

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19



A NEW RESIDENCE:
THE CHAUDHRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



The Chaudhry Residence

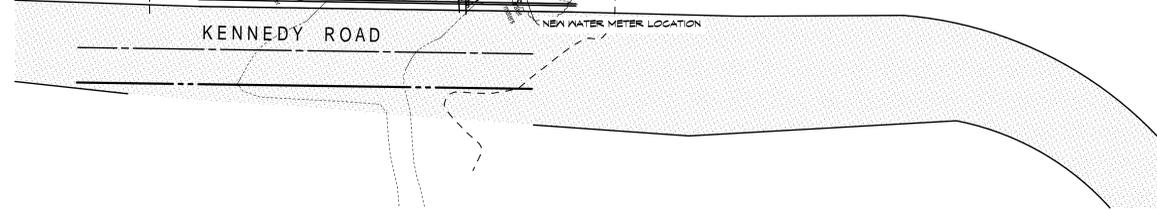
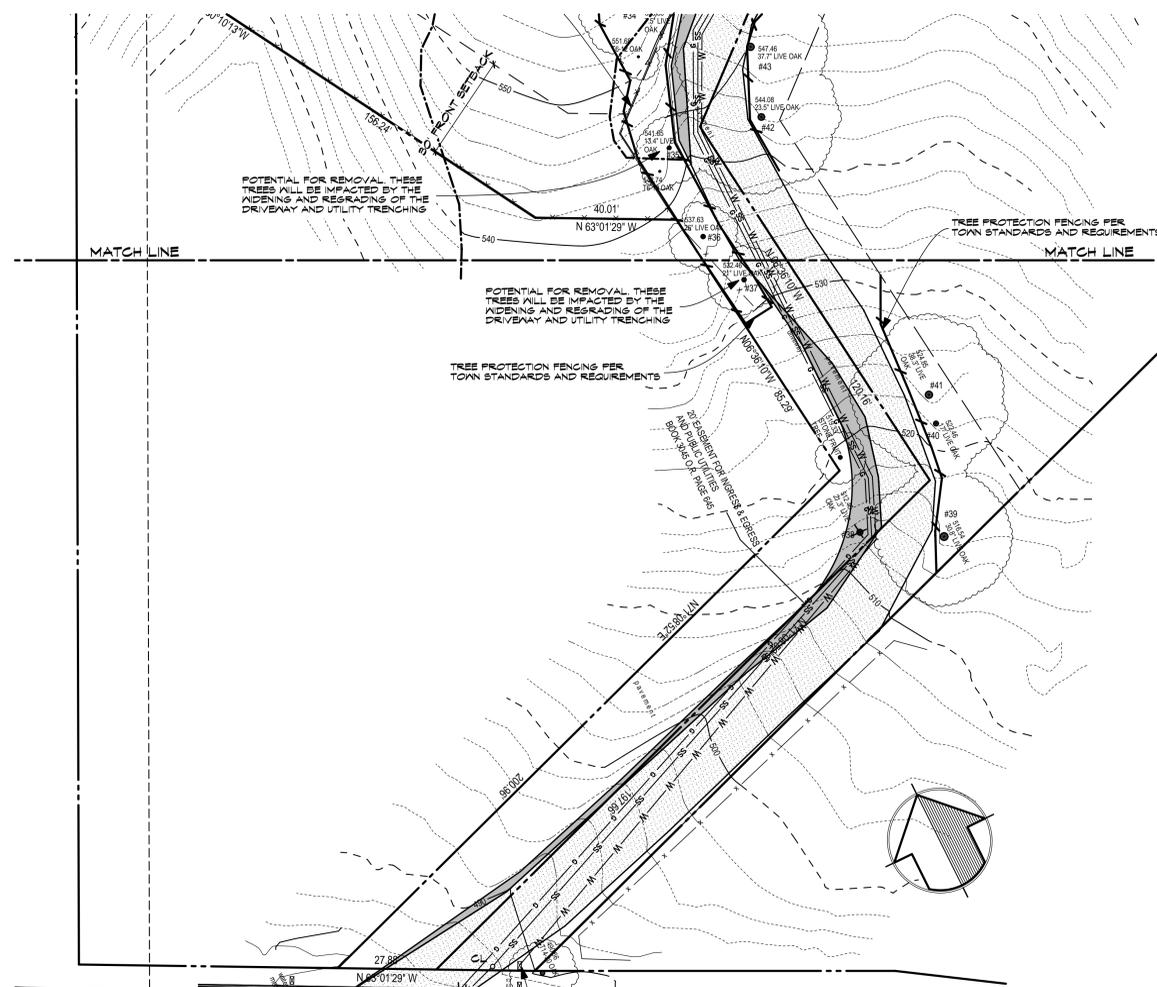
VICINITY MAP	PROJECT DIRECTORY	NOTES	PROJECT DATA	SHEET INDEX																																																												
	<p>ARCHITECT: KOHL SAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 395-2555</p> <p>LANDSCAPE ARCHITECT: MISSION LANDSCAPING P.O. BOX 875 PACIFIC GROVE, CA 93950 TEL: (203) 373-8293</p>	<p>SURVEYOR & CIVIL ENGINEER: HANNA BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2173</p>	<p>PROJECT ADDRESS: 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030</p> <p>OWNER: FAISAL & REEM CHAUDHRY</p> <p>APN#: 532-17-021</p> <p>ZONING: HR-1</p> <p>OCCUPANCY GROUP: R-3</p> <p>CONSTRUCTION TYPE: V-B (SPRINKLERED)</p> <p>GROSS SITE AREA: 106,060 SF (2.43 AC)</p> <p>NET SITE AREA: 94,461 SF (2.13 AC) (EXCLUDES FLAG PORTION)</p> <p>AVERAGE SLOPE: 14%</p> <p>ALLOWABLE FLOOR AREA: 6,000 SF + 400 SF (GARAGE ALLOWANCE)</p> <hr/> <p>PROPOSED FLOOR AREAS:</p> <table border="0"> <tr> <td>MAIN FLOOR</td> <td>5,956 SF</td> <td>EXISTING STRUCTURES PREVIOUSLY REMOVED:</td> <td></td> </tr> <tr> <td>GARAGE</td> <td>784-400-339 SF</td> <td>MAIN RESIDENCE</td> <td>2,026 SF</td> </tr> <tr> <td>TOTAL FLOOR AREA</td> <td>5,995 SF</td> <td>GUEST HOUSE</td> <td>1,153 SF</td> </tr> <tr> <td></td> <td></td> <td>TOTAL FLOOR AREA</td> <td>3,179 SF</td> </tr> </table> <p>OTHER FLOOR AREAS:</p> <table border="0"> <tr> <td>BASEMENT</td> <td>5,646 SF</td> <td></td> <td></td> </tr> </table> <hr/> <p>SITE AREAS:</p> <table border="0"> <tr> <td>RESIDENCE</td> <td>6,595 SF</td> <td>EXISTING*</td> <td>3,179 SF</td> </tr> <tr> <td>COVERED PORCHES & PATIOS</td> <td>1,171 SF</td> <td></td> <td>0 SF</td> </tr> <tr> <td>CARPORT</td> <td>269 SF</td> <td></td> <td>0 SF</td> </tr> <tr> <td>LIGHTWELLS</td> <td>291 SF</td> <td></td> <td>0 SF</td> </tr> <tr> <td>POOL & SPA</td> <td>1,070 SF</td> <td></td> <td>0 SF</td> </tr> <tr> <td>TOTAL BUILDING COVERAGE</td> <td>9,347 SF = 10.4%</td> <td></td> <td>3,179 SF = 3.3%</td> </tr> <tr> <td>PATIOS & CONC. PATHS</td> <td>2,055 SF</td> <td></td> <td>4,467 SF</td> </tr> <tr> <td>REFLECTING POND</td> <td>234 SF</td> <td></td> <td>0 SF</td> </tr> <tr> <td>DRIVEWAY</td> <td>6,887/2 = 3,424 SF</td> <td></td> <td>5,888/2 = 2,944 SF</td> </tr> <tr> <td>TOTAL IMPERVIOUS COVERAGE</td> <td>19,568 SF = 16.5%</td> <td></td> <td>10,424 SF = 11.0%</td> </tr> </table> <p>* AREAS CALCULATED BASED ON PREVIOUSLY APPROVED APPLICATION WITH DATA ON THE PREVIOUSLY DEMOLISHED RESIDENCE.</p>	MAIN FLOOR	5,956 SF	EXISTING STRUCTURES PREVIOUSLY REMOVED:		GARAGE	784-400-339 SF	MAIN RESIDENCE	2,026 SF	TOTAL FLOOR AREA	5,995 SF	GUEST HOUSE	1,153 SF			TOTAL FLOOR AREA	3,179 SF	BASEMENT	5,646 SF			RESIDENCE	6,595 SF	EXISTING*	3,179 SF	COVERED PORCHES & PATIOS	1,171 SF		0 SF	CARPORT	269 SF		0 SF	LIGHTWELLS	291 SF		0 SF	POOL & SPA	1,070 SF		0 SF	TOTAL BUILDING COVERAGE	9,347 SF = 10.4%		3,179 SF = 3.3%	PATIOS & CONC. PATHS	2,055 SF		4,467 SF	REFLECTING POND	234 SF		0 SF	DRIVEWAY	6,887/2 = 3,424 SF		5,888/2 = 2,944 SF	TOTAL IMPERVIOUS COVERAGE	19,568 SF = 16.5%		10,424 SF = 11.0%	<p>A-1 COVER SHEET</p> <p>A-2 NEIGHBORHOOD PLAN</p> <p>A-3 SITE PLAN</p> <p>1 CIVIL COVER SHEET</p> <p>2 BLUEPRINT FOR A CLEAN BAY</p> <p>3 EXISTING TOPOGRAPHY</p> <p>4 GRADING & DRAINAGE PLAN</p> <p>5 GRADING & DRAINAGE PLAN</p> <p>6 SECTIONS AND DETAILS</p> <p>7 EROSION CONTROL</p> <p>L1.0 LANDSCAPE PLAN</p> <p>L1.1 LANDSCAPE PLAN-TREES</p> <p>A-4 MAIN FLOOR PLAN</p> <p>A-5 LOWER FLOOR PLAN</p> <p>A-6 ROOF PLAN</p> <p>A-7 FRONT & LEFT ELEVATIONS</p> <p>A-8 REAR & RIGHT ELEVATIONS</p> <p>A-9 CROSS SECTIONS</p>
	MAIN FLOOR	5,956 SF	EXISTING STRUCTURES PREVIOUSLY REMOVED:																																																													
GARAGE	784-400-339 SF	MAIN RESIDENCE	2,026 SF																																																													
TOTAL FLOOR AREA	5,995 SF	GUEST HOUSE	1,153 SF																																																													
		TOTAL FLOOR AREA	3,179 SF																																																													
BASEMENT	5,646 SF																																																															
RESIDENCE	6,595 SF	EXISTING*	3,179 SF																																																													
COVERED PORCHES & PATIOS	1,171 SF		0 SF																																																													
CARPORT	269 SF		0 SF																																																													
LIGHTWELLS	291 SF		0 SF																																																													
POOL & SPA	1,070 SF		0 SF																																																													
TOTAL BUILDING COVERAGE	9,347 SF = 10.4%		3,179 SF = 3.3%																																																													
PATIOS & CONC. PATHS	2,055 SF		4,467 SF																																																													
REFLECTING POND	234 SF		0 SF																																																													
DRIVEWAY	6,887/2 = 3,424 SF		5,888/2 = 2,944 SF																																																													
TOTAL IMPERVIOUS COVERAGE	19,568 SF = 16.5%		10,424 SF = 11.0%																																																													
	<p>SCOPE OF WORK</p> <p>A NEW 5,656 SF SINGLE FAMILY RESIDENCE WHICH INCLUDES 7 BEDROOMS, 3 BATHS, 2 HALF BATHS, AN OFFICE, A LOUNGE, A GAME ROOM, A GYM, A THEATER, A CRAFTS ROOM, A 2-CAR GARAGE, A CARPORT, A LOGGIA, AND A ROOF DECK. SCOPE INCLUDES 9 TREES TO BE REMOVED, 7 OF WHICH ARE LARGE PROTECTED, TEN MORE TREES, 3 OF WHICH ARE LARGE PROTECTED, HAVE THE POTENTIAL FOR REMOVAL, AND WILL BE REPLACED.</p>	<p>FIRE SPRINKLERS REQUIRED: FIRE SPRINKLERS REQUIRED CPC SECTION R319.2 IS AMENDED TO READ: IN ALL BASEMENTS AND IN EXISTING BASEMENTS THAT ARE EXPANDED. NOTE: THE OWNER, OCCUPANTS AND ANY CONTRACTOR OR SUBCONTRACTOR ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPSCALE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-19) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, AND A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.</p> <p>WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT.</p> <p>CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CPC CHAPTER 53 AND OUR STANDARD DETAIL AND SPECIFICATION S1-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS AS APPROPRIATE TO THE PROJECT.</p> <p>ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS FLANLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. (CPC SEC. 503.1)</p> <p>EMERGENCY GATE ACCESS GATE REQUIREMENTS: GATE INSTALLATIONS SHALL CONFORM WITH FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATION G-1 AND, WHEN OPEN SHALL NOT OBSTRUCT ANY PORTION OF THE REQUIRED WIDTH FOR EMERGENCY ACCESS ROADWAYS OR DRIVEWAYS. LOCKS, IF PROVIDED, SHALL BE EQUIPPED WITH AN APPROVED ACCESS DEVICES. IF THE GATES ARE OPERATED ELECTRICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED. IF THEY ARE OPERATED MANUALLY, THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED. GATES PROVIDING ACCESS FROM THE ROAD TO A DRIVEWAY OR OTHER ROADWAY SHALL BE AT LEAST 30 FEET FROM THE ROAD BEING ENTERED.</p>																																																														

