



TOWN OF LOS GATOS

BUILDING PERMIT APPLICATION

Upload Completed Application via your Citizen's Portal Account:
<https://permits.losgatosca.gov/Login-and-Manage-My-Records>

INCOMPLETE APPLICATIONS WILL RESULT IN EXTENDED PROCESSING TIME

*PROJECT ADDRESS		*APN#
*PROPERTY OWNER NAME	*PHONE - REQUIRED	E-MAIL
*STREET ADDRESS	*CITY, STATE, ZIP	FAX
APPLICANT NAME	PHONE	E-MAIL
STREET ADDRESS	CITY, STATE, ZIP	FAX
TENANT CONTACT NAME	PHONE	E-MAIL
**BUSINESS NAME		CONTACT FAX
BUSINESS ADDRESS, CITY, STATE, ZIP		
*CONTACT: <input type="checkbox"/> OWNER <input type="checkbox"/> H.O.A. <input type="checkbox"/> TENANT <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> PERMIT SERVICE <input type="checkbox"/> ARCHITECT <input type="checkbox"/> DESIGNER <input type="checkbox"/> ENGINEER		
*CONTRACTOR NAME	PHONE	LICENSE TYPE
*STATE LICENSE #	STATE LICENSE EXPIRES	TOWN BUSINESS LICENSE #
*DESCRIPTION OF WORK		
*CONSTRUCTION VALUATION (Per Structure):		
*AREA OF REMODEL SPACE:	S.F.	*NEW OR RELOCATED PLUMBING FIXTURES: <input type="checkbox"/> Y <input type="checkbox"/> N
**EXISTING USE(S)	**PROPOSED USE(S)	
**OCCUPANCY(S):	**CONSTRUCTION TYPE:	HISTORIC DISTRICT OR PRE-1941? <input type="checkbox"/> Y <input type="checkbox"/> N
FIRE SPRINKLERS: <input type="checkbox"/> Y <input type="checkbox"/> N	FIRE HAZARD AREA: <input type="checkbox"/> Y <input type="checkbox"/> N	**HAZARDOUS MATERIALS? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> *SEPTIC or <input type="checkbox"/> SEWER
*REQUIRED INFORMATION FOR ALL APPLICATIONS		
**REQUIRED FOR COMMERCIAL APPLICATIONS		

	EXISTING		PROPOSED	
First Floor		S.F.		S.F.
Second Floor		S.F.		S.F.
Third Floor/Attic – Habitable?	<input type="checkbox"/> Y <input type="checkbox"/> N	S.F.		S.F.
Basement/Cellar – Habitable?	<input type="checkbox"/> Y <input type="checkbox"/> N	S.F.		S.F.
Garage – <input type="checkbox"/> Attached <input type="checkbox"/> Detached		S.F.		S.F.
<input type="checkbox"/> Pool House/Cabana <input type="checkbox"/> Pool/Spa		S.F.		S.F.
<input type="checkbox"/> Porch <input type="checkbox"/> Deck <input type="checkbox"/> Retaining Wall		S.F./L.F.		S.F./L.F.

REROOF - RESIDENTIAL AND COMMERCIAL

TEAR-OFF: <input type="checkbox"/> SHAKE <input type="checkbox"/> COMP <input type="checkbox"/> WOOD SHINGLES <input type="checkbox"/> TILE <input type="checkbox"/> B.U.R.	# of SQUARES PER STRUCTURE	COOL ROOF <input type="checkbox"/> Y <input type="checkbox"/> N
NEW: <input type="checkbox"/> SHAKE <input type="checkbox"/> COMP <input type="checkbox"/> WOOD SHINGLES <input type="checkbox"/> TILE <input type="checkbox"/> B.U.R.		ICC ES/ESR #
CONSTRUCTION VALUATION (PER STRUCTURE): /	/	CLASS <input type="checkbox"/> A <input type="checkbox"/> C

