



# BITMANSOUR RESIDENCE

14300 ARNERICH ROAD  
LOS GATOS, CALIFORNIA

WARREN DESIGN |  
579 E. CAMPBELL AVE., CAMPBELL, CA 95008 P. 650.469.3760 C. 209.534.7371

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BITMANSOUR RESIDENCE  
14300 ARNERICH ROAD  
LOS GATOS CALIFORNIA

| FIRE DEPARTMENT NOTES | GENERAL NOTES | PROJECT DATA | SHEET INDEX |
|-----------------------|---------------|--------------|-------------|
|-----------------------|---------------|--------------|-------------|

• THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".

• SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

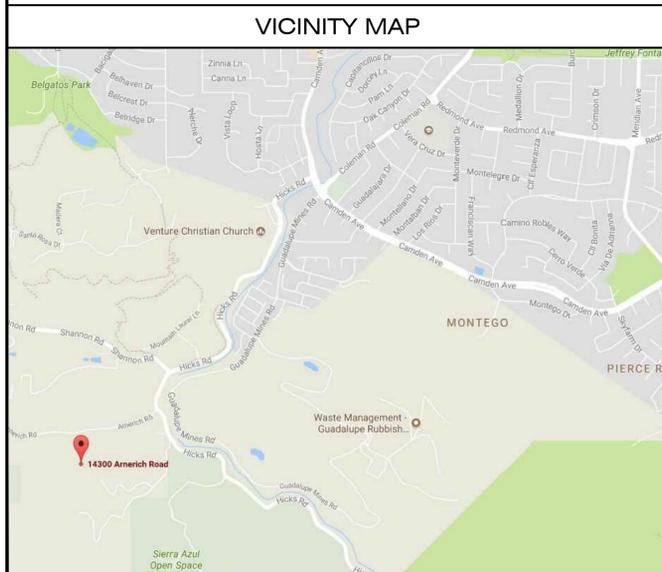
• AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE WELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

- CONTRACTOR SHALL COMPLY WITH ALL CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2016, CALIFORNIA BUILDING CODE (CBC) 2016, CALIFORNIA MECHANICAL CODE (CMC) 2016, CALIFORNIA PLUMBING CODE (CPC) 2016, CALIFORNIA FIRE CODE (CFC) 2016, CALIFORNIA ELECTRICAL CODE (CEC) 2016, CALIFORNIA GREEN BUILDING CODE (CGBC) 2016, ENERGY EFFICIENCY STANDARDS TITLE 24
- INSULATION AT ALL EXTERIOR WALLS, WALLS BETWEEN HOUSE AND GARAGE, WOOD FLOOR, FLOOR ABOVE GARAGE, AND CEILINGS SHALL BE (PER T-24 CALC'S): WALLS: R-15 INSULATION (SPRAY FOAM) CRAWL SPACE: R-19 INSULATION (SPRAY FOAM) ROOF ATTIC SPACE: R-45 INSULATION (BATT) STAPLE CERTIFICATE ADJACENT TO OVERHEAD DOOR ON INTERIOR OF GARAGE
- VENTILATION REQUIRED: ATTIC MINIMUM OF 1/300 OF ATTIC SPACE. PROVIDE A MINIMUM OF 50% AT ROOF WITH DORMER VENTS WITH THE BALANCE OF THE REQUIRED VENTING AT EAVES.
- SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.
- FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 95% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2500 PSI AT 28 DAYS. FLAT WORK SHALL BE 2500 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 6" ABOVE GRADE. PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.
- SILL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.
- PROVIDE SOLID BLOCKING AT ALL FURRED CEILINGS AND SOFFITS AT WALLS.
- AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2-16d EACH END.
- BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM).
- ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.
- POWER DRIVEN FASTENERS: 1030 #1290, PIN #DN72 AS MANUFACTURED BY "HILTI". SPACING: 18" O.C. AT ALL BEARING WALLS, 36" O.C. AT ALL NON-BEARING WALLS.
- EXTERIOR STUCCO - LA HABRA, THREE-COAT STUCCO SYSTEM. FINAL COAT TO HAVE INTEGRAL COLOR.
- STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR #1/CASING BEAD, MILCOR #66/EXTERIOR CORNER, MILCOR #1 EXP. JOINT. INTERIOR CORNER, MILCOR #30 EXP. JOINT.
- ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS.
- ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED, H.S.=HORIZONTAL SLIDER, S.H.=SINGLE HUNG, OBS=OBSCURE, FXD=FIXED, TEMP=TEMPERED, HLF.RND=HALF ROUND.
- SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.
- EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE, ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS.
- PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM.
- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.
- BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.
- FLOOD ZONE DESIGNATION AE AND BASE FLOOD ELEVATION (BFE) OF 26.4' NAVD'88.
- ALL MATERIALS BELOW BFE SHALL BE RESISTANT TO FLOOD DAMAGE.

PROJECT ADDRESS: 14300 ARNERICH ROAD  
ZONING: HR-1  
ASSESSOR PARCEL NUMBER: 537-11-017  
CONSTRUCTION TYPE: V-B SPRINKLERED  
OCCUPANCY TYPE: R-3/U  
LOT SIZE: 236,210 S.F. (5.42 ACRES)  
EXISTING RESIDENCE TO BE DEMO'D: 3,733 S.F.  
PROPOSED FLOOR AREA: 5,284.3 S.F.  
3 CAR GARAGE: 461.25 S.F. (TOTAL = 861.25 S.F. INCLUDING 400 S.F. ALLOWANCE)  
TOTAL FLOOR AREA: 5,745.55 S.F.  
ALLOWABLE FLOOR AREA: 6,000 S.F. (+ 400 S.F. GARAGE ALLOWANCE)  
COVERED PORCH: 341 S.F.  
COVERED TERRACE: 1,590.2 S.F.  
OPEN COURTYARD: 414.5 S.F.  
LOT COVERAGE: 7,676.75 S.F. 3.2%

SCOPE OF WORK:  
DEMO EXISTING RESIDENCE AND CONSTRUCT A 2 STORY RESIDENCE TO INCLUDE 5 BEDROOMS & 6 BATH. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.

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- ### SPECIAL INSPECTIONS
- ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLDDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTIONS.

- ### DEFERRED APPROVALS
- DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL
- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPERATE PERMIT.