DATE: 7/05/19

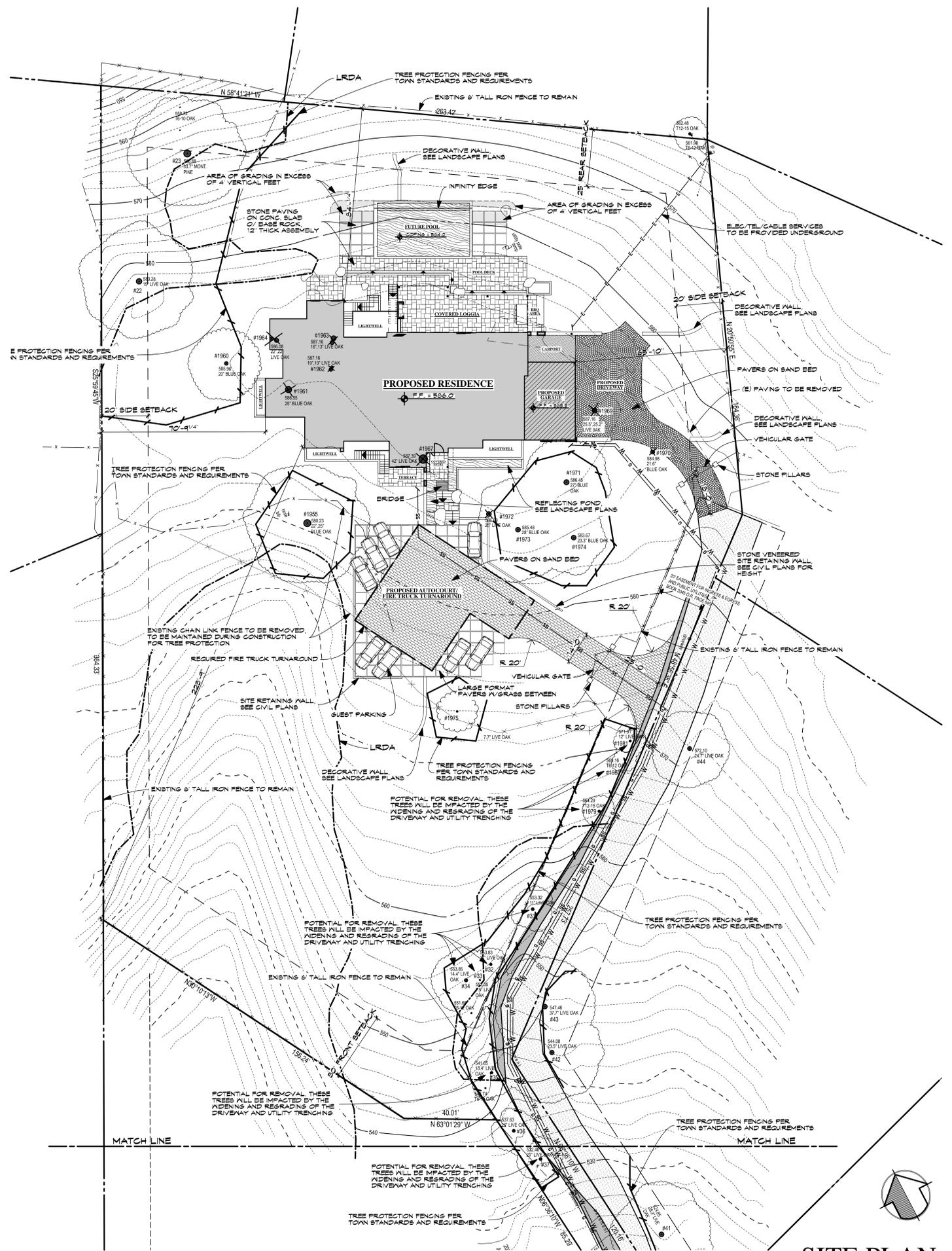
SCALE: AS SHOWN

SHEET

A-1



NOTE: ALL OUTDOOR LIGHTING INCLUDING LANDSCAPE LIGHTING SHALL BE SHIELDED AND THE GLASS SHALL BE OBSCURED, NOT CLEAR.



SITE PLAN
SCALE: 1" = 20'

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

KOHLSAAT & ASSOCIATES
31 UNIVERSITY AVE., T. • LOS GATOS, CA • 95028 • (408) 396-2555

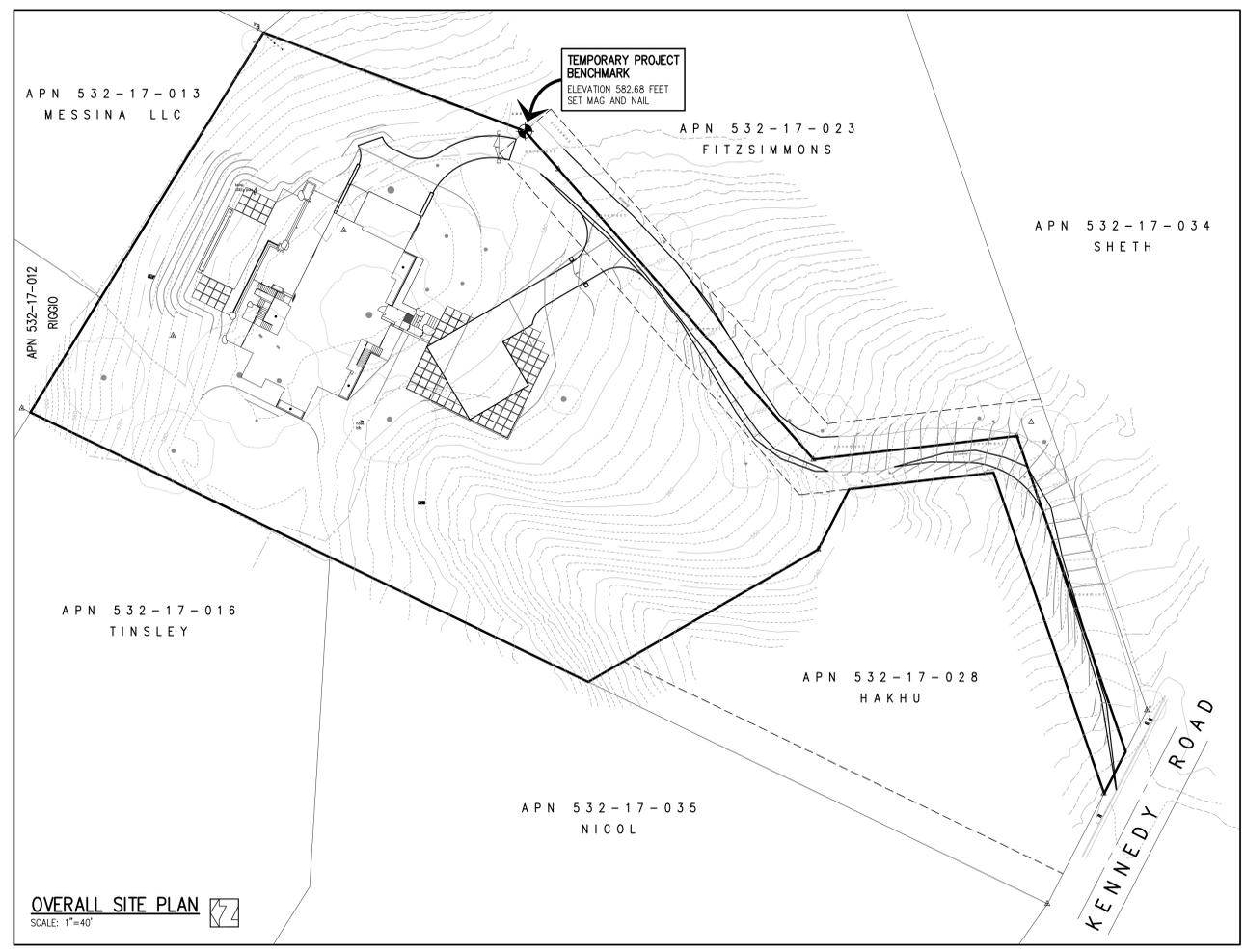
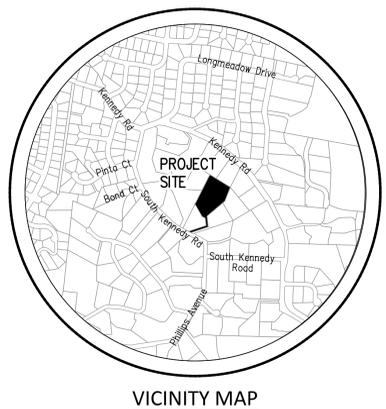


A NEW RESIDENCE:
THE CHAUDRY RESIDENCE
16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030

DATE: 7/05/19
SCALE: AS SHOWN
SHEET
A-3

PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS

TOWN OF LOS GATOS
ARCHITECTURE AND SITE APPLICATION NO. S-18-043



- TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES**
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
 - THESE PLANS AND DETAILS.
 - RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER _____ REFERENCE REPORT NO. _____ DATED _____ LETTER NO. _____ DATED _____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
 - NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
 - A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
 - APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
 - IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-327-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
 - ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
 - THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
 - THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
 - CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
 - HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
 - DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
 - THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
 - ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
 - OWNER/APPLICANT: _____ PHONE: _____
 - GENERAL CONTRACTOR: _____ PHONE: _____
 - A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
 - GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERMITS PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.

- TOWN OF LOS GATOS NPDES NOTES**
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
 - STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
 - APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
 - RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.

- TOWN OF LOS GATOS NPDES NOTES (CONTINUED)**
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
 - CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
 - DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

FLOODZONE STATEMENT

COMMUNITY PANEL NUMBER: 06085C0376H
MAP REVISED: MAY 18, 2009
PROJECT IS LOCATED IN ZONE X

ZONE X
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS

TOTAL SITE AREA:	105,818 SF	TOTAL SITE AREA DISTURBED:	36,810 SF	(INCLUDING CLEARING, GRADING OR EXCAVATING)
		EXISTING AREA (SF)	PROPOSED AREA (SF)	TOTAL AREA POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	3,201 SF	0 SF	12,611 SF	15,812 SF
TOTAL NEW & REPLACED IMPERVIOUS AREA		12,611 SF		
PERVIOUS AREA	102,617 SF	0 SF		

ABBREVIATIONS

AB	AGGREGATE BASE	G	GAS	RCP	REINFORCED CONCRETE PIPE
AC	ASPHALT CONCRETE	GA	GAUGE	RIM	RIM ELEVATION
AD	AREA DRAIN	GB	GRADE BREAK	R/W	RIGHT-OF-WAY
ARV	AIR RELEASE VALVE	GM	GAS METER	S	SOUTH
BC	BACK OF CURB	GS	GAS SERVICE	S	SLOPE
BFP	BACKFLOW PREVENTER	HDPE	HIGH-DENSITY POLYETHYLENE	SCC	SANTA CLARA COUNTY
BW	BOTTOM OF WALL	HP	HIGH POINT	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
CATV	CABLE TELEVISION	IE	INGRESS/EGRESS EASEMENT	SD	STORM DRAIN
CB	CATCH BASIN	IN	INCH	SDCO	STORM DRAIN CLEANOUT
CFS	CUBIC FEET PER SECOND	INV	INVERT ELEVATION	SDM	STORM DRAIN EASEMENT
C/L	CENTERLINE	LAT	LATERAL	SDMH	STORM DRAIN MANHOLE
CMP	CORRUGATED METAL PIPE	LG	LIP OF GUTTER	SDR	STANDARD DIMENSION RATIO
CO	CLEANOUT	LP	LOW POINT	TEL	TELEPHONE
CY	CUBIC YARD	MAX	MAXIMUM	SIWC	SAN JOSE WATER COMPANY
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MH	MANHOLE	SS	SANITARY SEWER
DIA	DIAMETER	MIN	MINIMUM	SSCO	SANITARY SEWER CLEANOUT
DIP	DUCTILE IRON PIPE	MPH	MILES PER HOUR	SSE	SANITARY SEWER EASEMENT
DWY	DRIVEWAY	(N)	NORTH	SSMH	SANITARY SEWER MANHOLE
(E)	EAST	NOT TO SCALE		STD	STANDARD
EG	EXISTING GRADE	O.C.	ON CENTER	S/W	SIDEWALK
ELEC	ELECTRICAL	O.D.	OUTSIDE DIAMETER	TC	TOP OF CURB
EP	EDGE OF PATH	PAD	PAD ELEVATION	TEL	TELEPHONE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PCC	PORTLAND CEMENT CONCRETE	TLG	TOWN OF LOS GATOS
EX	EXISTING	PERF	PERFORATED	TW	TOP OF WALL
FC	FACE OF CURB	PG&E	PACIFIC GAS & ELECTRIC COMPANY	TPY	TYPICAL
FDC	FIRE DEPARTMENT CONNECTION	PIE	PRIVATE INGRESS/EGRESS EASEMENT	VCP	VITRIFIED CLAY PIPE
FF	FINISHED FLOOR ELEVATION	PL	PROPERTY LINE	(W)	WEST
FG	FINISHED GRADE	PR	PROPOSED	W	WATER
FH	FIRE HYDRANT	PRSD	PRIVATE STORM DRAIN EASEMENT	WM	WATER METER
FL	FLOW LINE	PSE	PUBLIC SERVICE EASEMENT	WS	WATER SERVICE
FM	FORCED MAIN	PSSE	PRIVATE SANITARY SEWER EASEMENT	WV	WATER VALVE
FS	FIRE SERVICE	PUE	PUBLIC UTILITY EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FEET		PVC	POLYVINYL CHLORIDE	XING	CROSSING
		R	RADIUS		