MUST COMPLETE ELECTRICAL, MECHANICAL, AND PLUMBING DETAILS ON NEXT PAGE

Application for Electrical Permit

E -

UNIT DESCRIPTION	NO. OF ITEMS	UNIT FEE
LIGHTS, SWITCHES, OUTLETS		\$2.32 EA
RESIDENTIAL APPLIANCES/NEW CIRCUITS:		
COOK TOP, OVEN, RANGE, DISPOSALS, CLOTHES DRYER, ENERGY STORAGE SYSTEM OR OTHER MOTOR		
OPERATED APPLIANCE NOT EXCEEDING ONE HORSEPOWER		\$7.45 EA
NONRESIDENTIAL APPLIANCES/NEW CIRCUITS:		
MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABINETS, LAUNDRY		
MACHINES, DRINKING FOUNTAINS OR OTHER SIMILAR EQUIPMENT. NOTE: SEE BELOW FOR OTHER EQUIPMENT		\$9.58 EA
POWER APPARATUS:		
GENERATORS, TRANSFORMERS, A/C, HEAT PUMPS, BAKING EQUIPMENT:		
UP TO 10 KV		\$20.00 EA
OVER 10 KV, AND NOT OVER 50 KV		\$39.00 EA
OVER 50 KV, AND NOT OVER 100 KV		\$78.00 EA
OVER 100 KV		\$103.00 EA
MOTORS:		
UP TO 10 HP		\$20.00 EA
UP TO 25 HP		\$39.00 EA
UP TO 55 HP		\$78.00 EA
OVER 55 HP		\$113.00 EA
TRANSFORMERS:		
UP TO 5 KVA		\$20.00 EA
UP TO 10 KVA		\$39.00 EA
UP TO 50 KVA		\$65.00 EA
OVER 50 KVA		\$95.00 EA
BUSWAYS (PER 100 FT) CONDUITS		\$9.58 EA
SERVICE EQUIPMENT:		
200 AMPS OR LESS		\$96.00 EA
201 TO 999 AMPS		\$132.00 EA
SUB-PANELS / DISCONNECTS		\$47.00 EA
TEMP POWER POLE		\$96.00 EA
TEMP DISTRIBUTION & LIGHTING		\$47.00 EA
PRIVATE SWIMMING POOL		\$78.00 EA
PUBLIC SWIMMING POOL		\$141.00 EA
SPAS OR SAUNAS		\$47.00 EA
ILLUMINATED SIGNS		\$123.00 EA
SOLAR SYSTEM OR PHOTOVOLTAIC SYSTEM		\$90.00 EA

Application for Mechanical Permit

M -

UNIT FEE	NO. OF ITEMS	AMOUNT
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A/C, BOILER, COMPRESSOR, OR AIR HANDLER		\$47.00 EA
DUCT REPAIR OR ALTERATION		\$14.00 EA
FIREPLACE APPLIANCE		\$39.00 EA
VENTILATING FAN		\$14.00 EA
HOOD, RESIDENTIAL		\$39.00 EA
HOOD, COMMERCIAL		\$141.00 EA
FLUE OR VENT NOT INCLUDED WITH THE INSTALLATION OF AN APPLIANCE		\$14.00 EA
NEW OR REPAIR OF GAS SYSTEM		\$86.00 EA SYS
ADDITIONAL GAS OUTLET		\$28.00 EA
EVAPORATIVE COOLER		\$39.00 EA