Date: 6/1/17

Drawn By: DCW

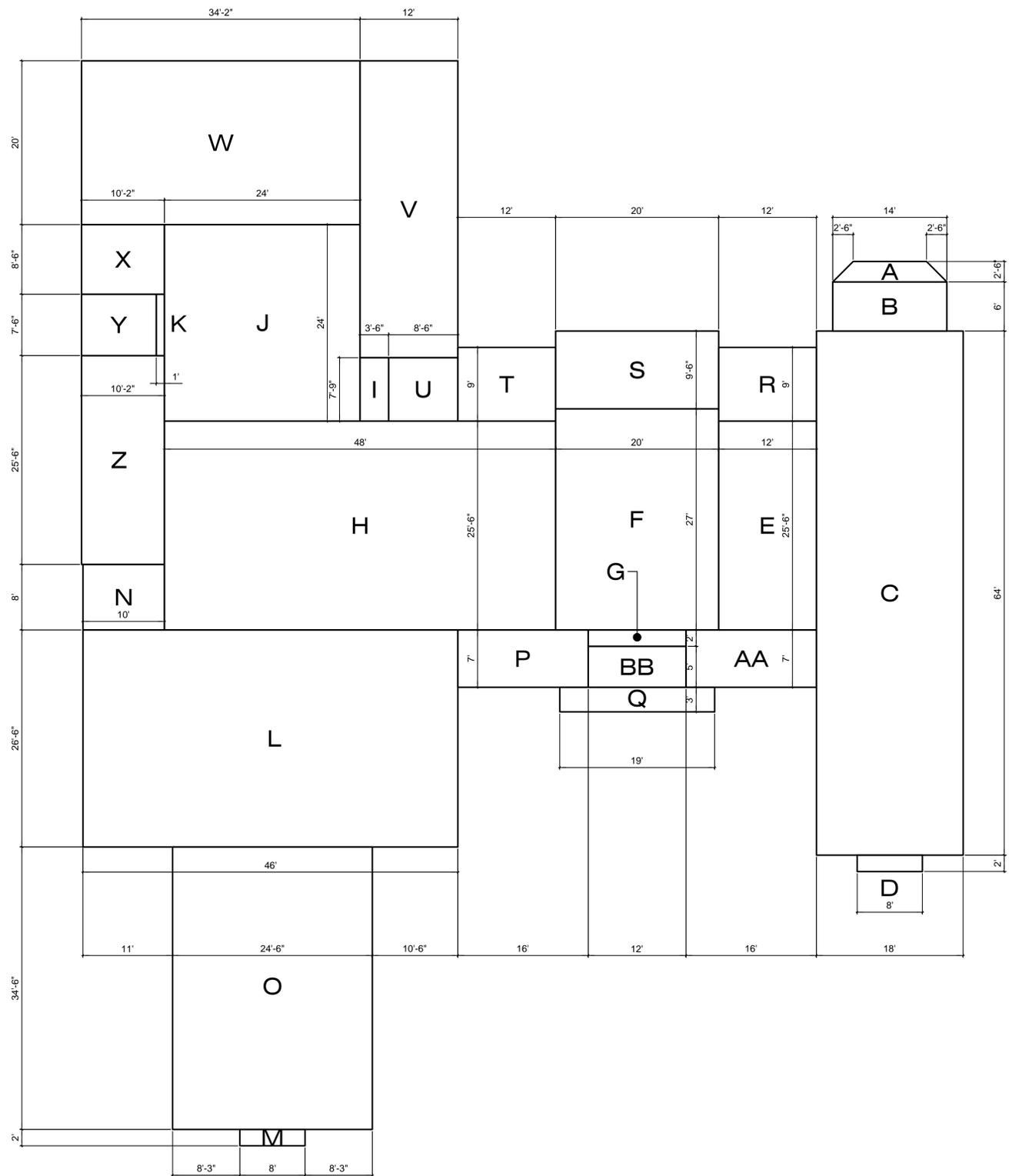
Revisions:

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Site Plan

Project No: 1627

Sheet No: T-1  
of



| PROPOSED RESIDENCE            |                     |
|-------------------------------|---------------------|
| FLOOR AREA LIMIT CALCULATION: |                     |
| AREA                          | S.F.                |
| A                             | 28.8                |
| B                             | 84.0                |
| C                             | 1152                |
| D                             | 16.0                |
| E                             | 306                 |
| F                             | 540                 |
| G                             | 24                  |
| H                             | 1224                |
| I                             | 27                  |
| J                             | 576                 |
| K                             | 7.5                 |
| L                             | 1219.0              |
| M                             | 16 (NON F.A.R.)     |
| N                             | 80                  |
| O                             | 845.25 (NON F.A.R.) |
| P                             | 112 (NON F.A.R.)    |
| Q                             | 57 (NON F.A.R.)     |
| R                             | 108 (NON F.A.R.)    |
| S                             | 190 (NON F.A.R.)    |
| T                             | 108 (NON F.A.R.)    |
| U                             | 65.9 (NON F.A.R.)   |
| V                             | 435 (NON F.A.R.)    |
| W                             | 683.3 (NON F.A.R.)  |
| X                             | 86.4 (NON F.A.R.)   |
| Y                             | 68.8 (NON F.A.R.)   |
| Z                             | 259.3 (NON F.A.R.)  |
| AA                            | 112 (NON F.A.R.)    |
| BB                            | 60 (NON F.A.R.)     |
| P                             | 112 (NON F.A.R.)    |
| Q                             | 57 (NON F.A.R.)     |
| TOTAL FLOOR AREA              | 5284.30             |

Floor Area Diagram



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LOS GATOS CALIFORNIA

Date: 6/1/17

Drawn By: DCW

Revisions:

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- ▲
- ▲
- ▲
- ▲

Floor Area Diagram

Project No: 1627

Sheet No: T-1.1

of

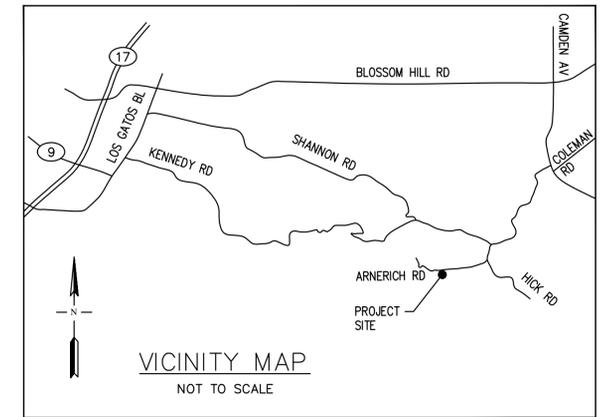
**GRADING NOTES:**

- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF UBC, UMC, UPC, NEC, AND CITY OF LOS GATOS, AND COUNTY STANDARDS.
- THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THIS PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPOS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPOS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- THE CIVIL ENGINEER WILL BE REQUIRED TO VERIFY ON THE GRADING PERMIT THAT THE PAD LOCATION AND ELEVATION IS CONSTRUCTED PER APPROVED PLANS PRIOR TO FOUNDATION INSPECTION. THE CIVIL ENGINEER WILL ALSO BE REQUIRED TO CERTIFY THAT THE SITE WAS GRADED IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC, OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

**EARTHWORK TABLE**

| LOCATION        | CUT (CY) | FILL (CY) | EXPORT (CY) |
|-----------------|----------|-----------|-------------|
| DRIVEWAY & SITE | 150      | 70        |             |
| HOUSE           | 400      | 100       |             |
| TOTAL           | 450      | 170       | 280         |

NOTE:  
EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY.  
CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.



