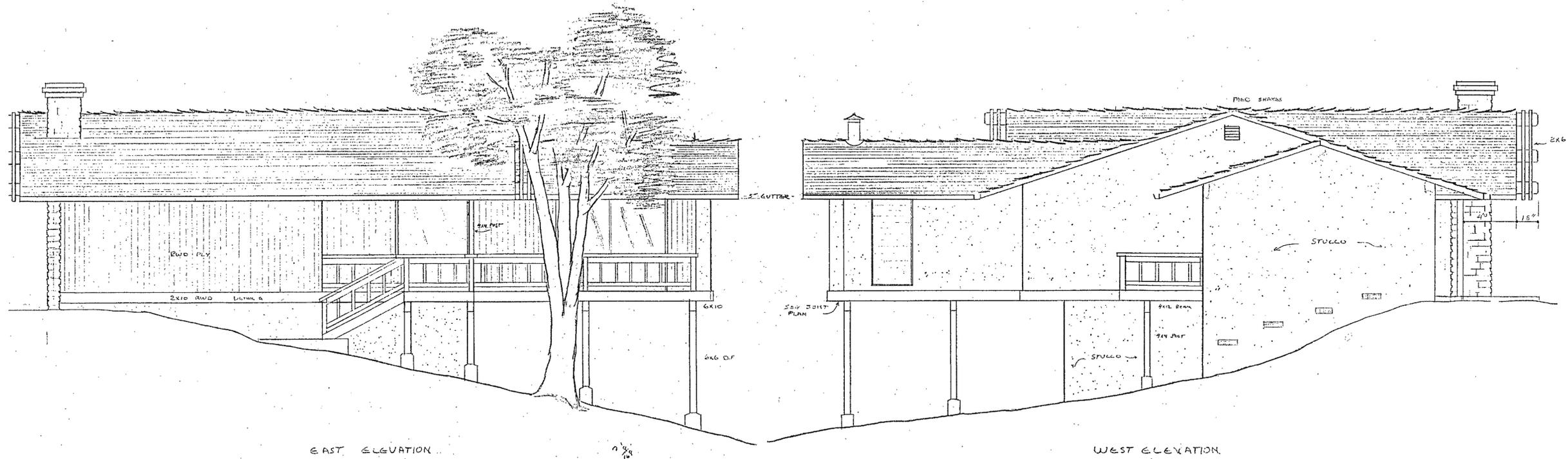
Project No:

1826

Sheet No:

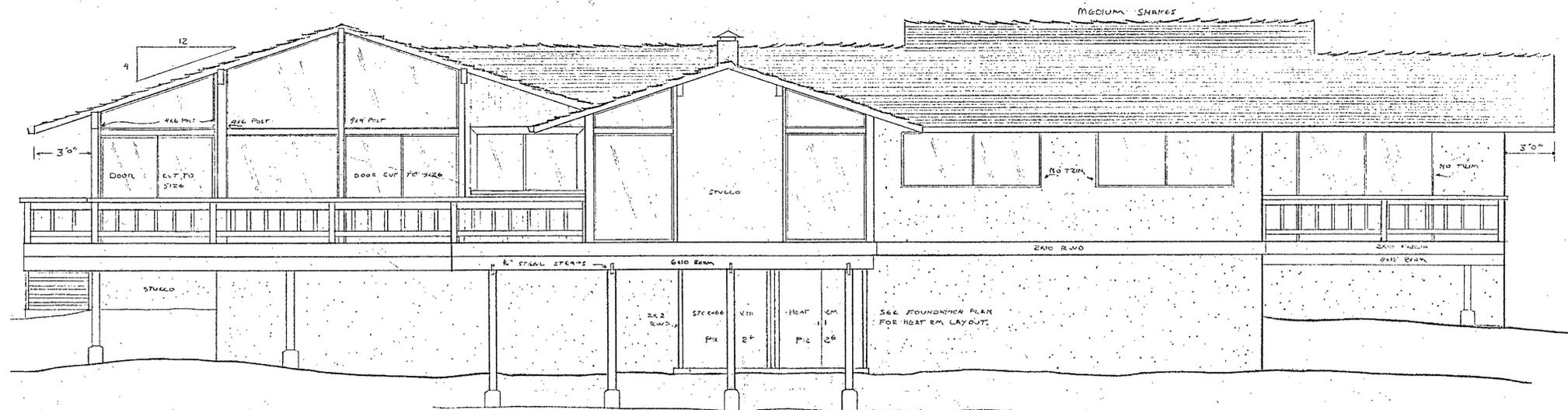
A-6

of PAGES

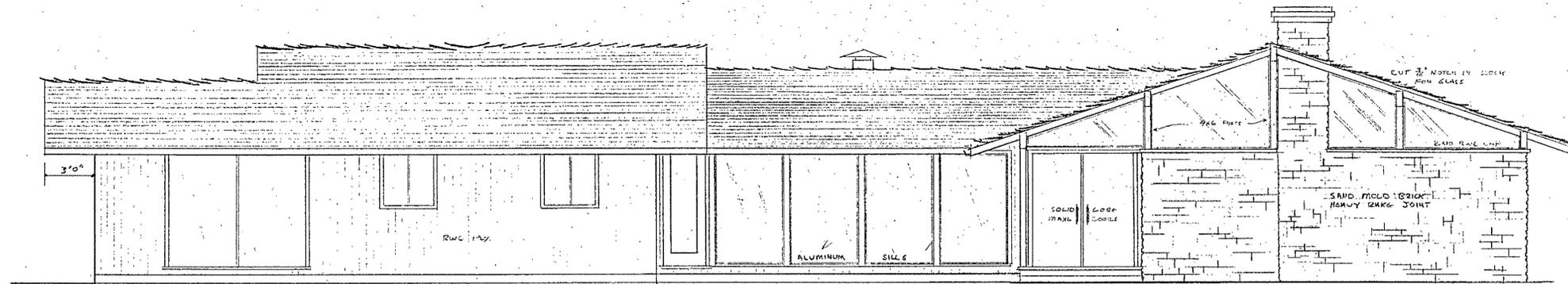


EAST ELEVATION

WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

Date: 9/1/18

Drawn By:

Revisions:

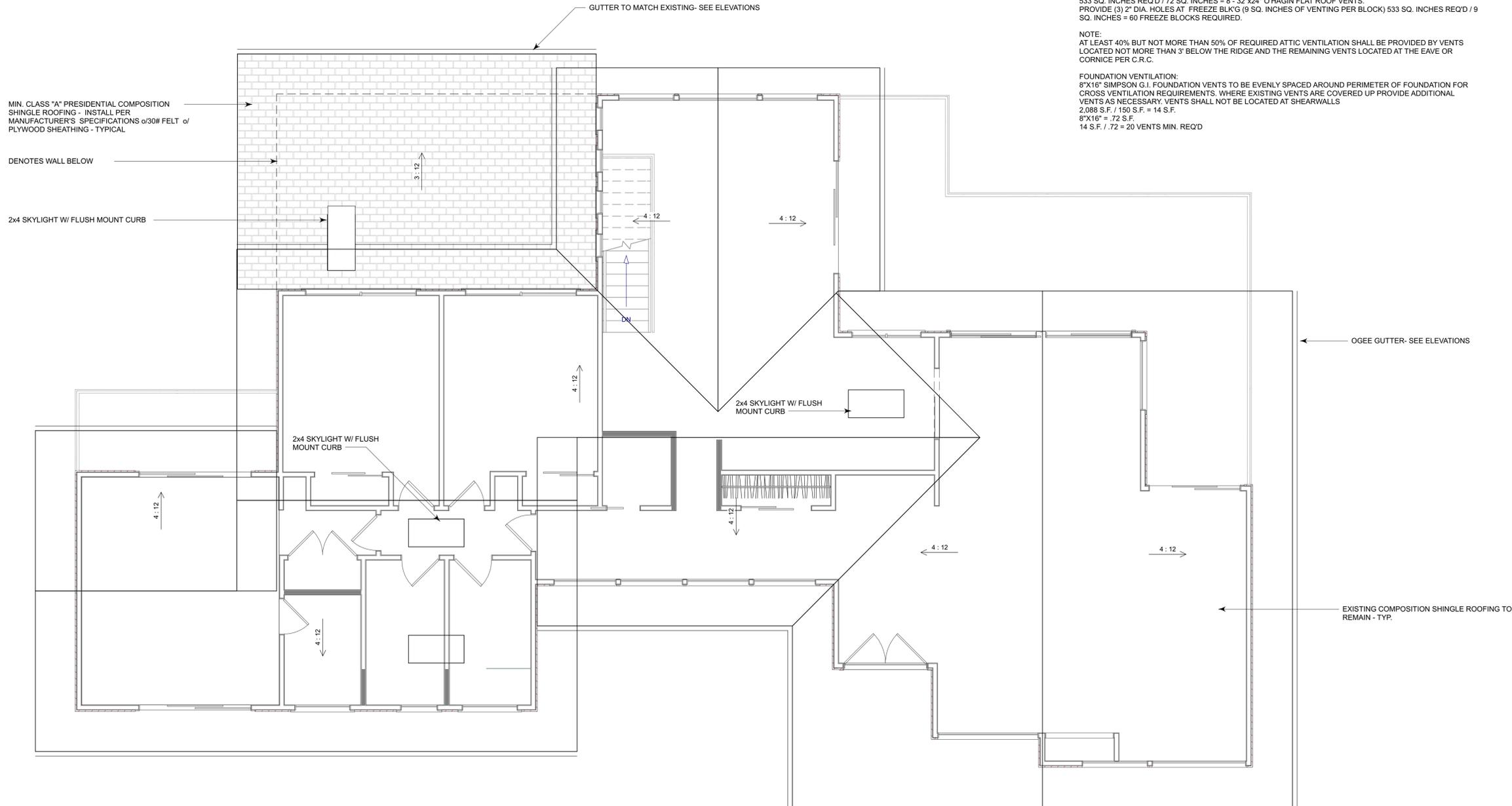


EXISTING
EXTERIOR
ELEVATIONS

Project No:
1826

Sheet No:
A-7

of PAGES



ROOF PLAN NOTES:
 ROOF SLOPE IS TO BE 5:12.
 ARROWS INDICATE DIRECTION OF ROOF SLOPE.
 OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.N.O.)
 PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL.
 INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
 INSTALL "OGEE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
 PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.
 ALL MATERIALS BELOW BFE SHALL BE RESISTANT TO FLOOD DAMAGE.

ATTIC VENTILATION:
ENTRY LEVEL ROOF:
 482 S.F. OF ATTIC SPACE / 300 = 1.6 S.F.
 1.6 S.F. x 144 SQ. INCHES = 230 SQ. INCHES REQ'D
 115 SQ. INCHES REQ'D / 72 SQ. INCHES = 2 - 32"x24" O'HAGIN FLAT ROOF VENTS.
 PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'G (9 SQ. INCHES OF VENTING PER BLOCK) 115 SQ. INCHES REQ'D / 9 SQ. INCHES=13 FREEZE BLOCKS REQUIRED. PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.
UPPER LEVEL ROOF:
 2,236 S.F. OF ATTIC SPACE / 300 = 7.4 S.F.
 7.4 S.F. x 144 SQ. INCHES = 1,065 SQ. INCHES REQ'D
 533 SQ. INCHES REQ'D / 72 SQ. INCHES = 8 - 32"x24" O'HAGIN FLAT ROOF VENTS.
 PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'G (9 SQ. INCHES OF VENTING PER BLOCK) 533 SQ. INCHES REQ'D / 9 SQ. INCHES = 60 FREEZE BLOCKS REQUIRED.