Application for Plumbing Permit

P -

UNIT FEE	NO. OF ITEMS	AMOUNT
EACH PLUMBING FIXTURE OR TRAP OR SET OF FIXTURES ON ONE TRAP		\$14.00 EA
SEWER CLEANOUT AND/OR BACKFLOW DEVICE		\$14.00 EA
DRAINAGE, SEWER SYSTEM		\$47.00 EA SYS
WATER HEATER/WATER SOFTENER		\$39.00 EA
ADDITIONAL GAS OUTLET		\$29.00 EA
NEW OR REPAIR OF GAS PIPING SYSTEM		\$86.00 EA SYS
RESIDENTIAL WATER REPINING		\$141.00 EA
WATER MAIN SYSTEM REPAIR OR REPLACEMENT		\$29.00 EA
RAINWATER SYSTEMS – PER DRAIN (INSIDE BUILDING)		\$14.00 EA
EACH GREASE INTERCEPTOR (750 GALLON CAPACITY)		\$96.00 EA
GREASE TRAP (1-4 FIXTURES)		\$54.00 EA
EJECTOR/SUMP PUMP		\$47.00 EA
SEPTIC SYSTEM ABATEMENT		\$141.00 EA
PRIVATE SWIMMING POOL (INCLUDING HEATER, WATER PIPING, OR GAS PIPING)		\$113.00 EA
PUBLIC SWIMMING POOL (INCLUDING HEATER, WATER PIPING, OR GAS PIPING)		\$170.00 EA
LAWN SPRINKLER SYSTEM ON ONE METER		\$47.00 EA SYS
VACUUM BREAKER/HOSE BIB		\$14.00 EA
RADIANT FLOOR HEATING SYSTEM		\$141.00 EA

Permit Service Fees for EACH Permit

PERMIT ISSUANCE: \$67.00 each permit	
COMPUTER SURCHARGE: 4% OF TOTAL ITEMS MICROFILM: ACTUAL COST PLAN CHECK FEE: 65% OF Electrical, Mechanical & Plumbing Fees	
DUPLICATE JOB CARD: \$30.00 each permit PERMIT EXTENSION (APPLIES TO PERMITS THAT HAVE NOT EXPIRED): \$96.00 each permit	
Revisions/Additions to Electrical, Mechanical, or Plumbing Permits	\$30.00 each permit

Other Fees for EACH Permit

NEW COMMERCIAL BUILDING:	SQ. FT. X	=
NEW RESIDENTIAL BUILDINGS:	SQ. FT. X	=

*Note: The formula above will auto-calculate for you.

If you have questions, please email Building@losgatosca.gov. Please provide the address and/or permit number in your email so we can better assist you.



TOWN OF LOS GATOS

RESIDENTIAL DECK/PORCH/STAIR/GUARDRAIL

SUBMITTAL REQUIREMENTS

In order to process your request for a building permit, **please submit the items listed below and include this completed checklist in your submittal**. We do **not** accept submittals by mail or courier. **A plan check fee will be required after the preapplication process is completed**. If one or more required items are not submitted, the application will be considered incomplete and will not be accepted.

To submit your application, you will need to register for an account on the Town's portal: <https://permits.losgatosca.gov/CitizenAccess/Default.aspx>. The Building pre-application is a preliminary review for the building permit. You will need to upload to the pre-application in separate PDF's:

1. Completed permit application <https://www.losgatosca.gov/DocumentCenter/View/833/Building-Division-Permit-Applications?bidId=>
2. Plan set (PDF pages bookmarked and signed by design professional. Note: This must be ONE (1) PDF.)
3. Supporting documents (i.e., Structural Calculations, etc.) which should be separate uploads.

When do I need a Permit:

- Typically, decks less than 30" above grade accessory to a dwelling do not require a permit. They ARE, however, required to meet land use and zoning requirements.
- Building permits are required for all decks that are over 30" above grade at any point.
- Decks that are 6' or more above grade require engineering.
- All covered decks need a building permit.
- Check with the Planning Division to find your property's required setbacks. Setbacks from property lines vary depending on lot orientation to streets.