**ABBREVIATION**

|           |                            |        |                          |
|-----------|----------------------------|--------|--------------------------|
| A.B.      | AGGREGATE BASE             | LF     | LINEAL FEET              |
| AC        | ASPHALT CONCRETE           | MAX.   | MAXIMUM                  |
| AD        | AREA DRAIN                 | MH     | MANHOLE                  |
| BC        | BEGINING OF CURVE          | MIN.   | MINIMUM                  |
| BM        | BENCHMARK                  | MON    | MONUMENT                 |
| BSW       | BACK OF SIDEWALK           | (N)    | NEW                      |
| BW        | BOTTOM OF WALL             | NO.    | NUMBER                   |
| CB        | CATCH BASIN                | N.T.S. | NOT TO SCALE             |
| C&G       | CURB AND GUTTER            | OG     | ORIGINAL GROUND          |
| CL        | CENTER LINE                | P.S.E. | PUBLIC SERVICE EASEMENT  |
| CO        | CLEAN OUT                  | PL     | PROPERTY LINE            |
| CONC      | CONCRETE                   | P.P.   | POWER POLE               |
| CY        | CUBIC YARD                 | P.U.E. | PUBLIC UTILITY EASEMENT  |
| DI        | DROP INLET                 | P.V.C. | POLYVINYL CHLORIDE       |
| D.I.P.    | DUCTILE IRON PIPE          | R      | RADIUS                   |
| D/W       | DRIVEWAY                   | R.C.P. | REINFORCED CONCRETE PIPE |
| EA.       | EACH                       | R/W    | RIGHT OF WAY             |
| EC        | END OF CURVE               | SD     | STORM DRAIN              |
| EL        | ELEVATIONS                 | SHT.   | SHEET                    |
| EP        | EDGE OF PAVEMENT           | SPEC.  | SPECIFICATION            |
| EX. / (E) | EXISTING                   | SS     | SANITARY SEWER           |
| FF        | FINISHED FLOOR             | STA.   | STATION                  |
| FG        | FINISHED GRADE             | STD.   | STANDARD                 |
| FS        | FINISH SURFACE             | TC     | TOP OF CURB              |
| FH        | FIRE HYDRANT               | TEMP.  | TEMPORARY                |
| FL        | FLOW LINE                  | TW     | TOP OF WALL              |
| FL        | GRADE BREAK                | TYP.   | TYPICAL                  |
| GB        | GROUND ELEVATION (CURRENT) | V.C.   | VERTICAL CURVE           |
| GRD       | GRADING                    | VCP    | VITRIFIED CLAY PIPE      |
| HORIZ     | HORIZONTAL                 | VERT.  | VERTICAL                 |
| HL. PT.   | HIGH POINT                 | WM     | WATER METER              |
| INV.      | INVERT ELEVATION           |        |                          |
| JB        | JUNCTION BOX               |        |                          |
| JT        | JOINT TRENCH               |        |                          |
| J.P.      | JOINT UTILITY POLE         |        |                          |

**LEGEND**

| EXISTING | PROPOSED | DESCRIPTION              |
|----------|----------|--------------------------|
| — S —    | — SS —   | BOUNDARY LINE            |
| — SD —   | — SD —   | SANITARY SEWER LINE      |
| — W —    | — W —    | STORM DRAIN LINE         |
| ☆        | ☆        | WATER LINE               |
| □ PG&E   | □ PG&E   | STREET LIGHT             |
| ⊗ WV     | ⊗ WV     | PG & E VAULT             |
| ▤        | ▤        | WATER VALVE              |
| ○ SDMH   | ○ SDMH   | CURB CATCH BASIN         |
| ○ SSMH   | ○ SSMH   | STORM DRAIN MANHOLE      |
| ○ SSCO   | ○ SSCO   | SANITARY SEWER MANHOLE   |
|          | ⊕        | SANITARY SEWER CLEAN-OUT |
| — 200 —  | — 200 —  | BENCHMARK                |
| × 21.16  | × 21.16  | CONTOUR LINE             |
| ⊙ MON    | ⊙ MON    | FLOW DIRECTION           |
| ○ DS     | ○ DS     | SPOT ELEVATION           |
|          |          | MONUMENT                 |
|          |          | DOWNSPOUT                |

**IMPERVIOUS SURFACES**

| LOCATION      | EXISTING (SF) | PROPOSED (SF) |
|---------------|---------------|---------------|
| DRIVEWAY      | 13,067        | 14,253        |
| HOUSE & PORCH | 3,129         | 8,544         |
| PATIO/WALKWAY | 3,257         | 207           |
| TOTAL         | 19,453        | 23,004        |

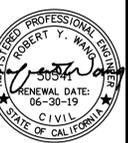
**SHEET INDEX**

|     |                    |  |
|-----|--------------------|--|
| NO. |                    |  |
| C-1 | COVER SHEET        |  |
| C-2 | GRADING & DRAINAGE |  |
| C-3 | EROSION CONTROL    |  |

| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
|     |          |      |    |
|     |          |      |    |
|     |          |      |    |
|     |          |      |    |

**RW ENGINEERING, INC.**  
CIVIL ENGINEERS LAND SURVEYORS  
505 ALAMONT DRIVE, MILPITAS, CA 95035  
(P) (408) 262-1899 (FAX) (408) 824-5556  
rweengineering@gmail.com