DATE: MAY 2009
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 17071

PROFESSIONAL ENGINEER
REGISTERED
NO. 68228
EXPIRES 06/30/12
CIVIL
STATE OF CALIFORNIA

PLAN FOR THE IMPROVEMENT OF
Lands of Chaudry - 16461 S. Kennedy Road
apn 532-17-027 - COVER SHEET
ARCHITECTURE AND SITE APPLICATION S-18-043

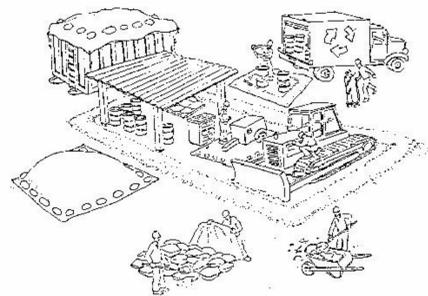
HANNA-BRUNETTI
EST. 1980
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

DATE	BY	REVISIONS

SHEET 1 OF 7

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks offsite or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

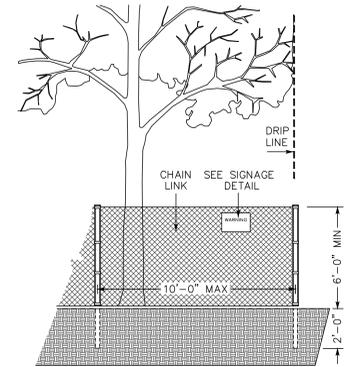
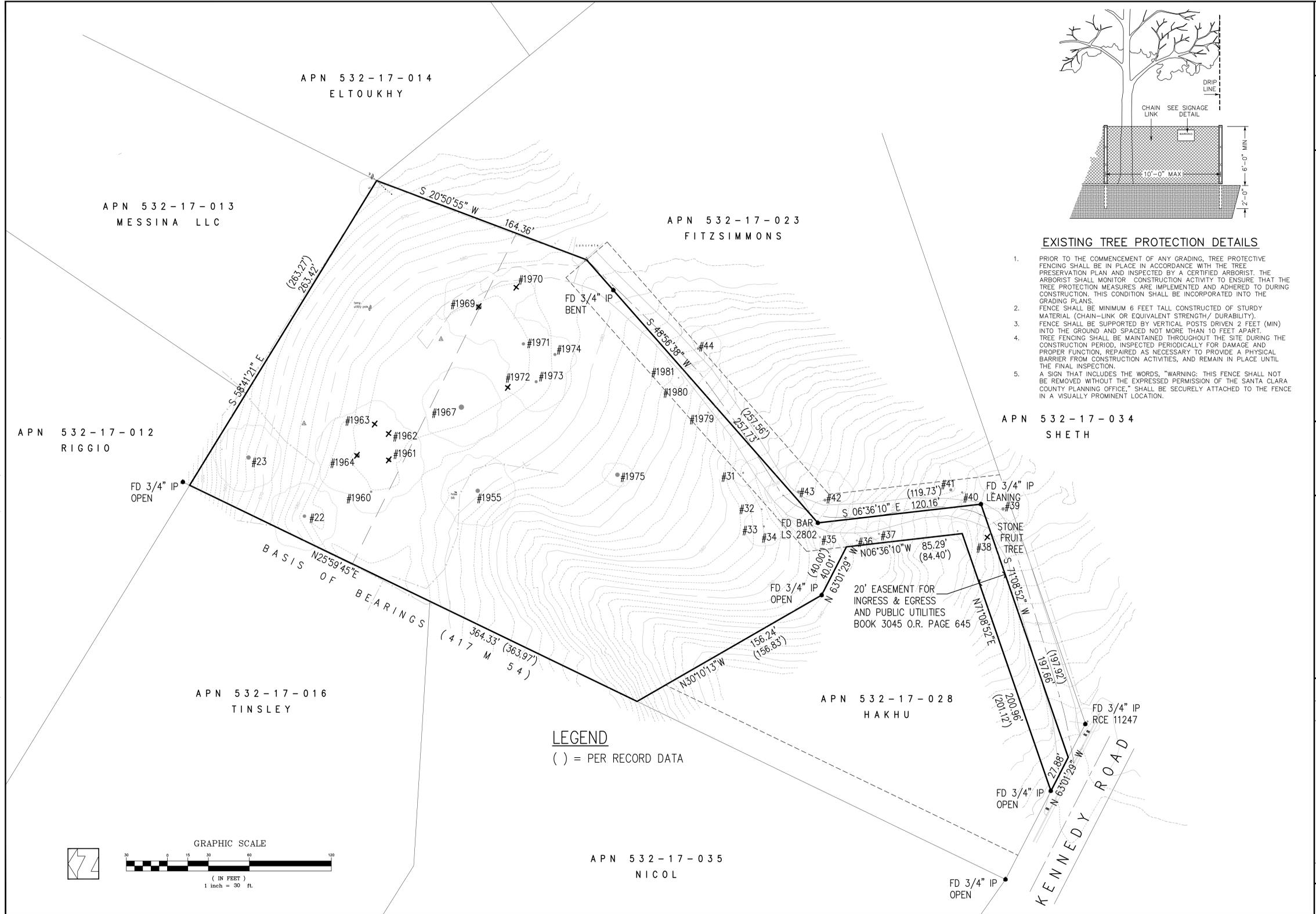
Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OBSERVING AND ENFORCING ALL CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENTS SHALL BEYOND CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR OR THE ENGINEER.



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 6 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

DATE:	MAY 2019
SCALE:	1"=30'
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGINE:	AM
PROJECT NO.:	17071

PLAN FOR THE IMPROVEMENT OF
Lands of Chaudry - 16461 S. Kennedy Road
EXISTING TOPOGRAPHY
 ARCHITECTURE AND SITE APPLICATION S-18-043

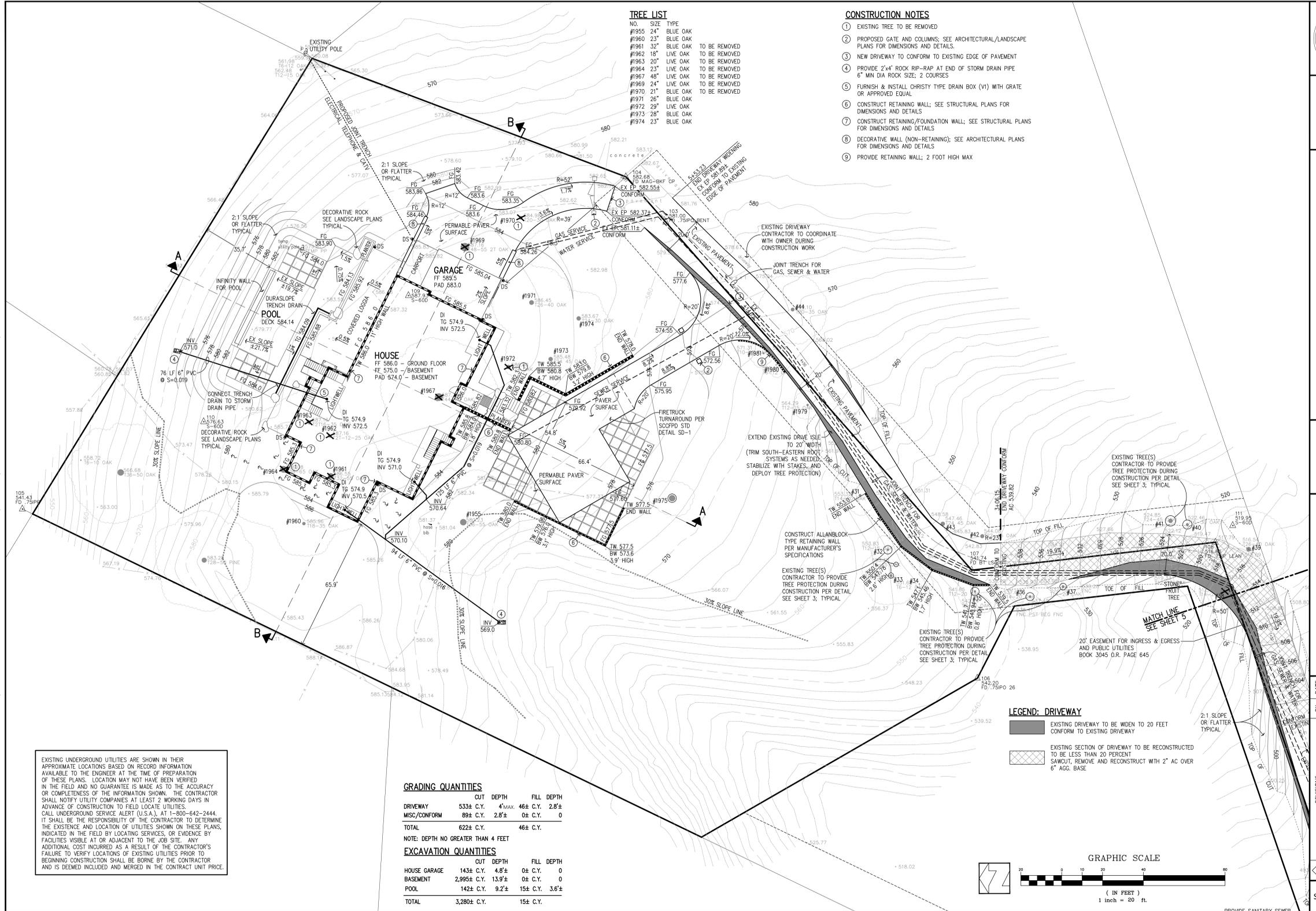
TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
 EST. 1980
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS

REVISIONS	DATE	BY

SHEET 3 OF 7

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENTS SHALL BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND AGAINST ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR OR THE ENGINEER.



EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

GRADING QUANTITIES

	CUT	DEPTH	FILL	DEPTH
DRIVEWAY	533±	C.Y.	4" MAX.	464±
MISC./CONFORM	89±	C.Y.	2.8±	0±
TOTAL	622±	C.Y.	464±	0±

NOTE: DEPTH NO GREATER THAN 4 FEET

EXCAVATION QUANTITIES

	CUT	DEPTH	FILL	DEPTH
HOUSE GARAGE	143±	C.Y.	4.8±	0±
BASEMENT	2,995±	C.Y.	13.9±	0±
POOL	142±	C.Y.	9.2±	15±
TOTAL	3,280±	C.Y.	15±	0±

TREE LIST

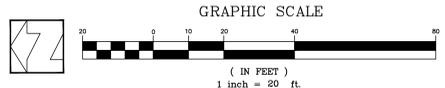
NO.	SIZE	TYPE	STATUS
#1955	24"	BLUE OAK	TO BE REMOVED
#1960	23"	BLUE OAK	TO BE REMOVED
#1961	32"	BLUE OAK	TO BE REMOVED
#1962	18"	LIVE OAK	TO BE REMOVED
#1963	20"	LIVE OAK	TO BE REMOVED
#1964	23"	LIVE OAK	TO BE REMOVED
#1967	48"	LIVE OAK	TO BE REMOVED
#1969	24"	LIVE OAK	TO BE REMOVED
#1970	21"	BLUE OAK	TO BE REMOVED
#1971	26"	BLUE OAK	TO BE REMOVED
#1972	29"	LIVE OAK	TO BE REMOVED
#1973	28"	BLUE OAK	TO BE REMOVED
#1974	23"	BLUE OAK	TO BE REMOVED

CONSTRUCTION NOTES

- EXISTING TREE TO BE REMOVED
- PROPOSED GATE AND COLUMNS; SEE ARCHITECTURAL/LANDSCAPE PLANS FOR DIMENSIONS AND DETAILS.
- NEW DRIVEWAY TO CONFORM TO EXISTING EDGE OF PAVEMENT
- PROVIDE 2'-4" ROCK RIP-RAP AT END OF STORM DRAIN PIPE 6" MIN DIA ROCK SIZE; 2 COURSES
- FURNISH & INSTALL CHRISTY TYPE DRAIN BOX (VI) WITH GRATE OR APPROVED EQUAL
- CONSTRUCT RETAINING WALL; SEE STRUCTURAL PLANS FOR DIMENSIONS AND DETAILS
- CONSTRUCT RETAINING/FOUNDATION WALL; SEE STRUCTURAL PLANS FOR DIMENSIONS AND DETAILS
- DECORATIVE WALL (NON-RETAINING); SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
- PROVIDE RETAINING WALL; 2 FOOT HIGH MAX