Minimum Required Plan Information:

1. General

- ☐ If you were required to go through the Planning process, **the Planning Department Conditions of Approval AND accompanying letter must be permanently affixed (i.e., copied) onto the first sheet.**
- ☐ **A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.**
- ☐ *Blueprint For A Clean Bay* sheet must be the second page (available at the our website www.losgatosca.gov/building).
- ☐ Wet signature on all documents by design professional(s).
- ☐ Name, title, registration number, address, and telephone number of applicable design professional(s) on each sheet.
- ☐ Cover sheet information: Project address; Property Owner's Information; Design Professional's Information; List the 2022 California Building, Electrical, Mechanical, Plumbing, and Fire Codes; sheet index, scope of work, construction type, square footage of deck and/or porch, height of wall(s), lot size, average slope of lot, etc., legend for symbols, abbreviations, and notations used in the drawings.

2. Construction Details (showing the following information):

- ☐ Plot/Site Plan. Location of existing and proposed deck(s)/stairs, and all other structures (i.e., house, detached garage, retaining walls) on the lot. The plot plan should show property line setbacks and North arrow.
- ☐ Site plan shall show all existing and proposed utilities (water service, sewage disposal system, gas, electric, telephone, cable, TV service lines and transformers).
- ☐ Site plan shall show existing trees, including diameter, location, species, existing grade at base and driplines.
- ☐ Provide a tree protection plan with the following tree protection notes:
<https://www.losgatosca.gov/DocumentCenter/View/18923/Arborist-report-checklist>
- ☐ Provide a construction management plan per
www.losgatosca.gov/documentcenter/view/17600
- ☐ Deck Cross-sections that show all sides and include structural details
- ☐ Stair and railing details

3. Structural (if required)

- ☐ Foundation Plan
- ☐ Cross Sections
- ☐ Details and Notes

4. Documentation (if required)

- ☐ Structural calculations. Provide wet signed and stamped calculations.

5. Other documentation that may be necessary, but not required for submittal

- ☐ Special Inspection form, available on our website (www.losgatosca.gov/building) or at the Building Service Counter. It must be **completely filled out and signed by all required parties prior to permit issuance**. A separate form is required for each inspection if performed by separate inspectors.
- ☐ Santa Clara Valley Water District Permit. Required if you are doing construction within 50ft of a natural water course. Contact SCVWD at (408) 630-2650 for more information.

Notes:

- Permits can only be issued to a Property Owner (not a tenant) or a Licensed Contractor.
- No materials or containers (including debris boxes) are allowed to be stored in the public-right-of-way without first obtaining a permit to do so from the Engineering Division of the Public Works Department. Call (408) 399-5771 for requirements and fees.

I have read the above information and have submitted all the required information.