**RW**

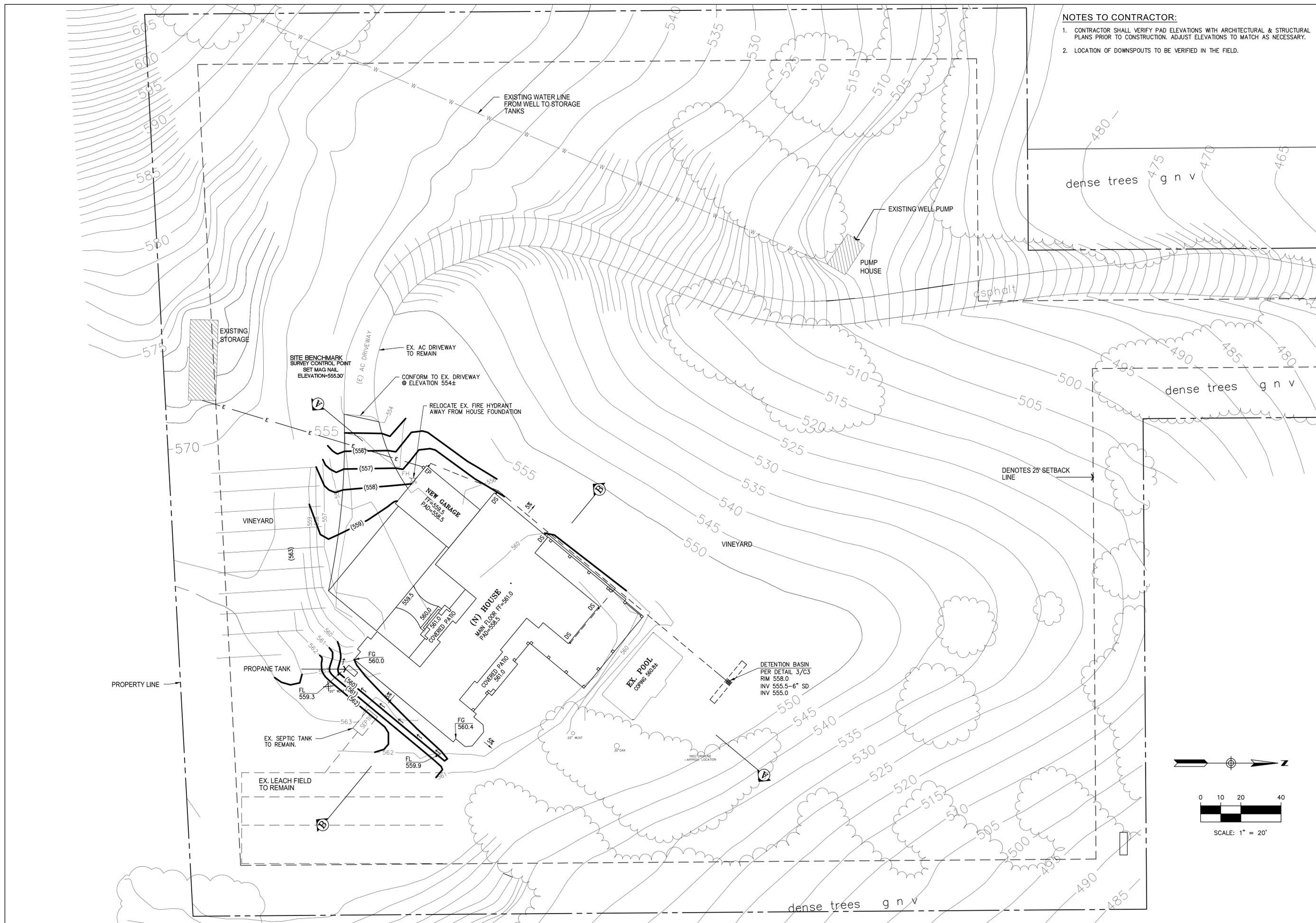


DATE: 11/20/17

NEW RESIDENCE  
14300 ARNERICH ROAD  
LOS GATOS, CA  
SANTA CLARA COUNTY  
APN: 537-11-017

COVER SHEET

DATE: 5/22/19  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET  
**C-1**

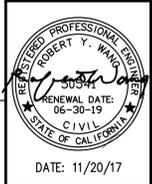


**NOTES TO CONTRACTOR:**

1. CONTRACTOR SHALL VERIFY PAD ELEVATIONS WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS TO MATCH AS NECESSARY.
2. LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.

| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
|     |          |      |    |
|     |          |      |    |
|     |          |      |    |

**RW**  
 RW ENGINEERING, INC.  
 CIVIL ENGINEERS LAND SURVEYORS  
 505 ALAMONT DRIVE, MILPITAS, CA 95035  
 (P) (408) 262-1899 (FAX) (408) 824-5556  
 rwenengineering@gmail.com

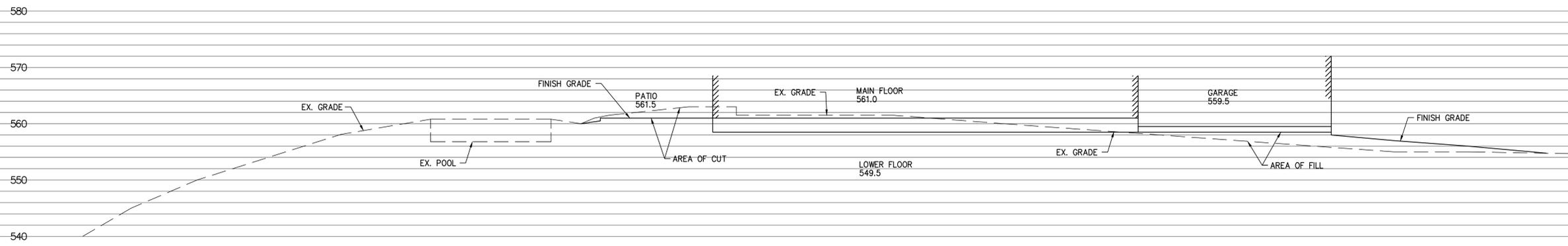


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**14300 ARNERICH ROAD**  
**LOS GATOS, CA**  
 SANTA CLARA COUNTY  
 APN: 537-11-017

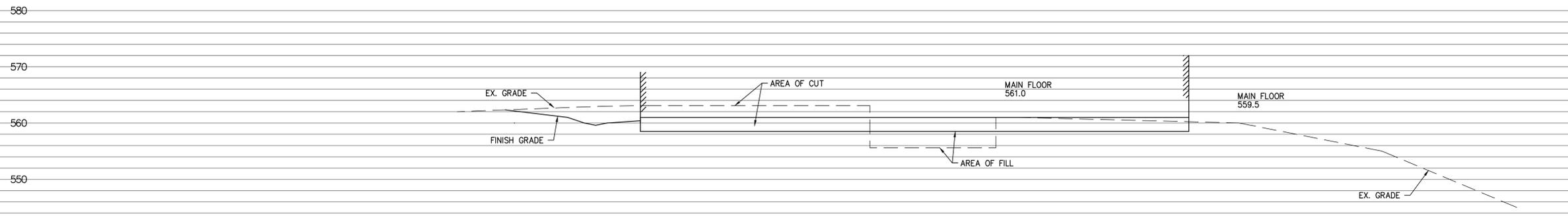
**GRADING & DRAINAGE**

DATE: 5/21/19  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW

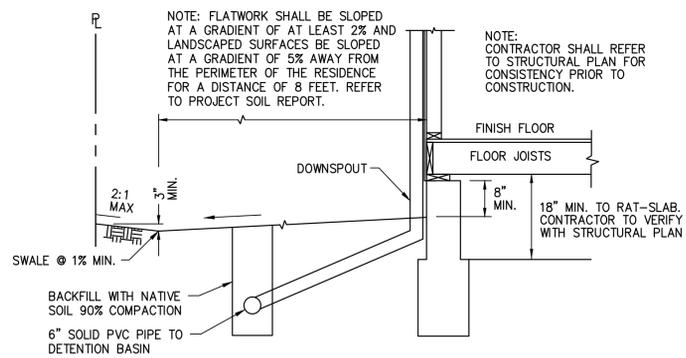
SHEET  
**C-2**



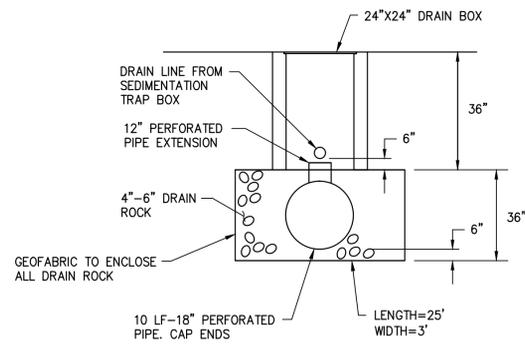
**SECTION A-A**  
SCALE: HOR.: 1"=10'  
VERT.: 1"=10'