LEGEND: DRIVEWAY

- EXISTING DRIVEWAY TO BE WIDEN TO 20 FEET CONFORM TO EXISTING DRIVEWAY
- EXISTING SECTION OF DRIVEWAY TO BE RECONSTRUCTED TO BE LESS THAN 20 PERCENT SAWCUT, REMOVE AND RECONSTRUCT WITH 2" AC OVER 6" AGG. BASE

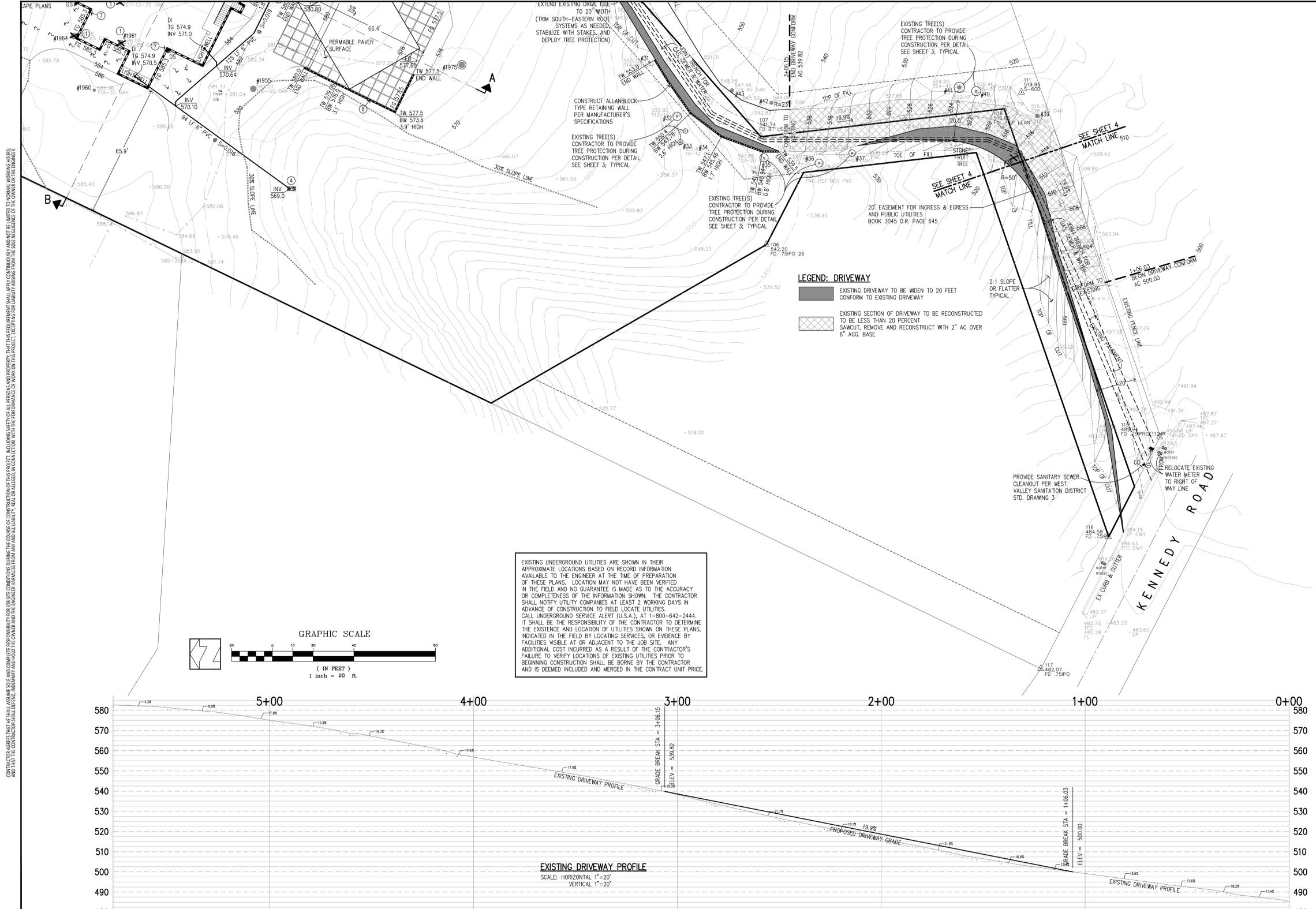


DATE:	MAY 2019
SCALE:	1"=20'
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGINEER:	AM

PLAN FOR THE IMPROVEMENT OF
Lands of Chaudry - 16461 S. Kennedy Road
GRADING & DRAINAGE PLAN
 ARCHITECTURE AND SITE APPLICATION S:18.043
 TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT
 PROJECT NO.: 17071



DATE	BY	REVISIONS



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENTS SHALL BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR OR THE ENGINEER.

REV: DEC. 2015

DATE: MAY 2019
 SCALE: 1"=20'
 DESIGN: AM
 DRAWN: TM
 CHECK: XX
 ENGINE: AM

PLAN FOR THE IMPROVEMENT OF
Lands of Chaudry - 16461 S. Kennedy Road
GRADING & DRAINAGE PLAN
 ARCHITECTURE AND SITE APPLICATION S:18.043

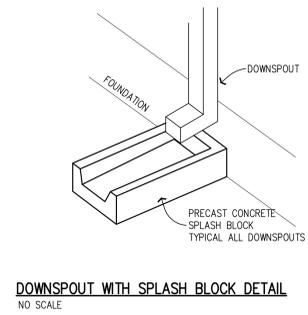
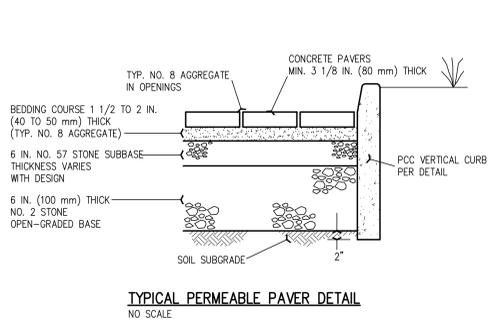
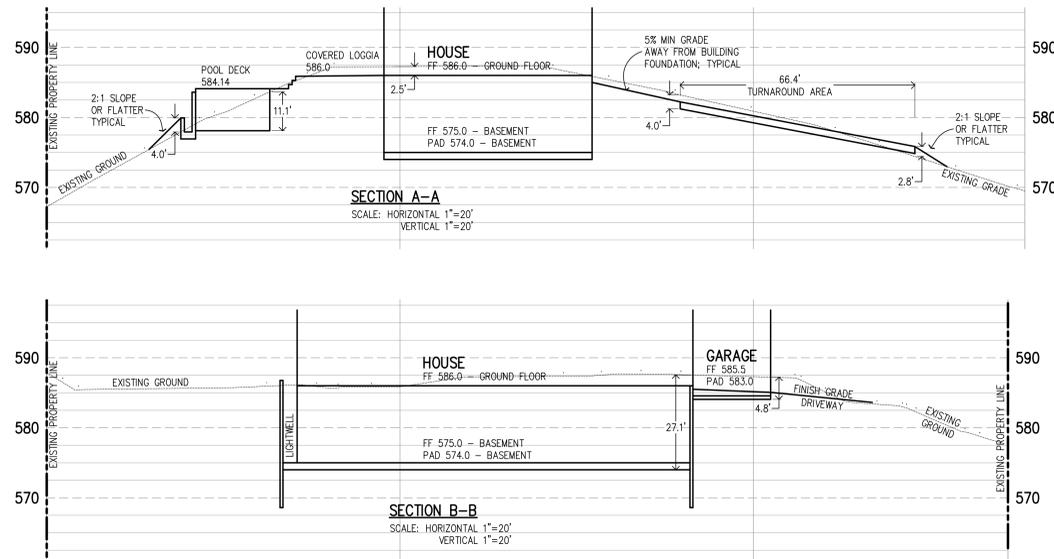
TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT
 PROJECT NO.: 17071

HANNA-BRUNETTI
 EST. 1980
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS

DATE	BY	REVISIONS

SHEET 5 OF 7

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENT SHALL BEYOND CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



Christy V1 Drain Box 8-5/8" I.D. x 12"

- Etched Polyethylene Face
- Face Anchored in Concrete
- Ultraviolet Inhibitor

A reinforced concrete dual purpose box designed for either light purpose drainage installations or enclosing sewer cleanouts in foot traffic areas. Tapered shoulders prevent settling. Notch accommodates up to approximately 4" O.D. pipe or drain tile. Approximate dimensions shown.

CHRISTY ORDERING CODE	ITEM	APPROX. SHIPPING WEIGHT	DESCRIPTION
V1BOX	Drain Box	45	V1 Drain Box (8-1/2" I.D. x 11-3/4" high) - 24 Per Pallet
PC	Lid	9	D210 Reinforced Concrete
PC	Lid	7	C210 Cast Iron
V17IC	Grate	10	71C213 Cast Iron

TO FIND CENTIMETERS MULTIPLY INCHES BY 2.5
TO FIND KILOGRAMS MULTIPLY POUNDS BY .45

QUALITY PRECAST CONCRETE PRODUCTS

NDS DURA SLOPE™ TRENCH DRAIN - PRE-SLOPED (PATENTED)

Product Features & Benefits

- Interlocking top and groove joints
 - Secure alignment
 - Eliminates channel rattle
 - Easy assembly and installation
- DuraLoc™ integral joint lock
 - Prevents joint movement during installation
 - No extra steps or complex methods
- Various grating options
 - ADA compliant, Heat Proof options
 - Black grates
 - Aluminum and light traffic rated
 - Decorative & stainless steel
 - Reinforced & heavy traffic rated
 - Cast & ductile iron
 - Class II heavy traffic rated (with frame)
 - Decorative grates (ductile iron)
 - Standard black, electrocoat, anodized or raw iron Class C traffic rated
- Lightweight 4 ft. modular sections
 - Easy handling and installation
 - Lower freight costs
- Blank grate insert
 - Eliminates use of plywood
 - Stops for covering up of channel sections
 - Includes grates covers
- Smooth HDPE interior
 - Wholly no water absorption
- HDPE material
 - Durable
 - Impervious
 - Leak free (versus concrete)
 - Chemical resistance
- 0.7% built in slope
 - Maintains consistent flow rates
 - Also available in neutral, non-sloped sections
 - Pre-sloped and neutral available by order
 - From 4" to 12"
- Bottom outlet on each channel section
 - System versatility
 - Repairs faster, accessories
- LevelLoc™ no-bar supports with integral pre-tensioning bolts
 - Level channel and grate surface
 - Requires fewer accessories
- ProFit™ locking system
 - Locks grate to integral frame
 - Supports grates in sloping and horizontal installation (optional)

Product Catalog 2016/2017



DATE: MAY 2019
SCALE: 1"=20'
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 17071

PLAN FOR THE IMPROVEMENT OF
Lands of Chaudry - 16461 S. Kennedy Road
SECTIONS AND DETAILS
ARCHITECTURE AND SITE APPLICATION S-18-043
TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
EST. 1980
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

REVISIONS	DATE

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THE REQUIREMENTS SHALL BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CONTRACTOR OR THE ENGINEER.

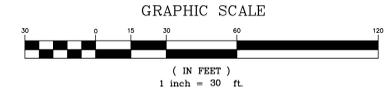


- EROSION CONTROL NOTES**
1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
 2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR AND FREE OF SILTS.
 3. A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
 4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
 5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
 6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
 7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF, THE CSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
 8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
 9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
 10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
 11. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
 12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
 13. IF THESE EROSION CONTROL MEASURES PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

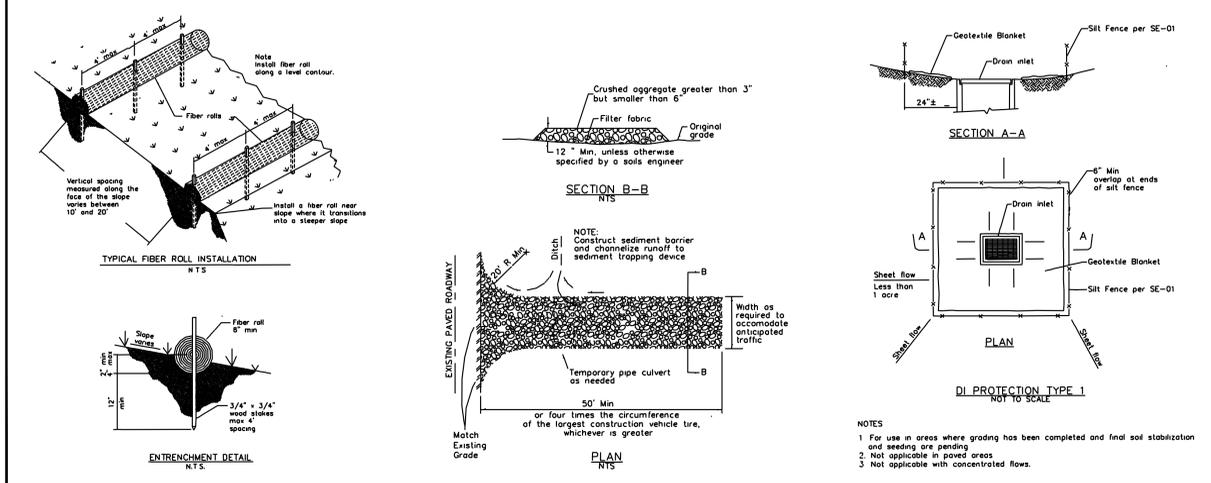
HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