NOTE:
 AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.R.C.

FOUNDATION VENTILATION:
 8"X16" SIMPSON G.I. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS. WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS
 2,088 S.F. / 150 S.F. = 14 S.F.
 8"X16" = .72 S.F.
 14 S.F. / .72 = 20 VENTS MIN. REQ'D

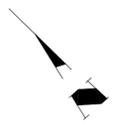
MIN. CLASS "A" PRESIDENTIAL COMPOSITION SHINGLE ROOFING - INSTALL PER MANUFACTURER'S SPECIFICATIONS w/ 30# FELT & PLYWOOD SHEATHING - TYPICAL

DENOTES WALL BELOW

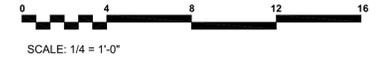
2x4 SKYLIGHT W/ FLUSH MOUNT CURB

OGEE GUTTER-SEE ELEVATIONS

EXISTING COMPOSITION SHINGLE ROOFING TO REMAIN - TYP.



Roof Plan



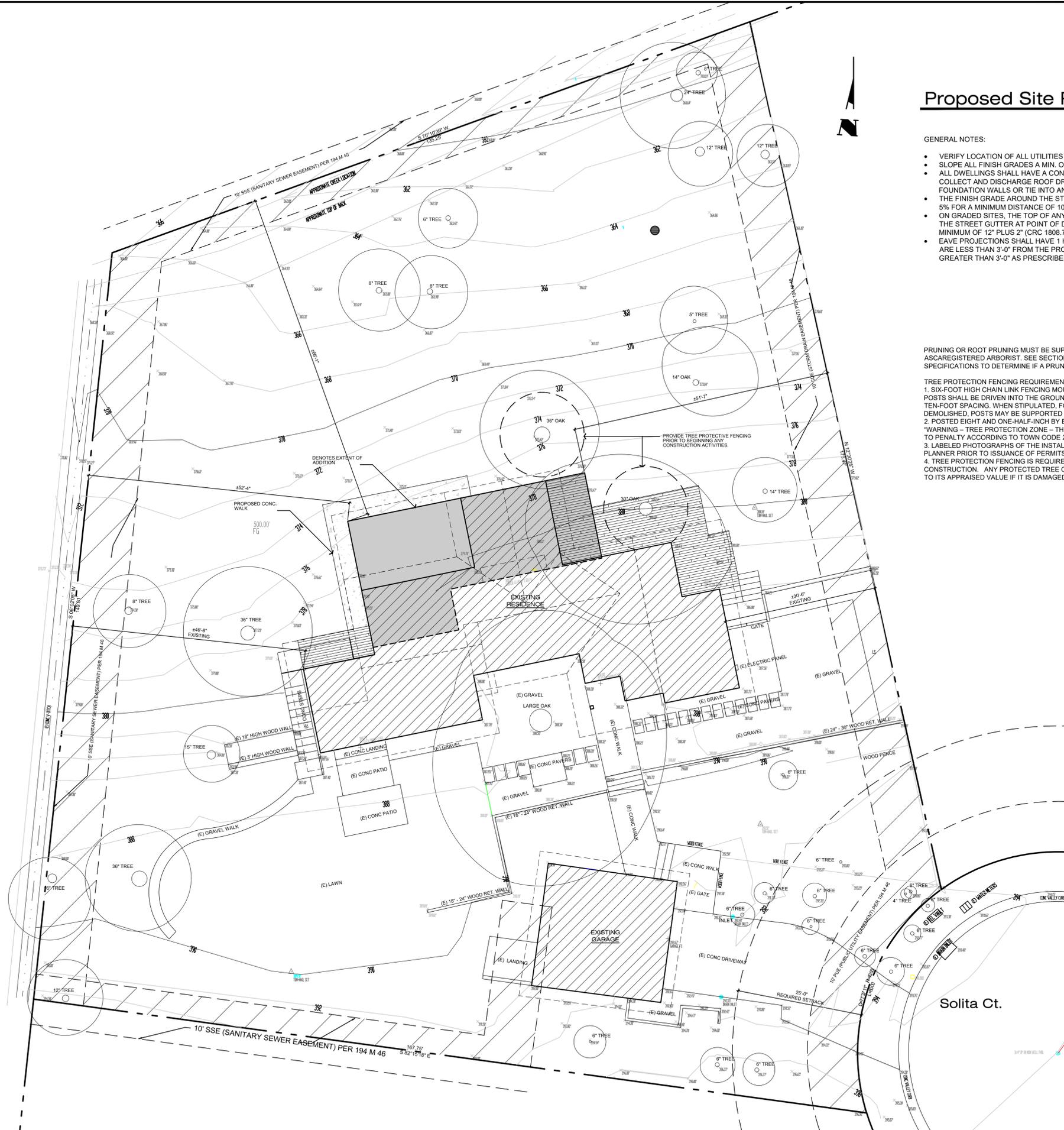
SCALE: 1/4" = 1'-0"