Signature: _____

Date: _____

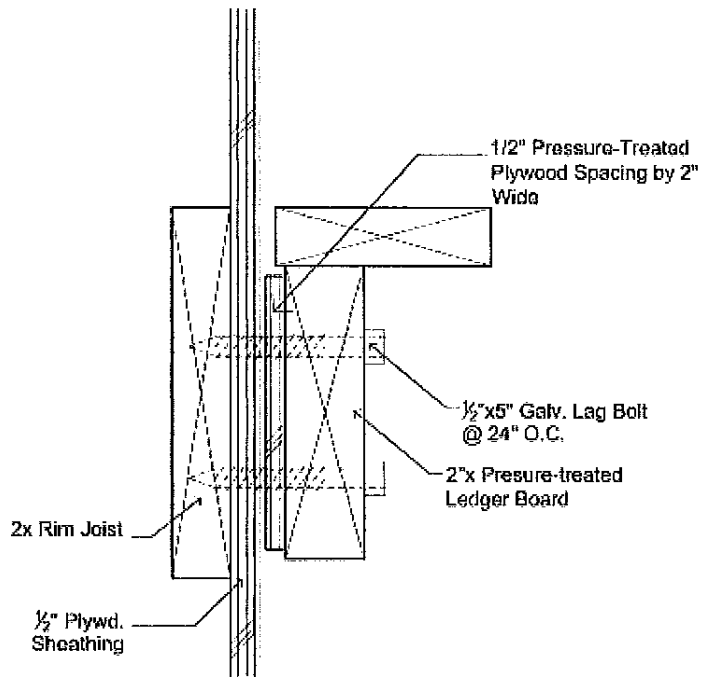


Figure 3: Alternate Connection Detail: 1/2" PT Plywood and 1/2" Drainage Spacers

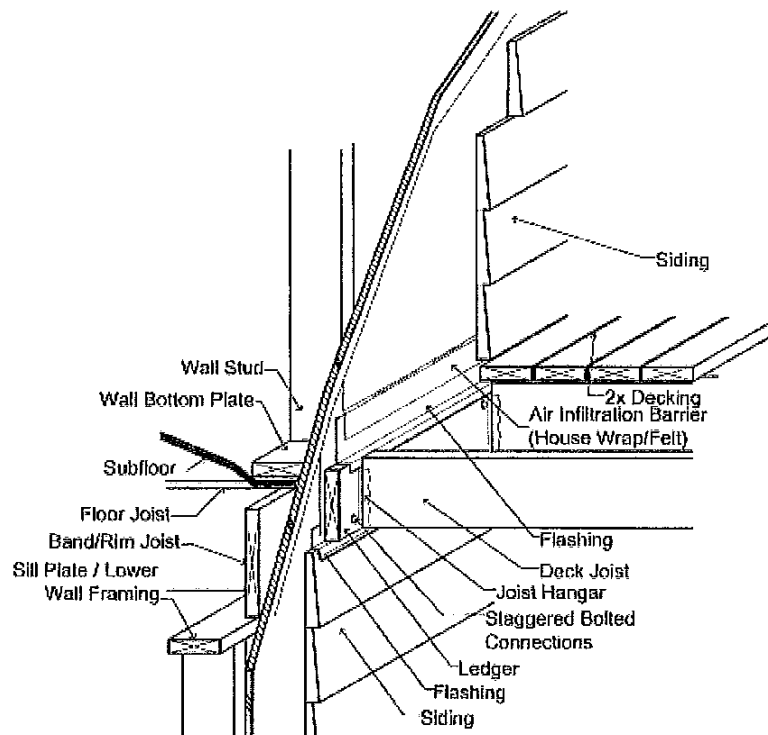


Figure 3: Deck Attachment Isometric

Required **Elevations and Structural Details** (See Figure 3 for structural details and Figure 3.1 for Span Table/Footing Schedule):

- Height of structure from grade;
- Size and depth of footings;
- Method of attachment to the existing structure; and
- Flashing and connection details.