- LEGEND**
- CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1
 - FIBER ROLL BARRIER PER DETAIL SE-5
 - STORM DRAIN INLET PROTECTION PER DETAIL SE-10



SE-5 Fiber Rolls Stabilized Construction Entrance/Exit TC-1 SE-10 Storm Drain Inlet Protection



DATE: MAY 2019

SCALE: AS SHOWN

DESIGN: JAW

DRAWN: TM

CHECK: XX

ENGR: AM

PROFESSIONAL ENGINEER

REGISTERED

NO. 8822

EXPIRES 12/31/2021

STATE OF CALIFORNIA

LANDS FOR THE IMPROVEMENT OF

Lands of Chaudry - 16461 S. Kennedy Road

EROSION CONTROL PLAN

ARCHITECTURE AND SITE APPLICATION S-18-043

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT

DATE

BY

REVISIONS

HANNA-BRUNETTI

EST. 1980

CIVIL ENGINEERS • LAND SURVEYORS

CONSTRUCTION MANAGERS

SHEET 7 OF 7



MISSION LANDSCAPING

P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

P 831 373 8293
F 831 373 2283

www.missionlandscaping.com
email:
missionlandscaping@me.com

Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

Chaudhry Residence
16461 South Kennedy Rd.
Los Gatos, CA 95030

Revisions:
REVISED 03/15/19
REVISED 04/03/19
REVISED 05/16/19

PROJECT INFORMATION:

OWNER: FAISAL AND REEM CHAUDHRY
SITE: 16461 SOUTH KENNEDY RD.
LOS GATOS, CA 95030
APN:
TOPOGRAPHY: SLOPED
TREE REMOVAL: SEE TREE INVENTORY.
GRADING: SEE CIVIL PLAN

LANDSCAPING CONCEPT SCOPE OF WORK:

THIS IS A NEW RESIDENCE PROJECT. ALL PLANT MATERIAL TO BE LOW WATER USE. WORK TO INCLUDE NEW LANDSCAPE AND LOW FLOW DRIP IRRIGATION INSTALLATION WITH A SMART WEATHER CONTROLLER.

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF LOS GATOS LANDSCAPING REQUIREMENTS INCLUDING USE OF MOSTLY NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATIONAL DESIGN PLAN.

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAGING:

STAGING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

STAGING:

WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

DRIVEWAY:

PERMEABLE PAVERS TO BE USED. SEE OVERALL PLAN L1.0 FOR LAYOUT OF DRIVEWAY.

NOTE:

ALL PLANT MATERIAL AND HARDSCAPE TO BE LAID OUT ON SITE BY MISSION LANDSCAPING INC. TO VERIFY ACTUAL LOCATIONS AND DIMENSIONS.

SOIL PREPARATION, MULCH AND AMENDMENTS

- PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRAGILE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED TO MEET THIS REQUIREMENT.
- SOIL AMENDMENTS, SUCH AS COMPOST OR FERTILIZER, SHALL BE APPROPRIATE FOR THE SELECTED PLANTS. A SITE SPECIFIC SOILS ANALYSIS SHALL BE INCLUDED.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION.
- FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YDS PER 1,000SQFT OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
- STABILIZING MULCHING PRODUCTS ARE TO BE USED ON SLOPES.
- A SOIL FERTILITY ANALYSIS WILL BE PROVIDED BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION. A COPY OF THE RESULTS WILL BE PROVIDED TO THE CITY.

A CERTIFICATE (APPENDIX C) WITH A THIRD PARTY AUDIT OF THE INSTALLATION SHALL BE SUBMITTED PRIOR TO FINAL.

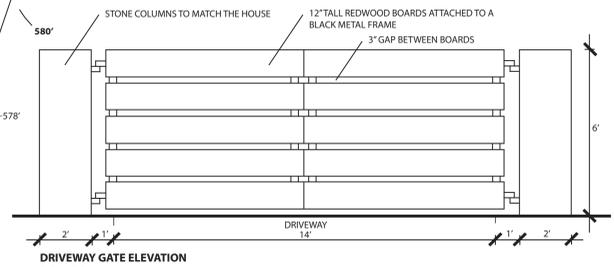
IRRIGATION NOTE:

ALL PLANTS TO BE IRRIGATED
PLANTS WITH SIMILAR HYDROZONE AND PLANT TYPE WILL BE GROUPED TOGETHER IN ONE IRRIGATION ZONE.

GENERAL NOTES:

- ALL WORK TO CONFORM WITH ALL FEDERAL, STATE, COUNTY, AND CITY ORDINANCES, REQUIREMENTS, AND BUILDING CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL SITE EARTHWORK IN ACCORDANCE TO THE PROJECT PLANS AND SPECIFICATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY A REPRESENTATIVE OF THE DESIGNER.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORKING CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL, UPON BECOMING AWARE OF SURFACE AND/OR SUBSURFACE CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION, PROMPTLY NOTIFY THE SOILS ENGINEER PRIOR TO CONTINUATION OF WORK IN THAT AREA.
- ANY SOILS OR OTHER MATERIALS WHICH ARE DISTURBED SHALL BE ADEQUATELY WATERED DURING AND AFTER CONSTRUCTION ACTIVITIES TO PREVENT DUST FROM BECOMING AIRBORNE IN ACCORDANCE WITH LOCAL DUST CONTROL ORDINANCES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ANY UNDERGROUND UTILITIES ON THE PROJECT SITE PRIOR TO EARTHWORK OPERATIONS.
- ANY DISCREPANCIES OR OMISSIONS FOUND IN THESE PLANS SHALL BE REPORTED TO THE DESIGNER.
- IF THE SURROUNDING STREETS ARE SUBJECT TO DIRT TRACKING FROM THE CONSTRUCTION SITE, DIRT FROM GRADING OPERATIONS SHALL BE SWEEPED FROM THE STREET PRIOR TO RAINFALL AND DAILY WHEN ACCUMULATION OCCURS.
- ALL TREES SHALL BE PROTECTED PER CITY OF LOS GATOS STANDARDS. ARBORIST TO VISIT SITE FOR LAYOUT OF TREE PROTECTIVE FENCING. NO EXISTING ROOTS SHALL BE CUT UNLESS APPROVED.
- ALL PLANT MATERIAL AND HARDSCAPE TO BE LAID OUT ON SITE BY MISSION LANDSCAPING INC. TO VERIFY ACTUAL LOCATIONS AND DIMENSIONS.
- ANY PLANT MATERIAL OR HARDSCAPE INSTALLED NEAR EXISTING TREES WILL BE CAREFUL TO NOT DISTURB THE ROOTS AND BE AVOIDED WHENEVER POSSIBLE.

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS	ZONE
ARC CAR	<i>Arctostaphylos edmundsii</i> 'Carmel Sur'	Carmel Sur Manzanita	114	5 gal	Low	1,2,3
ARC HOW	<i>Arctostaphylos densiflora</i> 'Howard McMin'	Howard McMin Manzanita	14	5 gal	Low	1,2
ARC PAC	<i>Arctostaphylos 'Pacific Mist'</i>	Pacific Mist Manzanita	47	5 gal	Low	1,2
CAR TUM	<i>Carex tumulicola</i>	Sedge	127	5 gal	Low	1
CEA SNO	<i>Ceanothus thyrsiflorus</i> 'Snow Flurry'	Snow Flurry Ceanothus	28	5 gal	Low	2
CEA YAN	<i>Ceanothus griseus horizontalis</i> 'Yankee Point'	Yankee Point Ceanothus	50	5 gal	Low	1
QUE AGR	<i>Quercus agrifolia</i>	Coast Live Oak	23	36" box	Very Low	2,3
RAM CAL	<i>Rhamnus californica</i> 'Eve Case'	Eve Case Coffeeberry	13	5 gal	Low	1
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	21	5 gal	Low	1



DRIVEWAY GATE ELEVATION
3/8" = 1' 0"
FIRE PROTECTION AND DEFENSIBLE ZONES:
ALL FIRE PROTECTION AND DEFENSIBLE FIRE SPACE SHALL MEET THE CITY OF LOS GATOS HILLSIDE DEVELOPMENT STANDARDS. ALL SHRUBS AND TREES SHALL BE SPACED SO THAT THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM NATIVE GROWTH OR OTHER VEGETATION TO THE STRUCTURES ON THE SITE.
LIMIT USE OF PLANTS THAT DEVELOP DECIDUOUS OR SHAGGY BARK OR DRY OR DEAD UNDERGROWTH.
LIMIT VEGETATION IMMEDIATELY ADJACENT TO STRUCTURES, ESPECIALLY UNDER OVERHANGS, DECKS, ETC.
IRRIGATION SHALL BE PROVIDED TO ORNAMENTALS WITHIN 30 FEET OF THE RESIDENCE AND TO ESTABLISH NEWLY PLANTED NATIVES.
A VERTICAL CLEARANCE OF 13.5 FEET SHALL BE MAINTAINED OVER ALL FIRE ACCESS ROADS AND DRIVEWAYS.
PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION, DEAD BRUSH AND WEEDS SHALL BE CLEARED.
SMALL BRANCHES ON TREES SHALL BE PRUNED TO A HEIGHT OF 6' TO REMOVE 'LADDER FUELS'.
TREES SHALL BE TRIMMED AT LEAST 10' FROM CHIMNEY OUTLETS.
ZONE 1 0'-30' FROM HOUSE - WELL WATERED PLANTS AND FIRE RETARDANT FOUNDATION PLANTINGS CAREFULLY SPACED
ZONE 2 30'-70' FROM HOUSE - LOW PLANTS 18" HIGH AND IRRIGATED TO ACT AS FUEL BREAK, NO TREES
ZONE 3 70'-200' FROM HOUSE - TRIM AND THIN FRINGE AREAS REMOVING TREES AS NECESSARY TO FORM DISCONTINUOUS CANOPY

Drawing Title:

Landscape Plan

Date: 01/17/19

Scale: As Shown

Drawn By: DW & PW

Page Number:

L1.0

© Mission Landscaping Inc. 2019



MISSION
LANDSCAPING

P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

P 831 373 8293
F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

Chaudhry Residence
16461 South Kennedy Rd.
Los Gatos, CA 95030

Revisions:



Drawing Title:

Landscape Plan

Date: 05/06/19

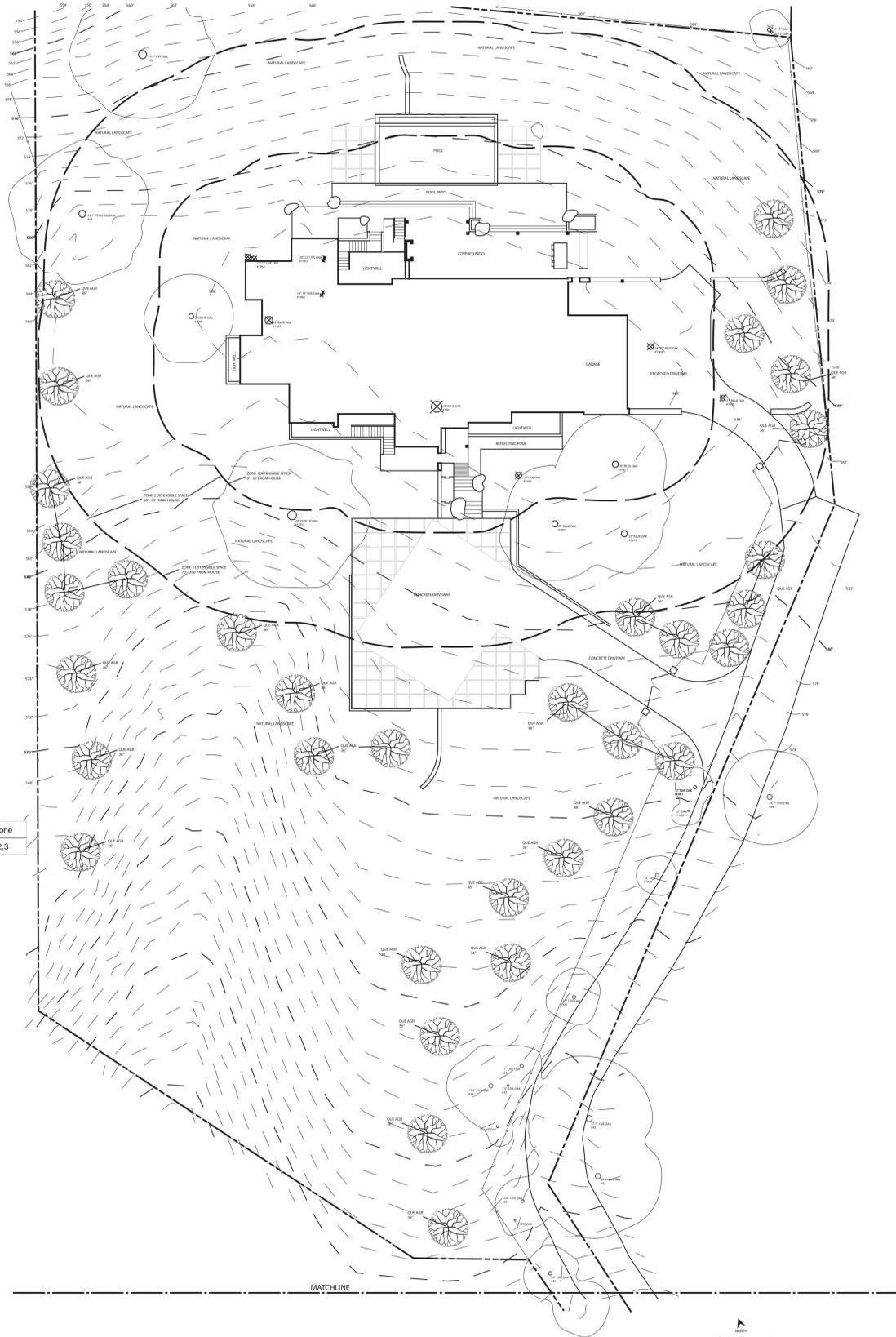
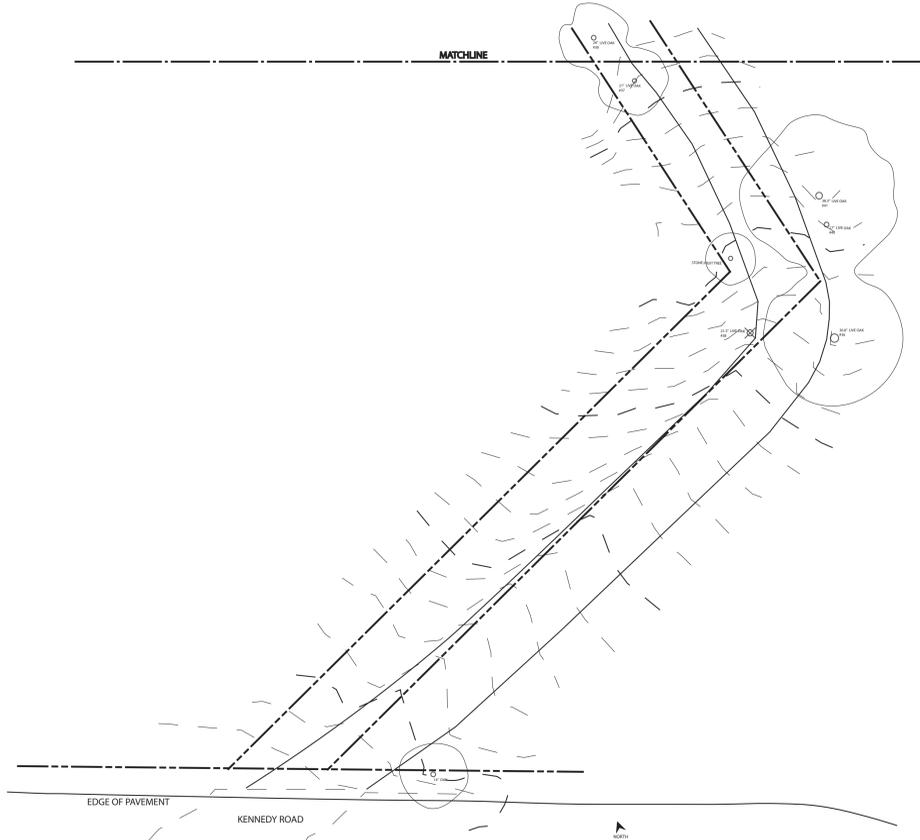
Scale: As Shown

Drawn By: DW & FW

Page Number:

L1.1

© Mission Landscaping Inc. 2019



TREE REPLACEMENT TABLE

Tag #	BOTANICAL NAME	Large Protected Tree?	Trunk Diameter	Height Spread	Remove	Potential Removal	Required Replacement # of 24" box	or 36" box
22	Quercus agrifolia	No	15.3"	25/25	no		0	
23	Pinus radiata	No	33.7"	50/40	no		0	
31	Quercus douglasii	Yes	28"	35/45		yes	0	3
32	Quercus agrifolia	No	11.3"	25/25		yes	3	
33	Quercus agrifolia	No	7.5"	13/15		yes	3	
34	Quercus agrifolia	No	14.4"	25/18		yes	3	
35	Quercus agrifolia	No	13.4"	30/35		yes	0	2
36	Quercus agrifolia	Yes	26"	25/35	no		0	
37	Quercus agrifolia	No	21"	30/30		yes	0	2
38	Quercus agrifolia	No	21.3"	25/35	yes		0	2
39	Quercus agrifolia	Yes	30.8"	40/55		yes	0	3
40	Quercus agrifolia	No	17.1"	40/30	no		0	
41	Quercus agrifolia	Yes	38.3"	30/40	no		0	
42	Quercus agrifolia	No	23.5"	40/50	no		0	
43	Quercus agrifolia	Yes	37.7"	40/40	no		0	
44	Quercus agrifolia	Yes	24.7"	30/35	no		0	
1955	Quercus douglasii	Yes	25"	30/45	no		0	
1960	Quercus douglasii	No	20"	30/35	no		0	
1961	Quercus douglasii	Yes	25"	35/45	yes		0	3
1962	Quercus agrifolia	Yes	19", 19"	35/15	yes		3	
1963	Quercus agrifolia	Yes	16", 13"	45/42	yes		0	3
1964	Quercus agrifolia	Yes	22", 22"	40/45	yes		0	3
1967	Quercus agrifolia	Yes	42"	45/45	yes		0	3
1969	Quercus agrifolia	Yes	25.5", 25.2"	35/50	yes		0	3
1970	Quercus douglasii	No	21.5"	30/40	yes		0	3
1971	Quercus douglasii	Yes	27"	35/50	no		0	3
1972	Quercus agrifolia	Yes	25"	30/25	yes		0	2
1973	Quercus douglasii	Yes	28.1"	40/45	no		0	
1974	Quercus douglasii	No	23.3"	35/35	no		0	
1975	Quercus agrifolia	No	7.7"	15/16	no		0	
1979	Quercus agrifolia	No	19.5"	25/25		yes	3	
1980	Quercus agrifolia	No	12"	18/15		yes	3	
1981	Quercus agrifolia	No	12"	23/22		yes	3	
					Total		21	35

TREE REPLACEMENT LEGEND

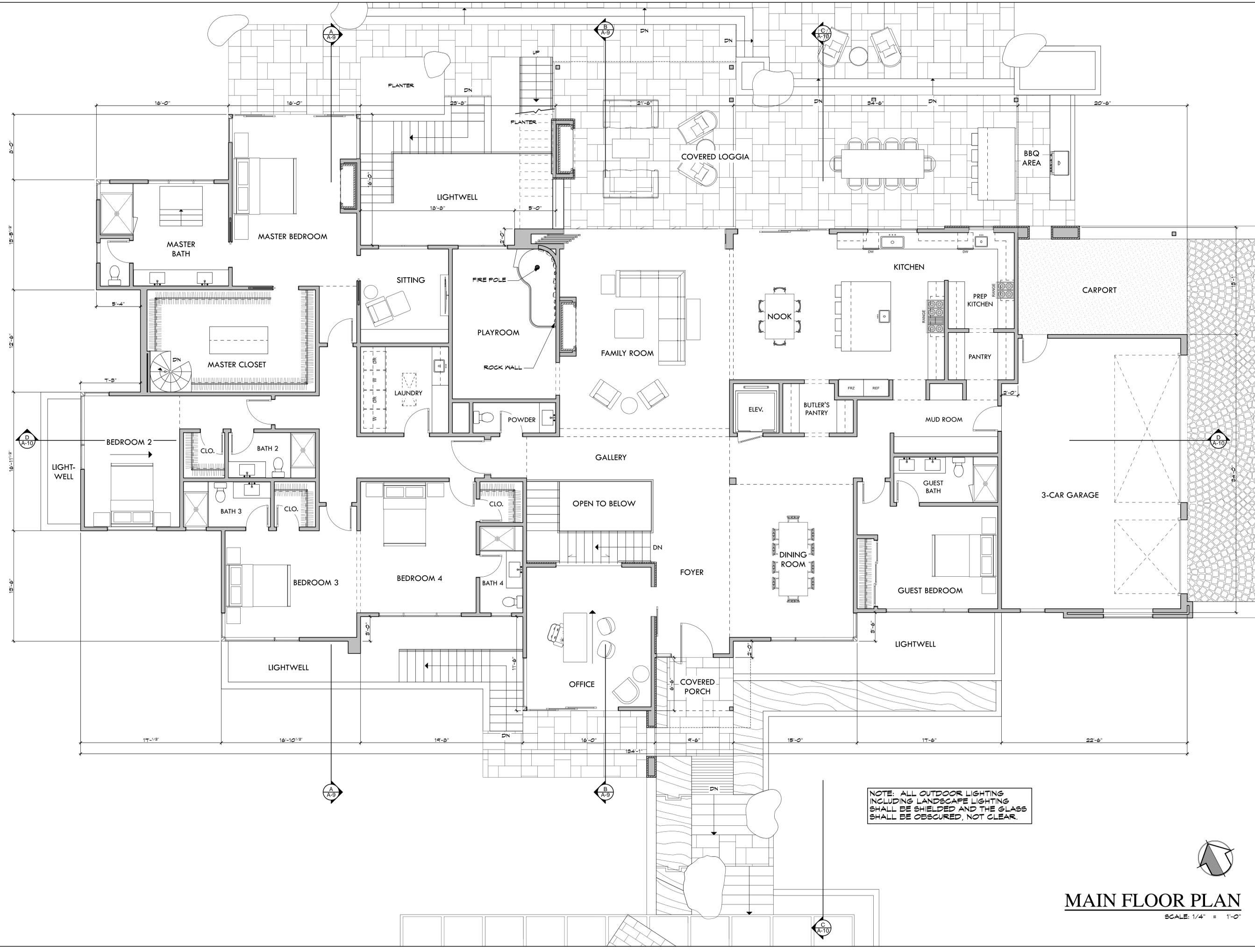
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS	Zone
QUE AGR	Quercus agrifolia	Coast Live Oak	35	36" box	Very Low	2,3

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

KOHLSAAT & ASSOCIATES
 31 UNIVERSITY AVE. T • LOS GATOS, CA • 95030 • (408) 395-2555



A NEW RESIDENCE:
THE CHAUDRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



NOTE: ALL OUTDOOR LIGHTING INCLUDING LANDSCAPE LIGHTING SHALL BE SHIELDED AND THE GLASS SHALL BE OBSCURED, NOT CLEAR.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

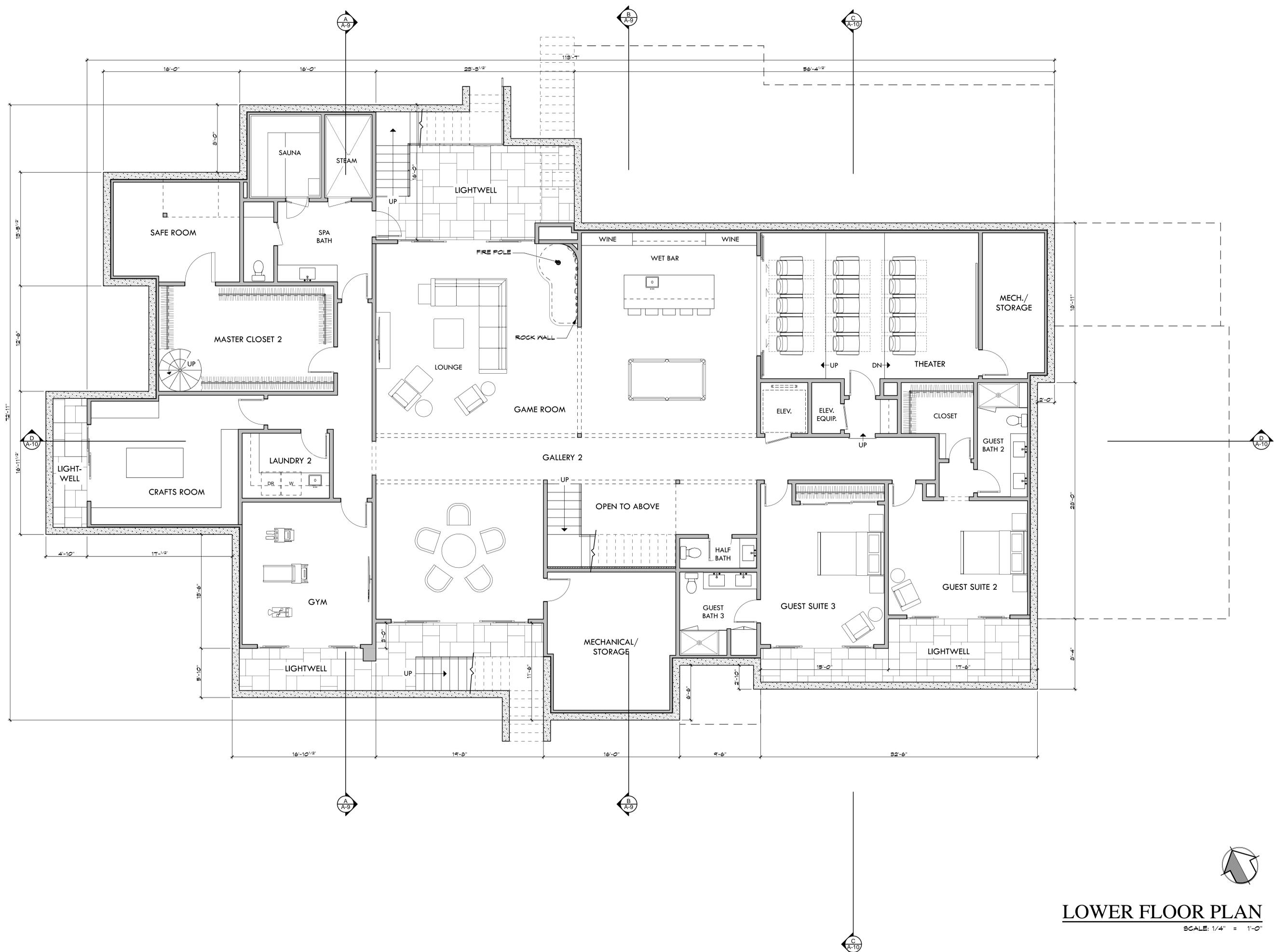
DATE: 7/05/19
 SCALE: AS SHOWN
 SHEET
A-4