**SECTION B-B**  
SCALE: HOR.: 1"=10'  
VERT.: 1"=10'

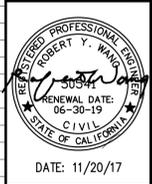


NOT TO SCALE



| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
|     |          |      |    |
|     |          |      |    |
|     |          |      |    |

**RW** RW ENGINEERING, INC.  
CIVIL ENGINEERS LAND SURVEYORS  
505 ALAMONT DRIVE, MILPITAS, CA 95035  
(P) (408) 262-1899 (FAX) (408) 824-5556  
rweengineering@gmail.com



DATE: 11/20/17

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14300 ARNERICH ROAD  
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SANTA CLARA COUNTY  
APN: 537-11-017

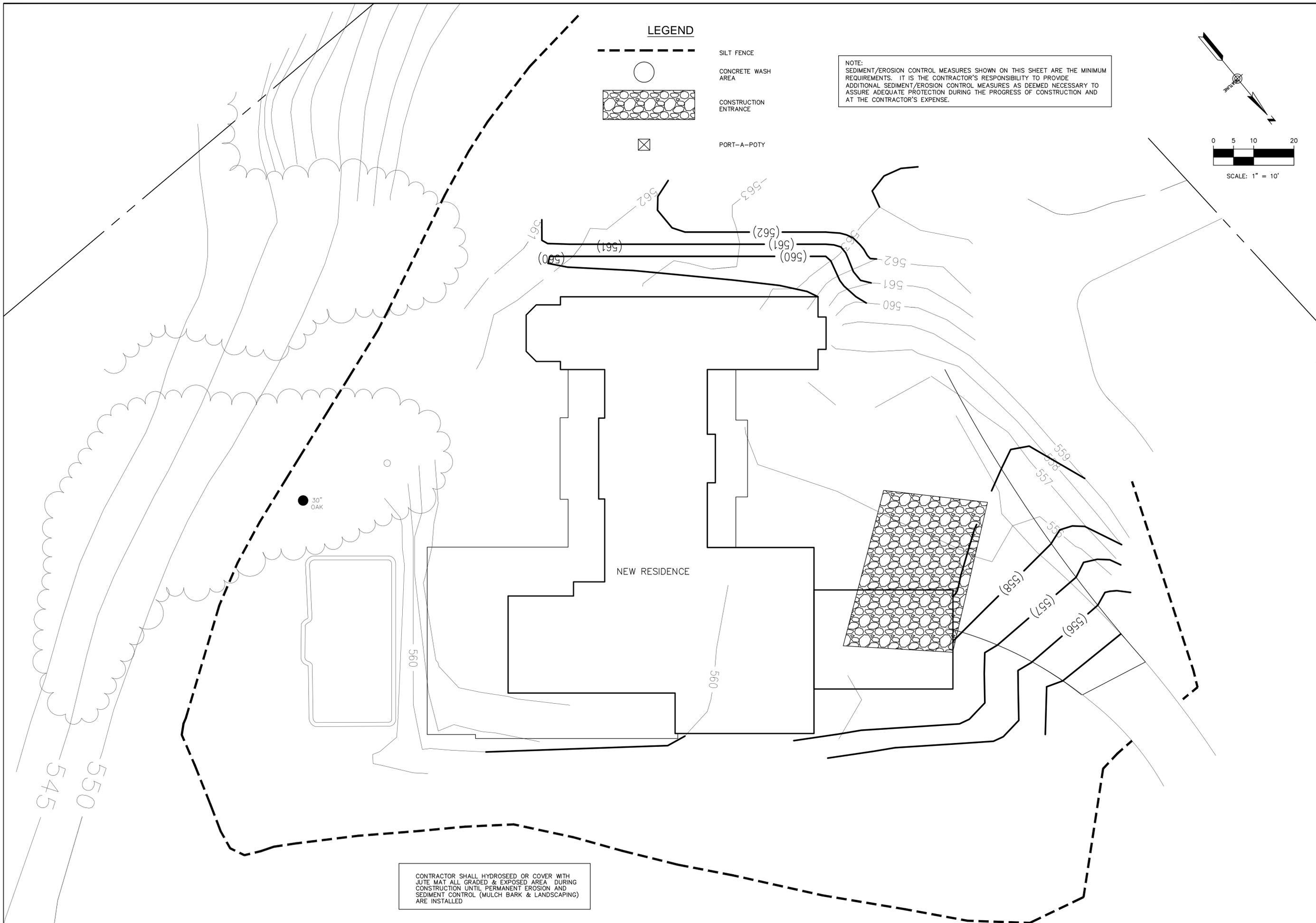
**SECTIONS & DETAILS**

DATE: 5/21/19  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW

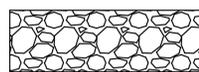
SHEET  
**C-3**

1 TYPICAL GRADING AROUND FOUNDATION

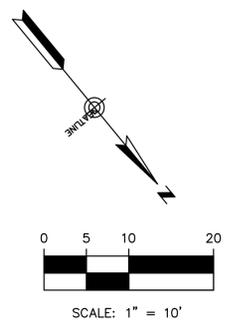
2 DETENTION BASIN



**LEGEND**

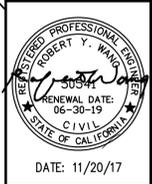
-  SILT FENCE
-  CONCRETE WASH AREA
-  CONSTRUCTION ENTRANCE
-  PORT-A-POTY

NOTE:  
 SEDIMENT/EROSION CONTROL MEASURES SHOWN ON THIS SHEET ARE THE MINIMUM REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ASSURE ADEQUATE PROTECTION DURING THE PROGRESS OF CONSTRUCTION AND AT THE CONTRACTOR'S EXPENSE.



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**RW** ENGINEERING, INC.  
 CIVIL ENGINEERS LAND SURVEYORS  
 505 ALAMONT DRIVE, MILPITAS, CA 95035  
 (P) (408) 262-1899 (FAX) (408) 824-5556  
 rweengineering@gmail.com