These drawings and the design information herein are the property of Warren Design. No part of these drawings or design information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Warren Design. © 2018

REMODEL/ADDITION
 758 SOLITA CT.
 LOS GATOS CALIFORNIA

Date: 9/1/18
Drawn By:
Revisions:
▲
▲
▲
▲

ROOF PLAN



Proposed Site Plan

scale: 1/8" = 1'-0"

GENERAL NOTES:

- VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
- SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 5'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
- ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM.
- THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CBC 1804.3).
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CRC 1808.7.4).
- EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE-RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2).

PRUNING OR ROOT PRUNING MUST BE SUPERVISED BY AN ISA-CERTIFIED ARBORIST OR AN ASCAREGISTERED ARBORIST. SEE SECTION 29.10.1010 OF THE TOWN CODE FOR SPECIFICATIONS TO DETERMINE IF A PRUNING PERMIT IS REQUIRED.

- TREE PROTECTION FENCING REQUIREMENTS:**
1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FEET DEEP AT NO MORE THAN TEN-FOOT SPACING. WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.
 2. POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025"
 3. LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
 4. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION. ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

Date:	9/1/18
Drawn By:	DCW
Revisions:	
▲	
▲	
▲	

Proposed Site Plan

Project No: **1826**
 Sheet No: **A-1**

This drawing and the designs incorporated herein, as an instrument of service one and shall remain the property of WARREN DESIGN and one not to be used in whole or part for any other project without written consent. © Copyright 2015

AREA TABLE

LOT AREA 0.6389 acres 28,701.0613 sq ft	
(E) ROOF 0.0858 acres 3,736.9373 sq ft	(N) ROOF 0.0805 acres 298.0705 sq ft
(E) HOUSE PAD 0.0441 acres 1,919.0071 sq ft	(N) ADDITION 0.0190 acres 826.9873 sq ft
(E) GARAGE ROOF 0.0199 acres 867.5086 sq ft	(N) PAVEMENT 0.007 acres 300 sq ft
(E) GARAGE 0.0143 acres 633.5119 sq ft	
(E) PAVEMENT 0.0253 acres 1,100.5239 sq ft	



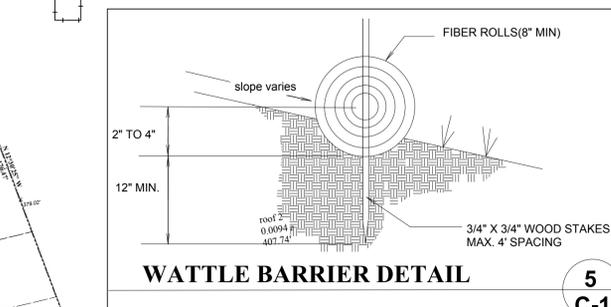
LEGAL DESCRIPTION OF SITE
LOT 3 / TRACT 3958
FILED FOR RECORD IN BOOK 194, PAGES 45 & 46
APN 407-07-015