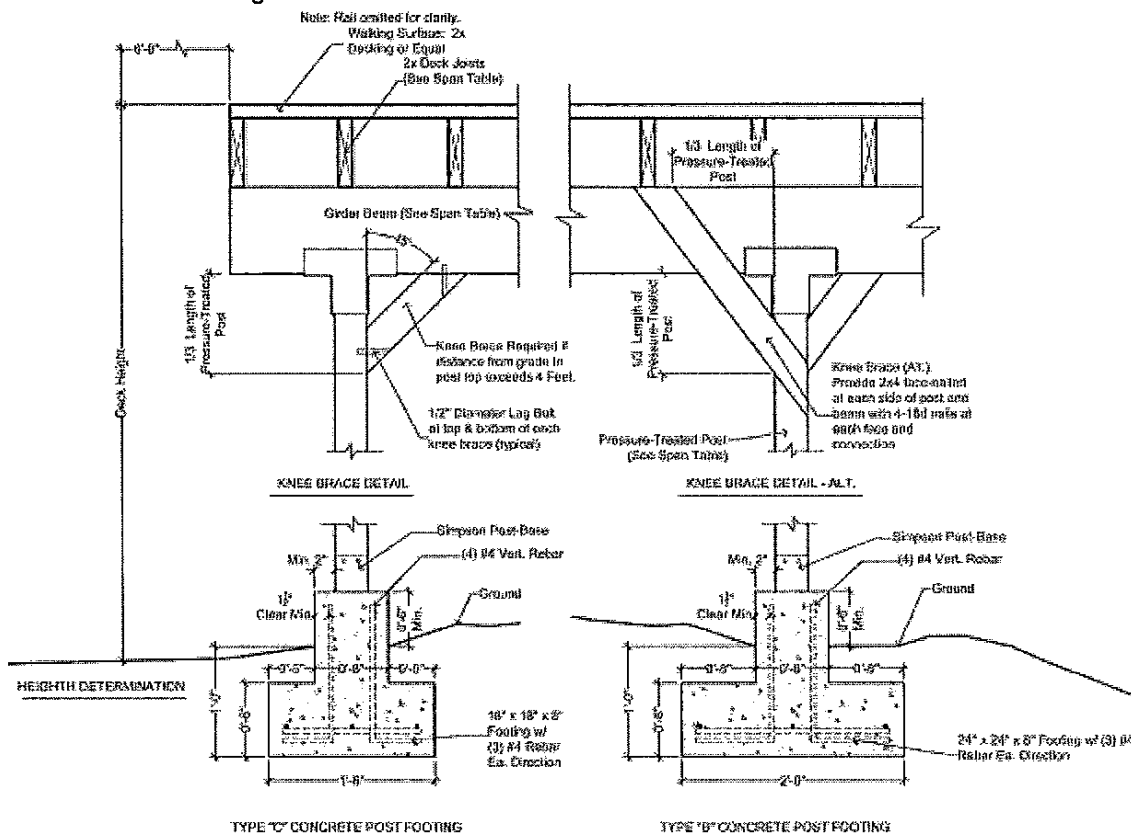


Figure 3: Footing and Knee Brace Details

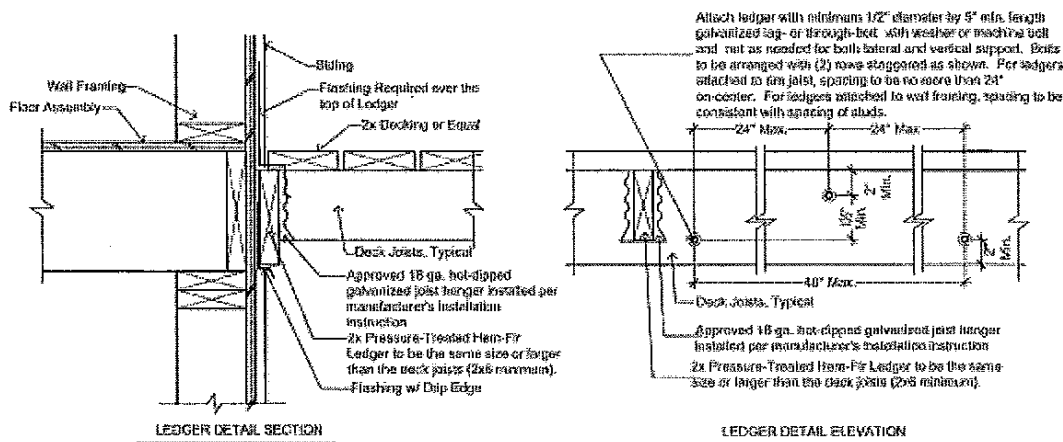


Figure 3: Connection Details

SPAN TABLE / FOOTING SCHEDULE FOR EXTERIOR RESIDENTIAL DECKS

(Figure 3.1)