DATE: 11/20/17

NEW RESIDENCE  
 14300 ARNERICH ROAD  
 LOS GATOS, CA  
 SANTA CLARA COUNTY  
 APN: 537-11-017

EROSION CONTROL

DATE: 5/22/19  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW

SHEET  
**C-4**

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

**EROSION AND SEDIMENT CONTROL MEASURES**

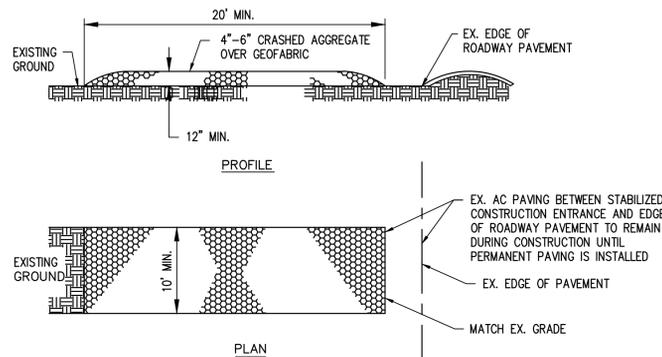
1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

|                                    |               |
|------------------------------------|---------------|
| FIBER (HYDROSTRAW AND TACK MULCH)  | 2500 LBS/ACRE |
| COLOR (GREEN TO GOLD)              | 55 LBS/ACRE   |
| FERTILIZER (16-20-0)               | 350 LBS/ACRE  |
| M-BINDER                           | 125 LB/ACRE   |
| WATER, AS REQUIRED FOR APPLICATION |               |

**ADDITIONAL NOTES:**

1. STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.

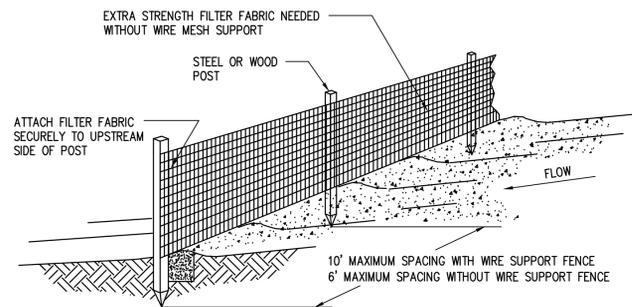


**MAINTENANCE:**

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.
2. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVE IMMEDIATELY.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**STABILIZED CONSTRUCTION ENTRANCE (TO BE MAINTAINED)**

NTS

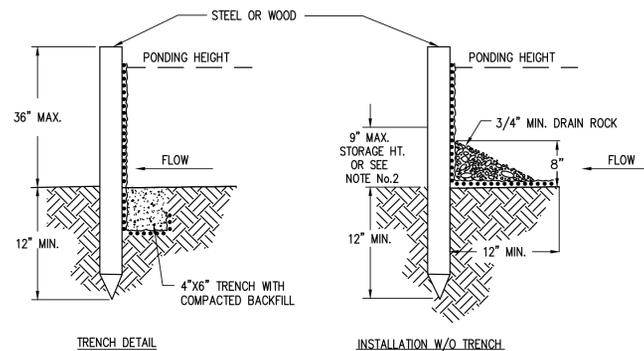


**NOTES:**

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS PERPENDICULAR TO DIRECTION OF FLOW TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.

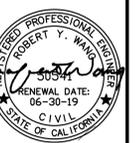
**SILT FENCE**

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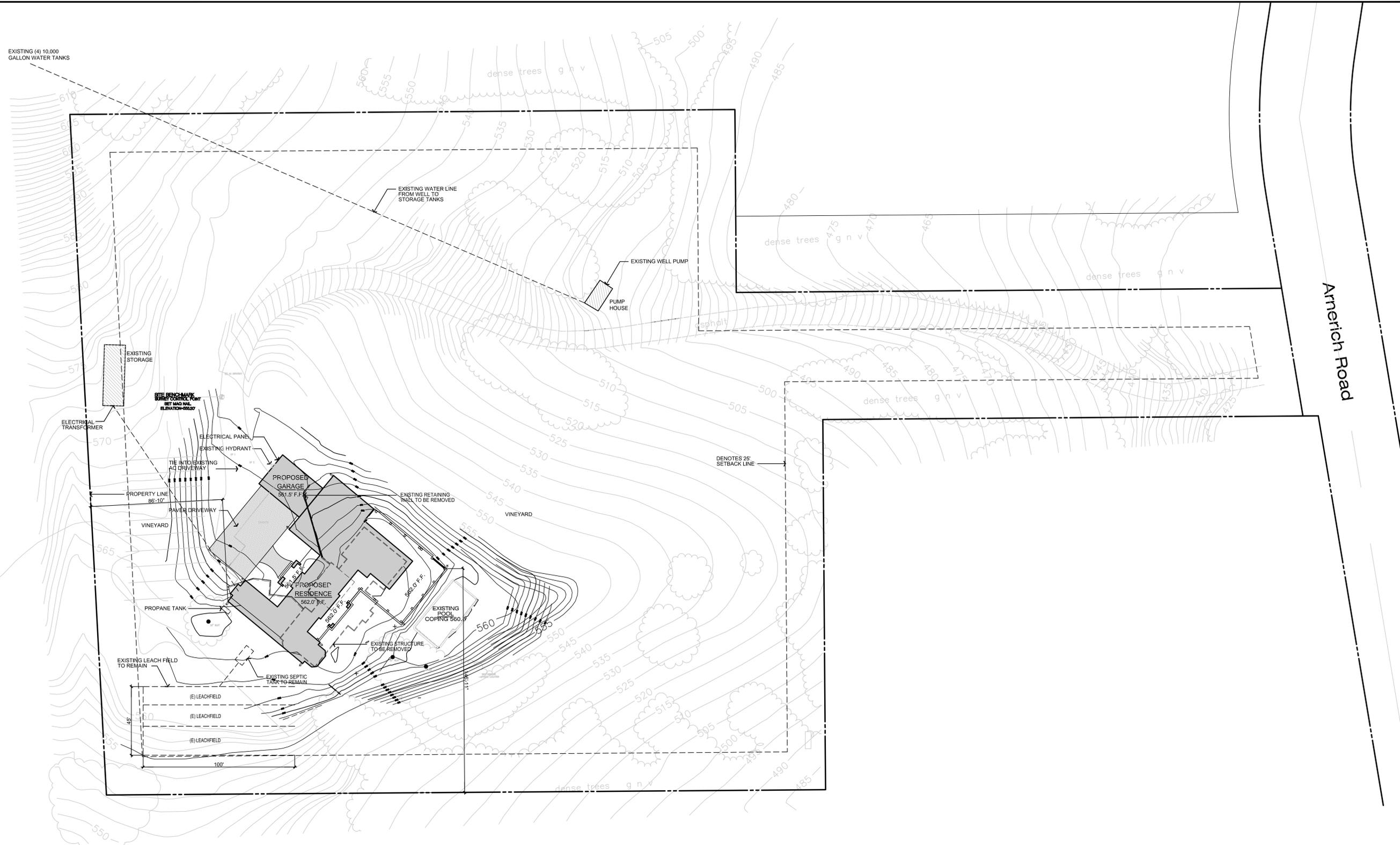
**NEW RESIDENCE**  
**14300 ARNERICH ROAD**  
**LOS GATOS, CA**  
 SANTA CLARA COUNTY  
 APN: 537-11-017

**EROSION CONTROL**  
**NOTES & DETAIL**

DATE: 5/22/19  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW

SHEET  
**C-5**

EXISTING (4) 10,000 GALLON WATER TANKS

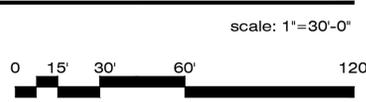


GENERAL NOTES:

1. VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
2. SLOPE ALL FINISH GRADES A MIN. OF 5% AT PERVIOUS AND 2% AT IMPERVIOUS SURFACES FOR 10'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
3. ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM.
4. THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CBC 1804.3).
5. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CRC 1808.7.4).
6. EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE-RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2).