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

KOHLSAAT & ASSOCIATES
 31 UNIVERSITY AVE. T. • LOS GATOS, CA • 95030 • (408) 395-2555



A NEW RESIDENCE:
THE CHAUDRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

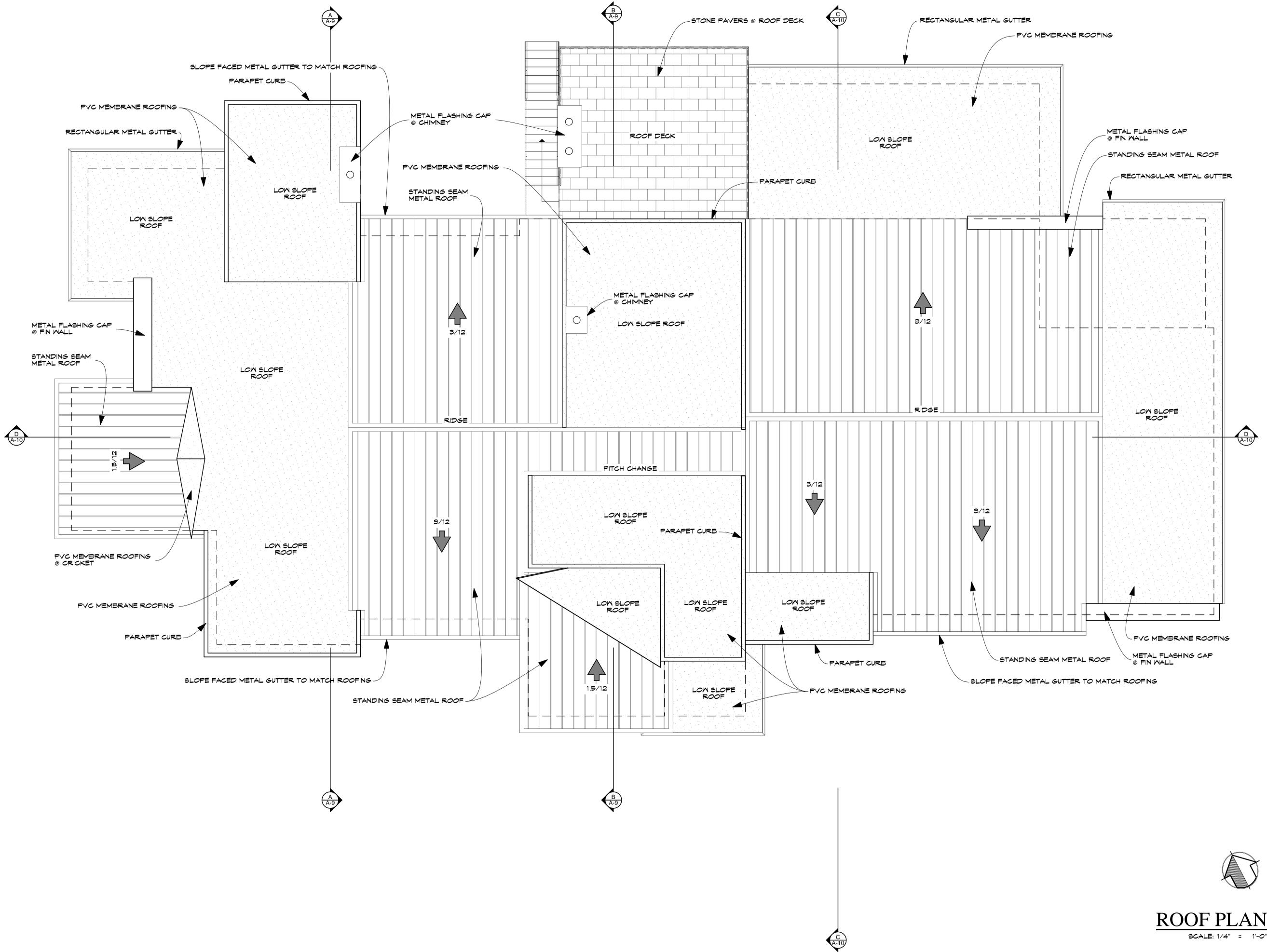
DATE: 7/05/19
 SCALE: AS SHOWN
 SHEET
A-5

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

KOHLSAAT & ASSOCIATES
 31 UNIVERSITY AVE. T • LOS GATOS, CA • 95030 • (408) 395-2555



A NEW RESIDENCE:
THE CHAUDHRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



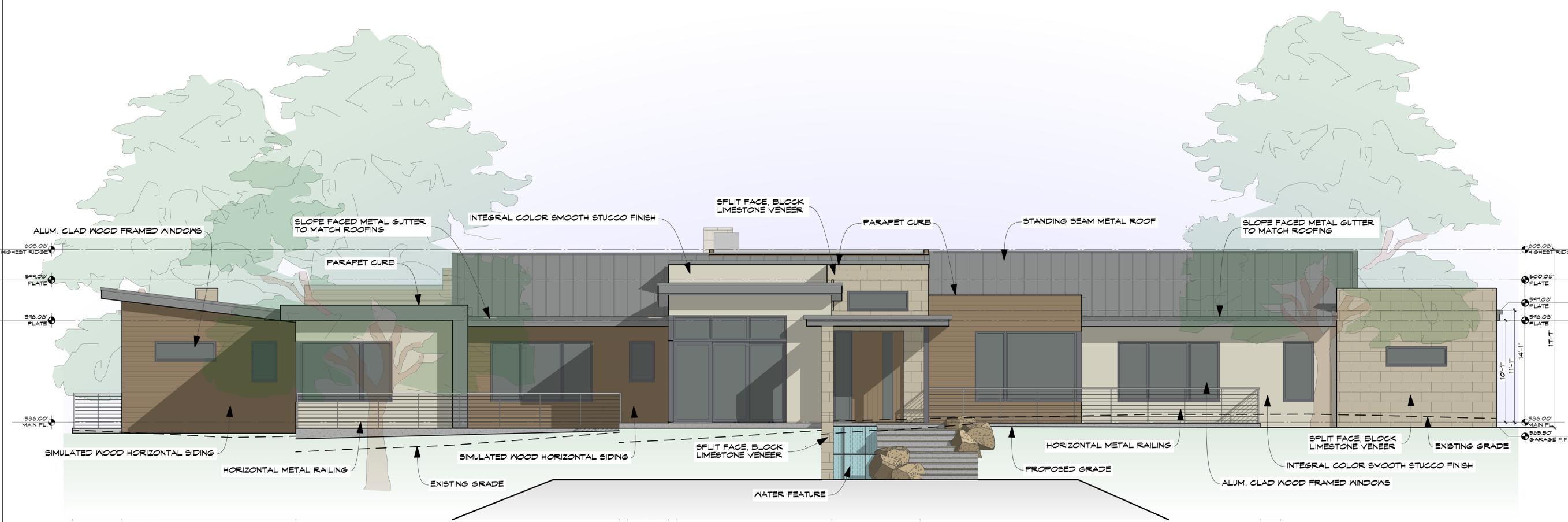
ROOF PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE., T • LOS GATOS, CA • 95030 • (408) 396-2555



A NEW RESIDENCE:
THE CHAUDHRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

LRV CALCULATIONS

Front Elevation				
Material	Area	Specification	LRV	LRV x Area
Stucco	361	EM-Berber White	65.3	22851.3
Roof & Gutters	559	Weathered Zinc-Pac Clad	25	13975
Wood Siding	482	Light National Walnut	12.5	6025
Limestone Veneer	271	Salado Quarry-Tan	39.4	10406.4
Glass	375		11	4125
D/M Frames	46	Anodized Black-Kolbe	9.5	316.5
Total =	2123			51149.5
			LRV =	24.04809

Left Elevation				
Material	Area	Specification	LRV	LRV x Area
Stucco	301	EM-Berber White	65.3	19699.3
Roof & Gutters	126	Weathered Zinc-Pac Clad	25	3150
Wood Siding	326	Light National Walnut	12.5	4075
Limestone Veneer	243	Salado Quarry-Tan	39.4	11251.2
Glass	166		11	1826
D/M Frames	55	Anodized Black-Kolbe	9.5	174.9
Total =	1265			34590.4
			LRV =	31.24953



LEFT ELEVATION

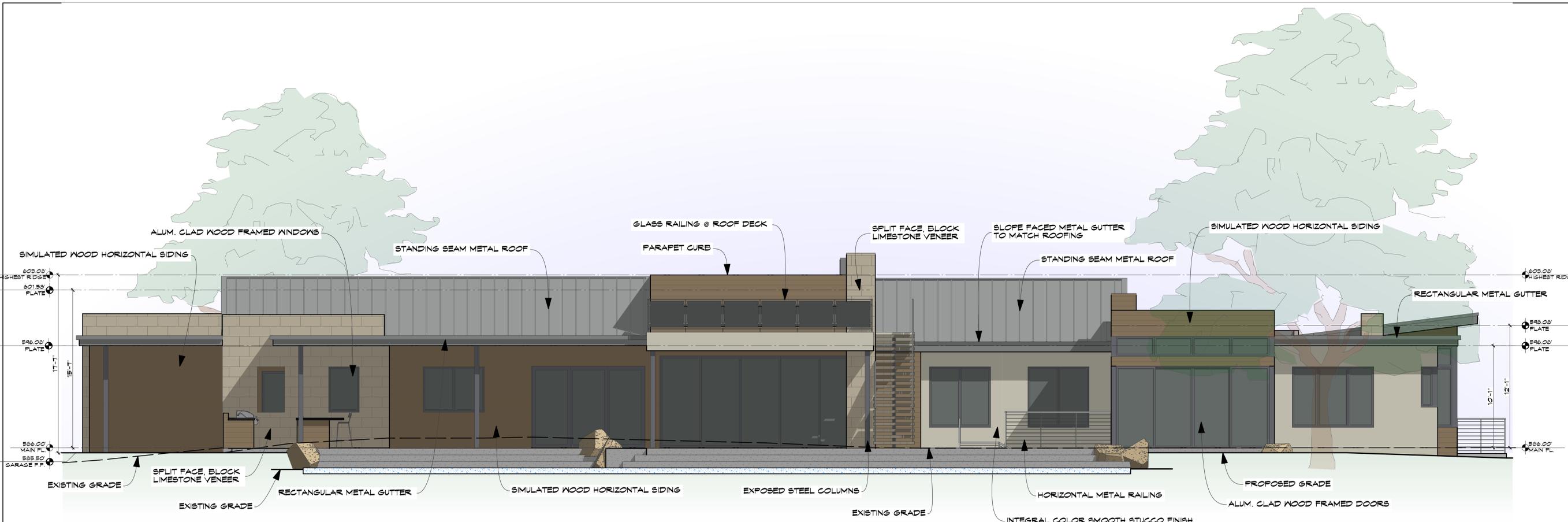
SCALE: 1/4" = 1'-0"