EARTH WORK QUANTITIES
CUT: 25 CY
FILL: 25 CY
EXPORT: 00 CY
IMPORT: 000 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

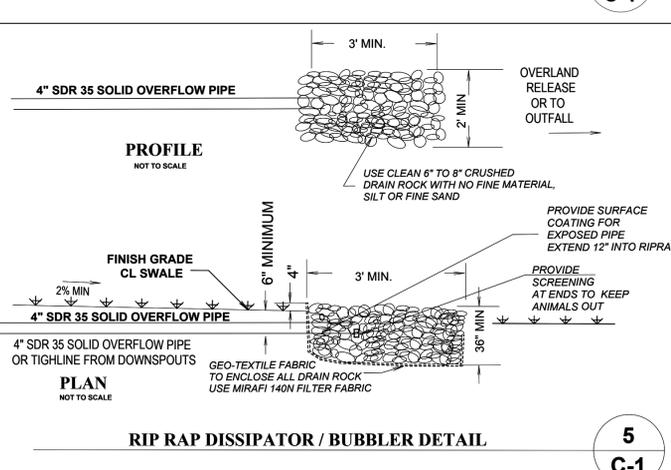
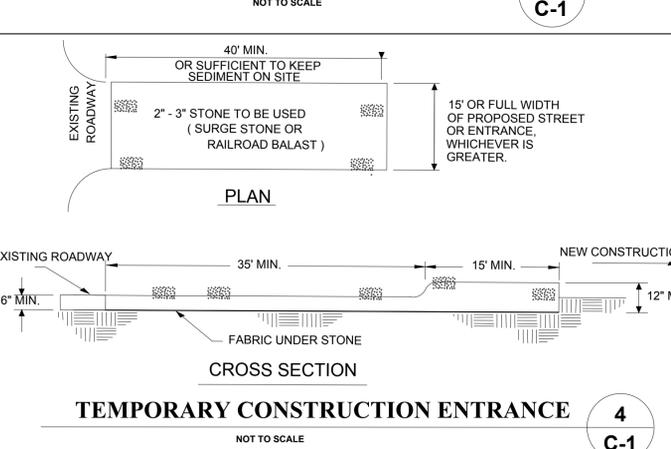
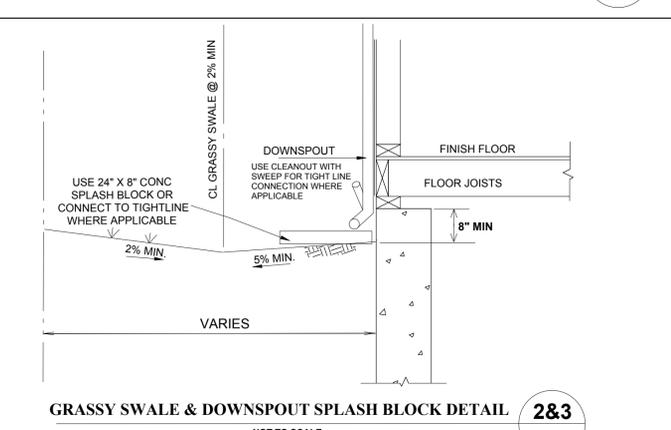
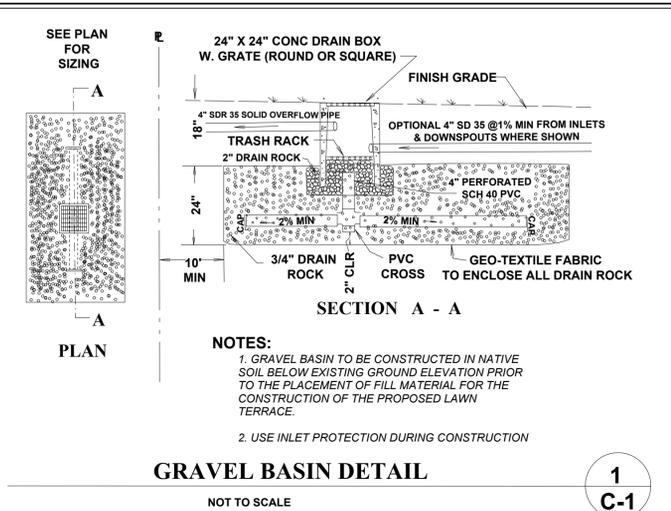
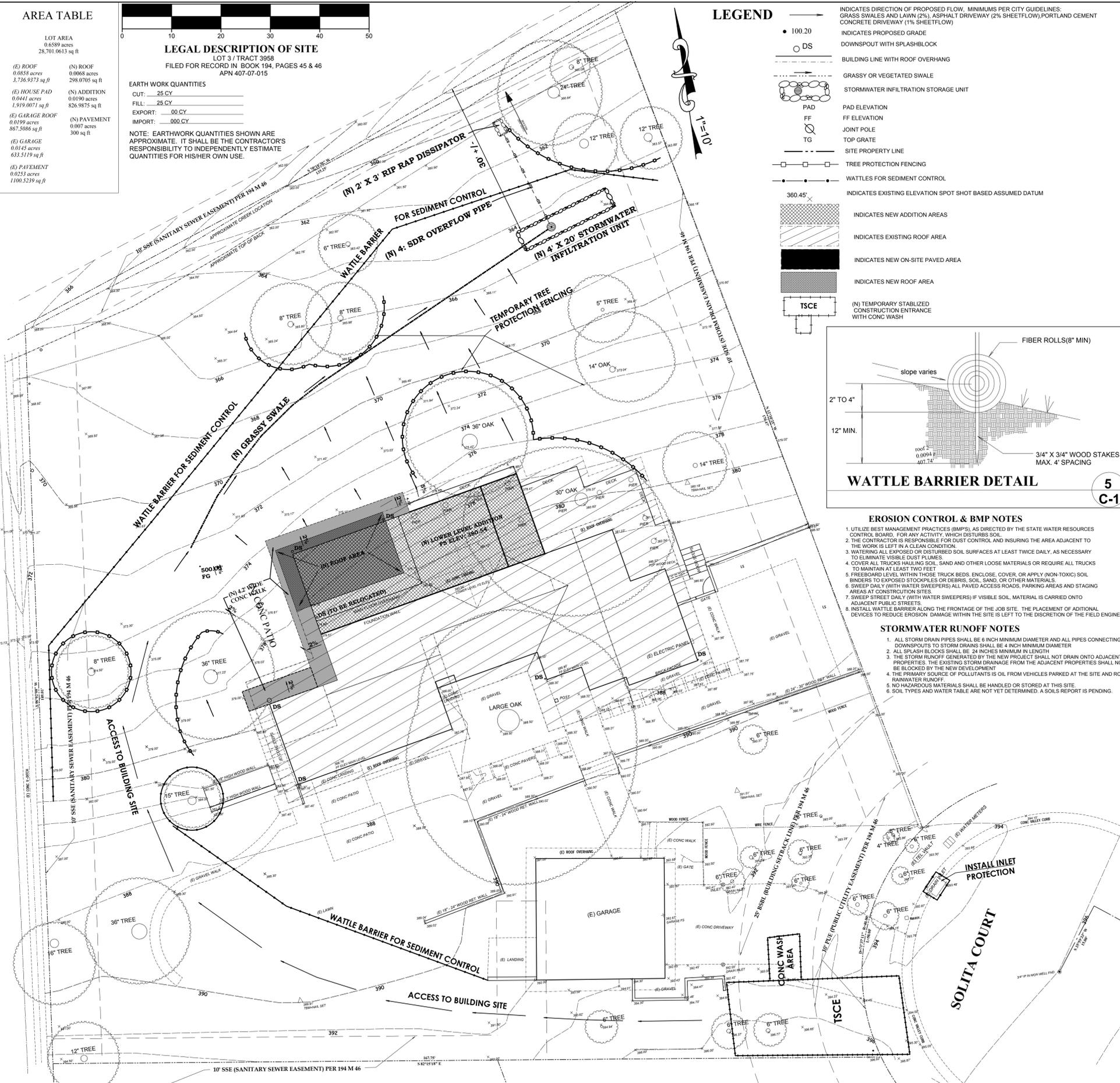
LEGEND