Site Plan



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| Drawn By:  | DCW    |
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Site Plan

Project No:  
1627

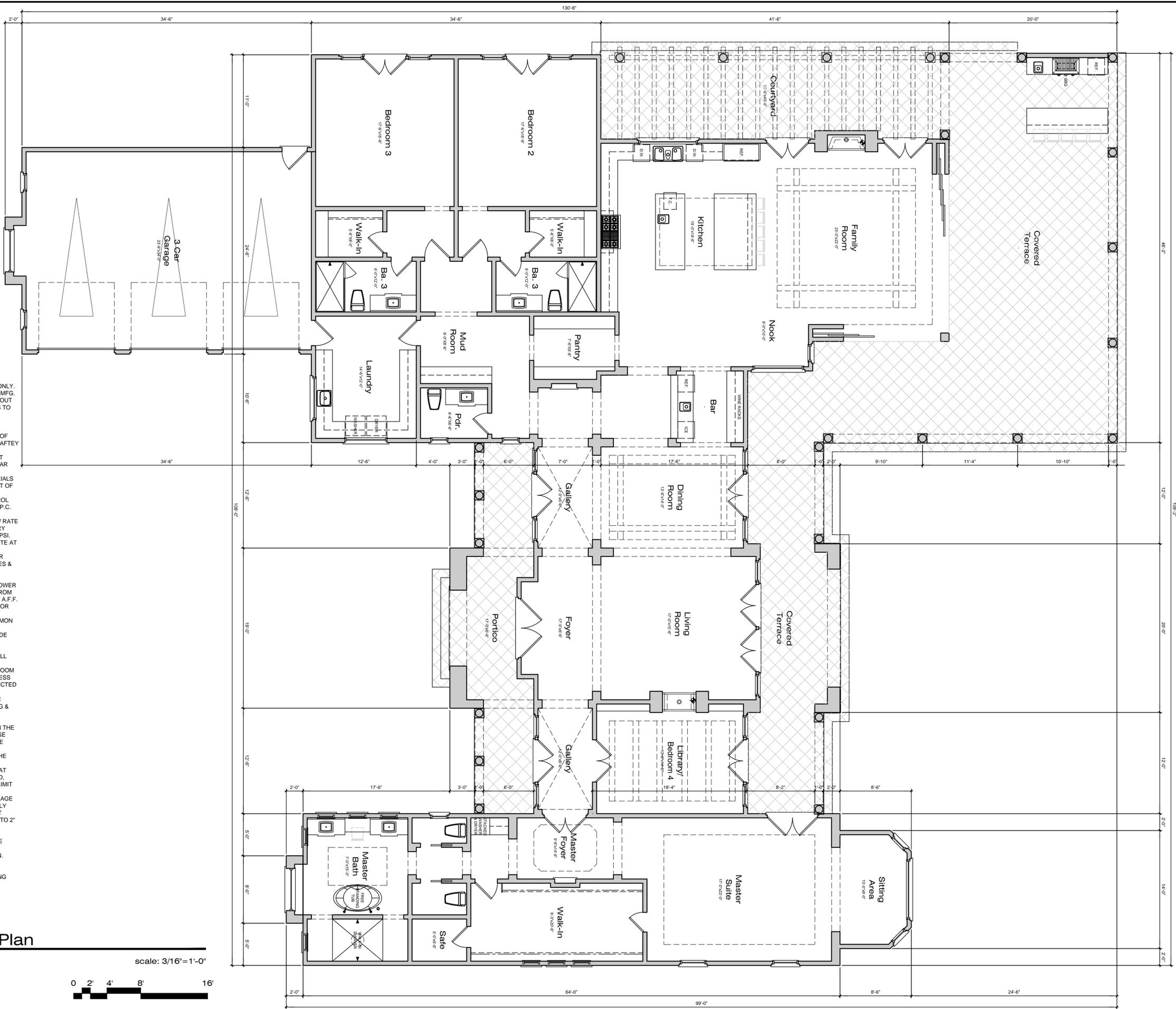
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of

- GENERAL NOTES:
1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.).
  2. ALL EXTERIOR HEADERS SHALL BE AT 6'-8" U.N.O.
  3. ALL EXTERIOR DOORS SHALL BE AT LEAST 1 1/2" THICK
  4. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
  5. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET
  6. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
  7. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
  8. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.
  9. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
  10. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
  11. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
  12. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
  13. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
  14. INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPEC'S. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
  15. PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
  16. PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
  17. LANDINGS NO MORE THAN 7.75' LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 1 1/2" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
  18. ALL GYPSUM BOARD TO 3/8" TYP. U.N.O
  19. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.
  20. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CENC SECTION 117).
  21. THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2". (150J)(2) CENC).
  22. THE BUILDER/ CONTRACTOR TO PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION. (2009 STANDARDS SECTION 10-103(A)(3)).
  23. VENTING FOR ISLAND FIXTURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2010 CALIFORNIA PLUMBING CODE.

Entry Level Floor Plan

scale: 3/16" = 1'-0"



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 LOS GATOS CALIFORNIA

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Entry Level Floor Plan

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| Project No: | 1627 |
| Sheet No:   | A-2  |

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Front Elevation

scale: 3/16" = 1'-0"



Right Elevation

scale: 3/16" = 1'-0"



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Exterior Elevations

Project No:  
**1627**

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**A-3**

of



Rear Elevation

scale: 3/16"=1'-0"



Left Elevation

scale: 3/16"=1'-0"