Spans based on the use of Hem-Fir #2 or better lumber

Loading based on 10# dead load + 40# live load

Beam spans and footings assume a max. 24" overhang

Joist Size	Joist Spacing	Span ft-in.	Girder Beam Spans (maximums between posts and footings, Typ.)					
			4x6	Footing	4x8	Footing	4x10	Footing
2x6	12"	10'-0"	6'	A	8'	B	10'	C
	16"	9'-1"	6'	A	8'	B	10'	C
	24"	7'-11"	7'	A	9'	B	11'	C
2x8	12"	13'-2"	5'	B	6'	B	8'	C
	16"	12'-0"	5'	B	7'	B	9'	C
	24"	10'-2"	6'	B	8'	B	10'	C
2x10	12"	16'-10"	4'	B	5'	B	7'	C
	16"	15'-2"	5'	B	6'	B	8'	C
	24"	12'-5"	5'	B	7'	B	9'	C

FOOTING TYPES Note: All footings shall be a minimum of 12" below grade

Type	Size	Reinforcement	Note
A	12"x12"x18"	None	Pier blocks with positive connections and located 12" below grade may be substituted for type A footings. Not to be used on footings 48" above grade.
B	18"x18"x8"	(3) - #4 Ea. Way	
C	24"x24"x8"	(3) - #4 Ea. Way	



TOWN OF LOS GATOS

Community Development Department • 110 E. Main Street, Los Gatos CA 95030 • 408.354.6872

TREE PROTECTION REQUIREMENTS FOR PLANNING APPLICATIONS

❖ Tree Protection Plan

Any time the canopy of a tree protected by Town Code extends into or near an area of a proposed project, a tree protection plan is required and an arborist report may be required depending on the project scope. A tree protection plan is a plan that shows how to retain and protect trees during construction of a project.

❖ Arborist Report

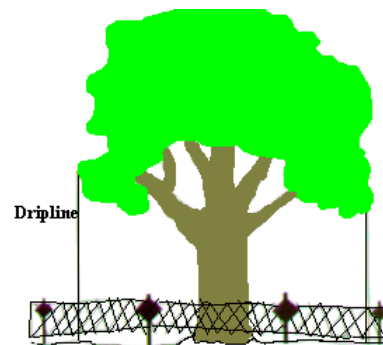
An arborist report includes a professional analysis and tree protection plan recommendations (see Arborist Report Checklist). When an arborist report is required, preparation or peer review by the Town's Consulting Arborist and an arborist deposit account are required to be set up with the Planning Department. Following completion of a project, any funds remaining in the account are refunded.

❖ Protected Trees

- Protected trees related to zoning approvals – most species, when the trunk diameter measured at four and one-half feet above the ground (Diameter at Breast Height or DBH) is four inches or more (includes dead trees and fallen trees).
- Large protected trees – any Oak, California Buckeye, or Pacific Madrone, when the trunk DBH is 24 inches or more
- For additional information on protected trees see Town Code, Division 2. Tree Protection: www.losgatosca.gov/treeprotection

TREE PROTECTION ZONE

The tree protection zone (TPZ) means the area of a temporary fenced tree enclosure at or beyond the tree's dripline or as specified in a report prepared by a certified or consulting arborist. The TPZ is a restricted activity zone before and after construction where no soil disturbance is permitted unless approved and supervised by the certified or consulting arborist.



❖ Tree Removal and Replacement

Permits are required for proposed removals of protected trees as well as for some tree pruning. For additional information see the Parks and Public Works web page: <http://www.losgatosca.gov/2252/Private-Trees>

If trees are requested for removal, the removals will be evaluated according to the Town's tree removal criteria (Town Code 29.10.0992) and findings in the affirmative must be made that the trees qualify for removal and replacement as part of the project. Removed trees are required to be replaced pursuant to the Tree Canopy Replacement Standard prior to final inspection by the Building Division.