- INDICATES DIRECTION OF PROPOSED FLOW. MINIMUMS PER CITY GUIDELINES: GRASS SWALES AND LAWN (2%), ASPHALT DRIVEWAY (2% SHEETFLOW), PORTLAND CEMENT CONCRETE DRIVEWAY (1% SHEETFLOW)
- DS INDICATES PROPOSED GRADE
- DOWNSPOUT WITH SPLASHBLOCK
- BUILDING LINE WITH ROOF OVERHANG
- GRASSY OR VEGETATED SWALE
- STORMWATER INFILTRATION STORAGE UNIT
- PAD PAD ELEVATION
- FF FF ELEVATION
- TG TOP GRADE
- SITE PROPERTY LINE
- TREE PROTECTION FENCING
- WATTLERS FOR SEDIMENT CONTROL
- 360.45' INDICATES EXISTING ELEVATION SPOT SHOT BASED ASSUMED DATUM
- INDICATES NEW ADDITION AREAS
- INDICATES EXISTING ROOF AREA
- INDICATES NEW ON-SITE PAVED AREA
- INDICATES NEW ROOF AREA
- (N) TEMPORARY STABILIZED CONSTRUCTION ENTRANCE WITH CONG WASH



- EROSION CONTROL & BMP NOTES**
- UTILIZE BEST MANAGEMENT PRACTICES (BMPs) AS DIRECTED BY THE STATE WATER RESOURCES CONTROL BOARD. FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
 - WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES AT LEAST TWICE DAILY, AS NECESSARY TO ELIMINATE VISIBLE DUST PLUMES.
 - COVER ALL TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET
 - FREEBORD LEVEL WITHIN TRUCK BEDS ENCLOSE, COVER, OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES OR DEBRIS, SOIL, SAND, OR OTHER MATERIALS.
 - SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
 - SWEEP STREET DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL. MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
 - INSTALL WATTLE BARRIER ALONG THE FRONTAGE OF THE JOB SITE. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.

- STORMWATER RUNOFF NOTES**
- ALL STORM DRAIN PIPES SHALL BE 6 INCH MINIMUM DIAMETER AND ALL PIPES CONNECTING DOWNSPOUTS TO STORM DRAINS SHALL BE 4 INCH MINIMUM DIAMETER
 - ALL SPLASH BLOCKS SHALL BE 24 INCHES MINIMUM IN LENGTH
 - THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT
 - THE PRIMARY SOURCE OF POLLUTANTS IS OIL FROM VEHICLES PARKED AT THE SITE AND ROOF RANWATER RUNOFF.
 - NO HAZARDOUS MATERIALS SHALL BE HANDLED OR STORED AT THIS SITE.
 - SOIL TYPES AND WATER TABLE ARE NOT YET DETERMINED. A SOILS REPORT IS PENDING.



Date: 12-03-18
 Revised: 01-31-19
 Revised: 02-04-19
 Drawn By: JLK

JLK ASSOCIATES
SURVEYORS / ENGINEERS
73 CEDAR LANE
SAN JOSE, CA. 95127
408-729-3734

GRADING & DRAINAGE PLAN
758 Solita Ct. Los Gatos, CA
LOT 3 / TRACT 3958
SANTA CLARA COUNTY
STATE OF CALIFORNIA

SCALE: AS NOTED

SHEET:
C-1
1 OF 1