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

KOHLSAAT & ASSOCIATES
 31 UNIVERSITY AVE. T. • LOS GATOS, CA • 95030 • (408) 396-2555



A NEW RESIDENCE:
THE CHAUDRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



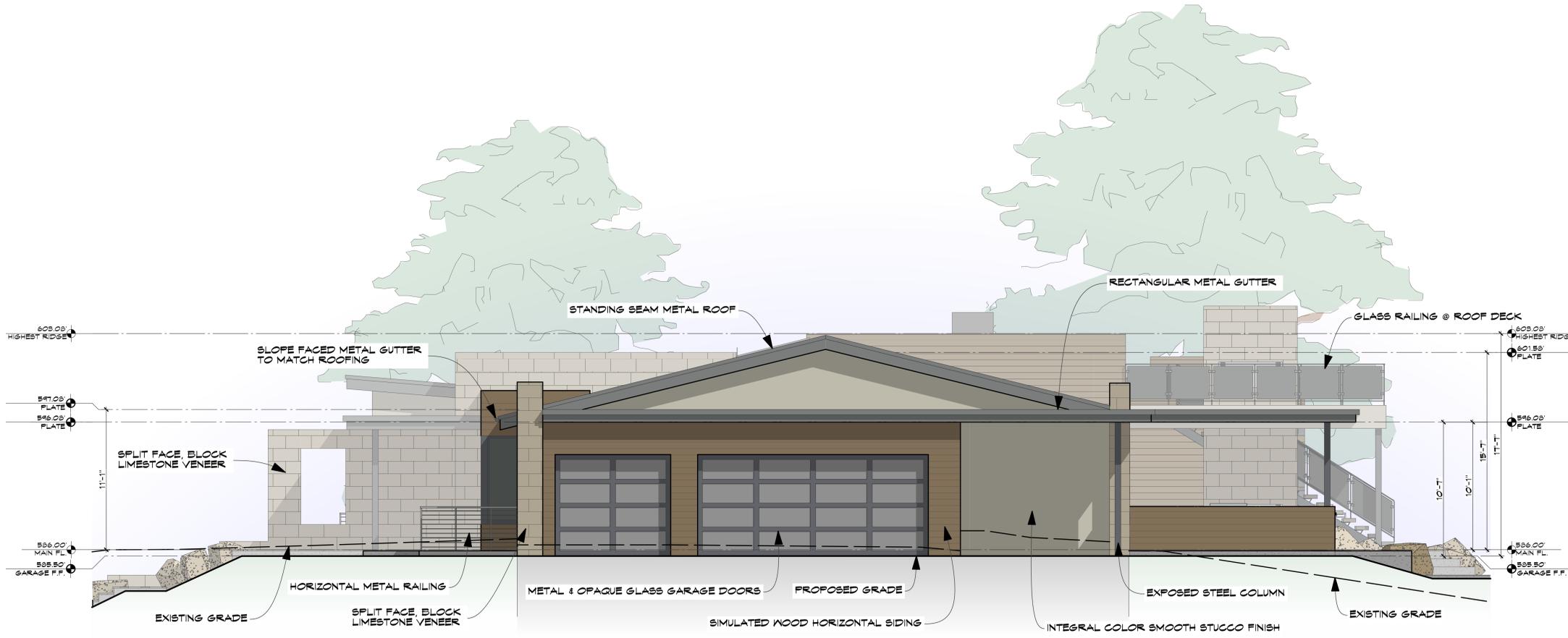
REAR ELEVATION
 SCALE: 1/4" = 1'-0"

LRV CALCULATIONS

Rear Elevation			
Stucco	265 BM-Berber White	69.5	16647.9
Roof & Gutters	454 Weathered Zinc-Pac Clad	25	11475
Wood Siding	517 Light National Walnut	12.5	6462.5
Limestone Veneer	250 Salado Quarry-Tan	38.4	9907.2
Glass	519	11	5109
D/W Frames	125 Anodized Black-Kolbe	9.3	412.5
Total =	2141	Total =	50614.1
		LRV =	23.6404

Right Elevation			
Stucco	232 BM-Berber White	69.5	14695.6
Roof & Gutters	181 Weathered Zinc-Pac Clad	25	3275
Wood Siding	274 Light National Walnut	12.5	3425
Limestone Veneer	349 Salado Quarry-Tan	38.4	13401.6
Glass	55	11	635
D/W Frames	79 Anodized Black-Kolbe	9.3	260.7
Total =	1125	Total =	35695.9
		LRV =	31.77729

Total Average LRV	
Front Elevation	24.093
Left Elevation	31.249
Rear Elevation	23.64
Right Elevation	31.777
	110.76
Average LRV =	27.7



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

DATE: 7/05/19

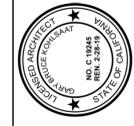
SCALE: AS SHOWN

SHEET

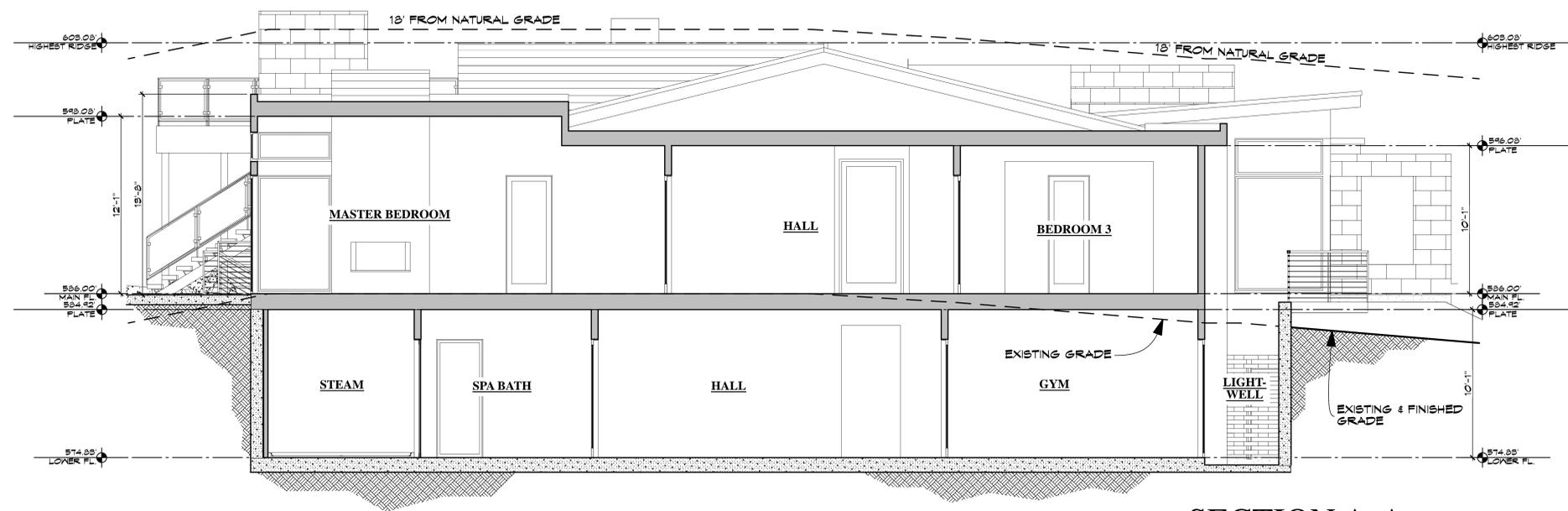
A-8

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

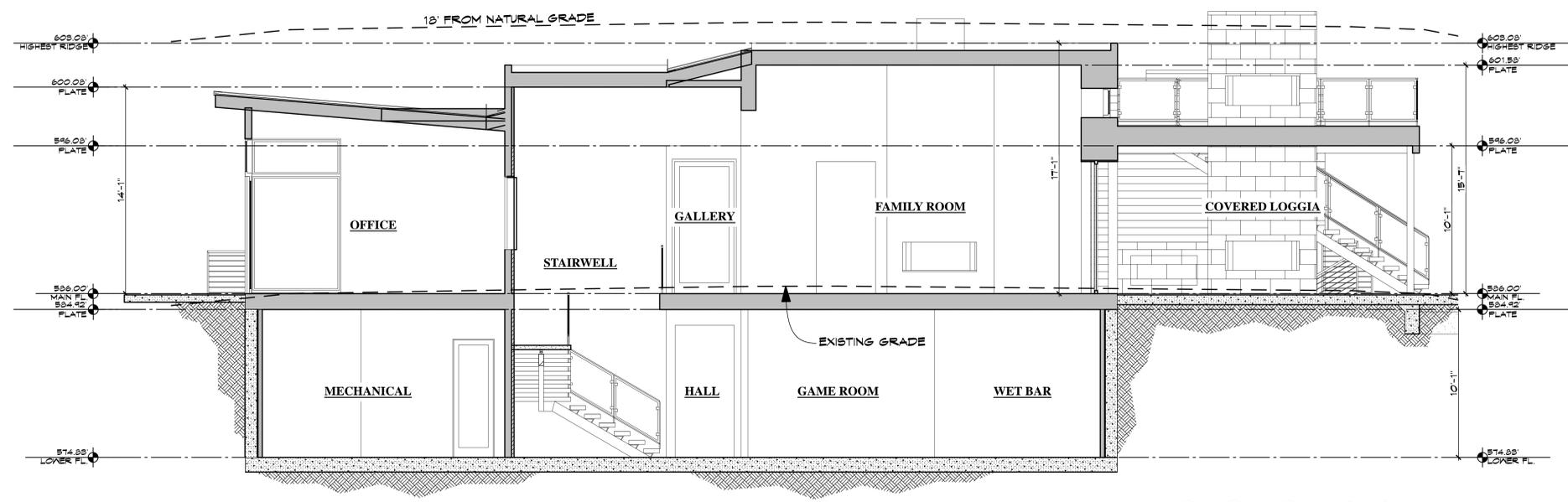
KOHLSAAT & ASSOCIATES
 31 UNIVERSITY AVE. T • LOS GATOS, CA • 95030 • (408) 395-2555



A NEW RESIDENCE:
THE CHAUDHRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



SECTION A-A
 SCALE: 1/4" = 1'-0"



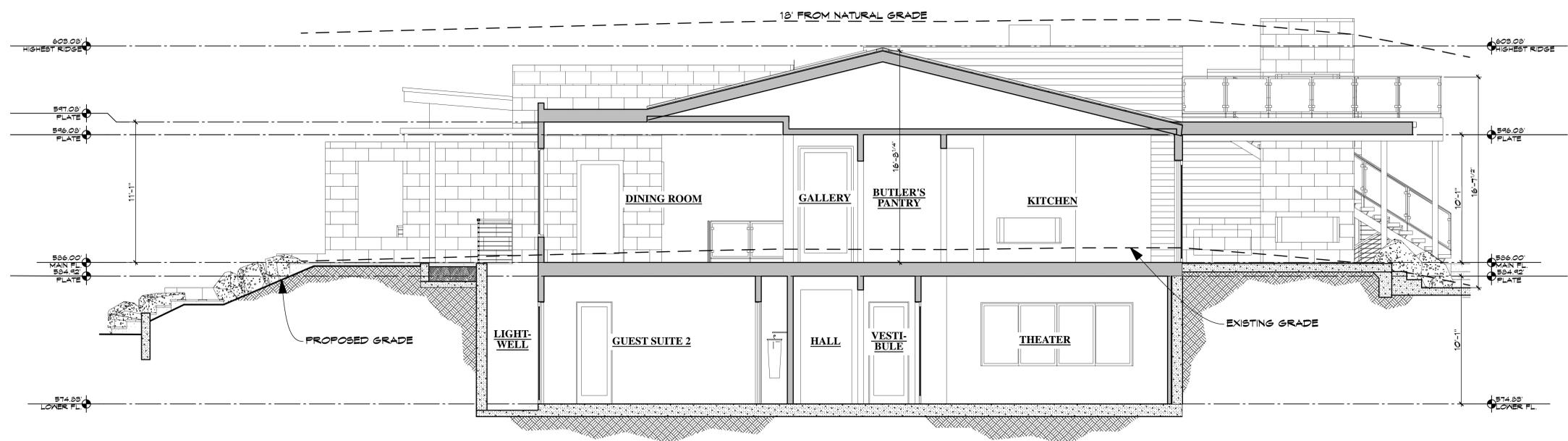
SECTION B-B
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	01/21/19
B.	04/05/19
C.	05/20/19

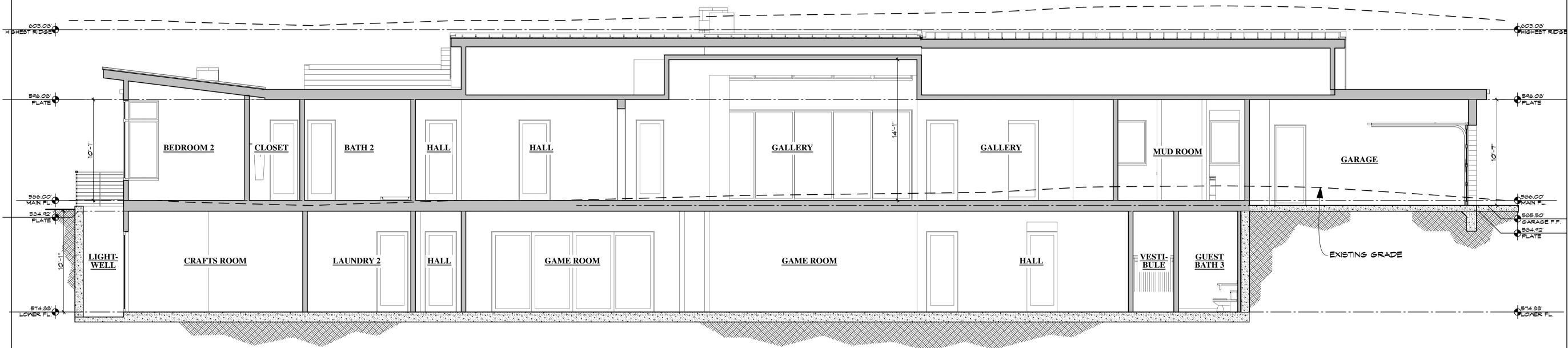
KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. T. • LOS GATOS, CA • 95030 • (408) 395-2555



A NEW RESIDENCE:
THE CHAUDRY RESIDENCE
 16461 SOUTH KENNEDY ROAD LOS GATOS, CA 95030



SECTION C-C
 SCALE: 1/4" = 1'-0"



SECTION D-D
 SCALE: 1/4" = 1'-0"

DATE: 7/05/19
 SCALE: AS SHOWN
 SHEET