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Exterior Elevations

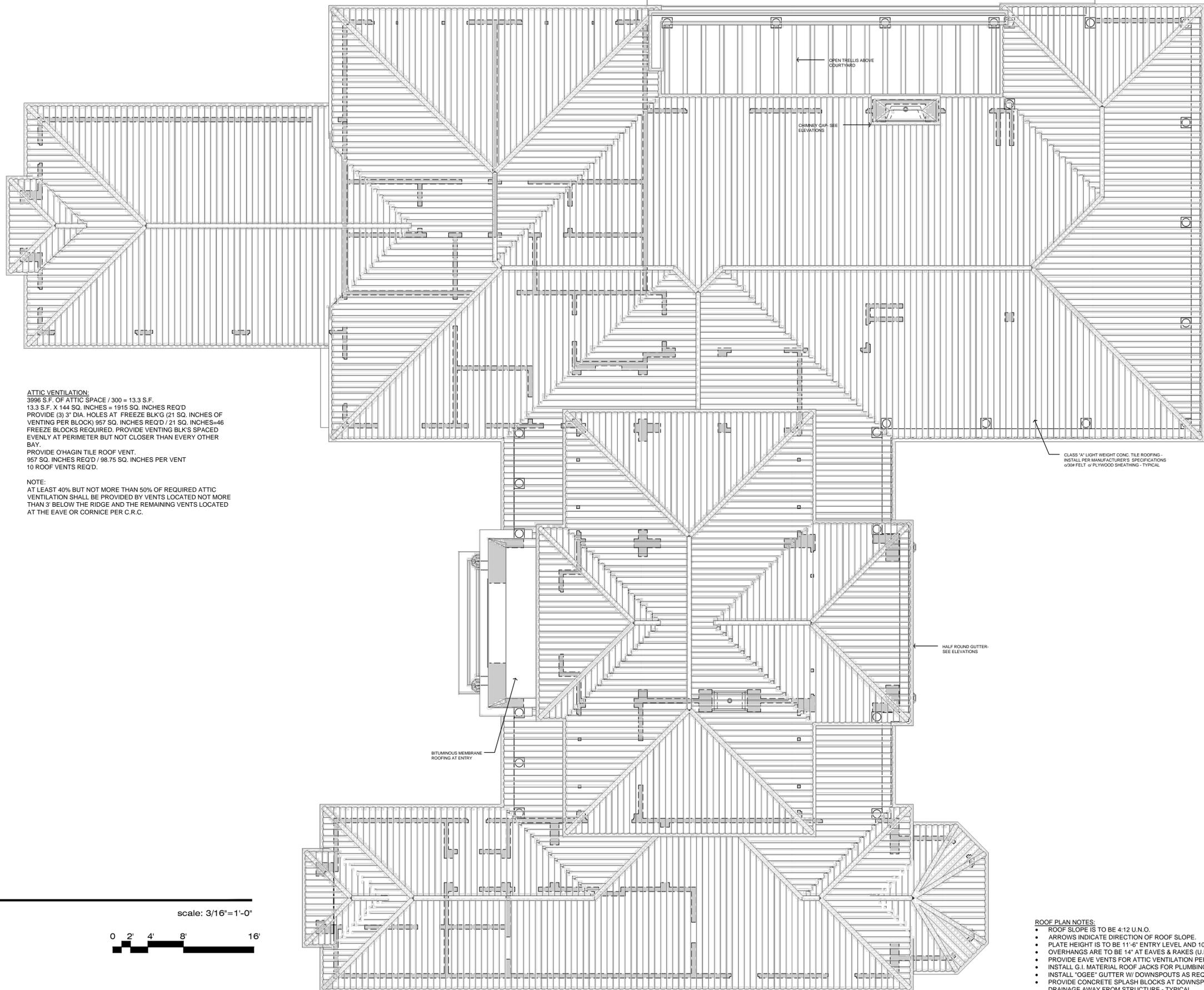
Project No:

1627

Sheet No:

A-4

of



**ATTIC VENTILATION:**  
 3996 S.F. OF ATTIC SPACE / 300 = 13.3 S.F.  
 13.3 S.F. X 144 SQ. INCHES = 1915 SQ. INCHES REQ'D  
 PROVIDE (3) 3" DIA. HOLES AT FREEZE BLKG (21 SQ. INCHES OF VENTING PER BLOCK) 957 SQ. INCHES REQ'D / 21 SQ. INCHES=46 FREEZE BLOCKS REQUIRED. PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.  
 PROVIDE O'HAGIN TILE ROOF VENT.  
 957 SQ. INCHES REQ'D / 98.75 SQ. INCHES PER VENT  
 10 ROOF VENTS REQ'D.

**NOTE:**  
 AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.R.C.

CLASS 1A LIGHT WEIGHT CONC. TILE ROOFING -  
 INSTALL PER MANUFACTURER'S SPECIFICATIONS  
 0.03M FELT & PLYWOOD SHEATHING - TYPICAL

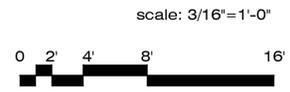
HALF ROUND GUTTER -  
 SEE ELEVATIONS

BITUMINOUS MEMBRANE  
 ROOFING AT ENTRY

OPEN TRELLIS ABOVE  
 COURTYARD

CHIMNEY GAF-SEE  
 ELEVATIONS

**Roof Plan**



- ROOF PLAN NOTES:**
- ROOF SLOPE IS TO BE 4:12 U.N.O.
  - ARROWS INDICATE DIRECTION OF ROOF SLOPE.
  - PLATE HEIGHT IS TO BE 11'-6" ENTRY LEVEL AND 10'-0" AT UPPER LEVEL.
  - OVERHANGS ARE TO BE 14" AT EAVES & RAKES (U.N.O.)
  - PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL.
  - INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
  - INSTALL "OSEE" GUTTER W/ DOWNSPOUTS AS REQUIRED.
  - PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.

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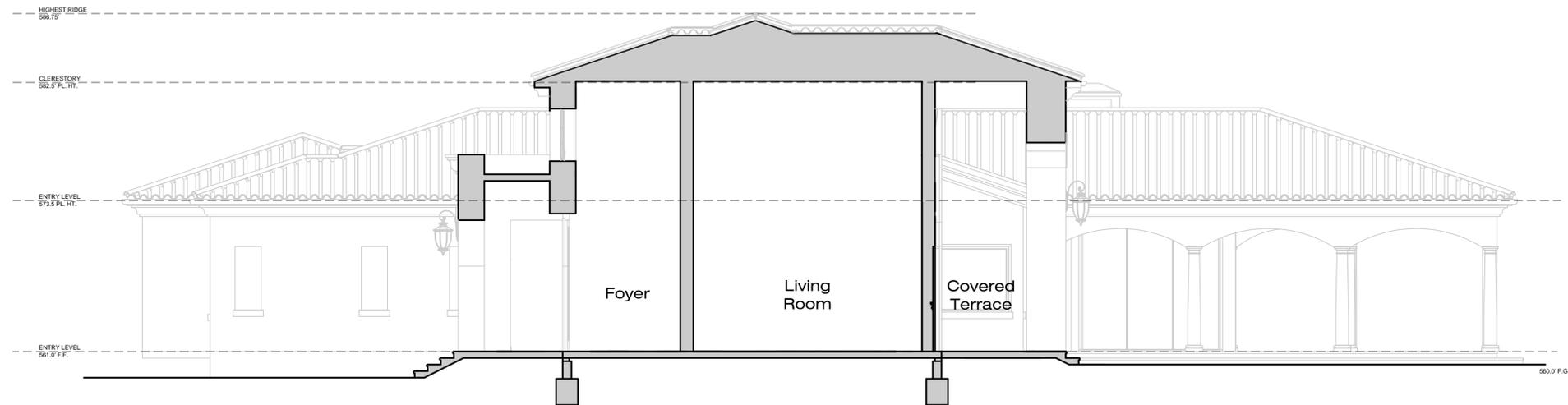
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**Roof Plan**

Project No:  
**1627**

Sheet No:  
**A-5**

of



**Section A-A**

scale: 3/16"=1'-0"



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Sections

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**1627**

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**A-6**

of