Canopy Size of Removed Tree ¹	Replacement Requirement ^{2, 4}	Single Family Residential Replacement Option ^{3, 4}
10 feet or less	Two 24-inch box trees	Two 15-gallon trees
More than 10 feet to 25 feet	Three 24-inch box trees	Three 15-gallon trees
More than 25 feet to 40 feet	Four 24-inch box trees; or Two 36-inch box trees	Four 15-gallon trees
More than 40 feet to 55 feet	Six 24-inch box trees; or Three 36-inch box trees	Not Available
Greater than 55 feet	Ten 24-inch box trees; or Five 36-inch box trees	Not Available

Notes

¹ To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

² Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

³ Single Family Residential Replacement Option is available for developed single family residential lots under ten thousand (10,000) square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All fifteen gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on twenty-four-inch box tree rates as adopted by Town Council.

⁴ Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillside Development Standards and Guidelines Appendix A and section 29.10.0987 Special Provisions—Hillside.

- ☐ Replacement with native species is strongly encouraged. Most fruit and nut trees, palm trees, or "nuisance" species (see section 29.10.0970(2) of the Town Code) are generally not considered suitable replacement trees. If a tree or trees cannot be reasonably replanted on the subject property, the Town Arborist may approve a full or partial in-lieu fee payment. Where the payment of in-lieu fees are approved, permits will not be issued until all in-lieu fees are paid in full. If approved by the Town Arborist, in-lieu fees are as follows:

24 inch box tree = \$250
36 inch box tree = \$500

❖ Tree Protection Plan Checklist

- ☐ Site plan identifying the location, species, Diameter at Breast Height (DBH), and protective fencing at the Tree Protection Zone (TPZ) for each potentially impacted protected tree to remain – including protected trees on adjacent properties with canopies extending into or near the work area.
- ☐ Include the following notes on the plan:

Pruning or root pruning must be supervised by an ISA-certified arborist or an ASCA-Registered Arborist. See Section 29.10.1010 of the Town Code for specifications to determine if a pruning permit is required.

Tree protection fencing requirements:

1. Six-foot high chain link fencing mounted on two-inch diameter galvanized iron posts shall be driven into the ground at least two-feet deep at no more than ten-foot spacing. When stipulated, for existing paving areas that will not be demolished, posts may be supported by concrete base.
2. Posted eight and one-half-inch by eleven-inch sign on each tree fence stating: “Warning – Tree Protection Zone – This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025”
3. Labeled photographs of the installed fencing shall be emailed to the project planner prior to issuance of permits.
4. Tree protection fencing is required to remain in place throughout construction.

Any protected tree on-site will require replacement according to its appraised value if it is damaged beyond repair as a result of construction.

❖ Arborist Report Checklist

- ☐ Date of report, address of project, property owner, arborist contact information.
- ☐ List of plans reviewed and date of plans.
- ☐ Brief description of work.
- ☐ Name of the designated Project Arborist for the job. Arborist must be an ISA-Certified Arborist or an ASCA-Registered Consulting Arborist.
- ☐ Note that the report is to be copied onto a plan sheet and become part of the final plan set.
- ☐ Note that the owner, contractor, and architect are all responsible for knowing the information included in the arborist report and adhering to the conditions provided.
- ☐ Tree Protection Plan as stated above.
- ☐ Inventory identifying the tree tag number, species, Diameter at Breast Height (DBH), condition ratings, and protection and maintenance recommendations for all protected trees potentially impacted – including protected trees on adjacent properties with canopies extending into or near the work area.
- ☐ Identify all study trees by tree tag number on a proposed plan sheet (e.g. grading and drainage sheet, etc.). Include a scale bar and a True North arrow on the tree map. Where possible, indicate the approximate scaled tree canopy “dripline” dimensions.

- ☐ Evaluation of potential impacts to all protected trees from proposed demolition or construction, including grading and/or excavation related to any proposed new utility installations, structural foundations, driveway and walkway base sections, storm drains, area drains, drainage swales, downspout drains, French drains, retaining walls, irrigation piping, and etc.
- ☐ Provide appraised values for all protected trees on-site recommended for protection and findings for any protected trees recommended for removal. Dollar value appraisal of each tree to be protected shall be conducted be per industry standards.