

# MR. & MRS. MICHAEL HASHEMIAN

## CUSTOM HOUSE

### ADDRESS: 15343 SANTELLA CT.

### LOS GATOS, CA 95032

### APN : 527-09-034



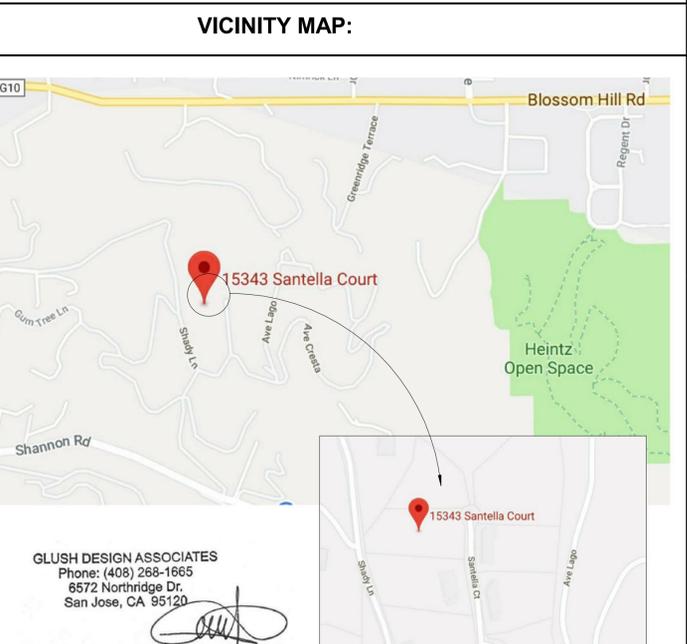
**PRIOR TO FOUNDATION INSPECTION BY THE CITY THE "LLS" OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER APPROVED PLANS.**

**DISPOSITION AND TREATMENT OF STORMWATER WILL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STANDARDS AND IMPLEMENTATION STANDARDS ESTABLISHED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM.**

- SITE MANAGEMENT:**
- CONSTRUCTION SITE SHALL BE ENCLOSED BY 6'-0" OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
  - NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
  - A TRASH CONTAINER SHALL BE MAINTAINED ON THE SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
  - ALL CONSTRUCTION DEBRIS (WOOD SCRAPES AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
  - THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6:00 PM, SATURDAY FROM 9:00 AM TO 5:00 PM.

**NOTES:**

- 4.410.1 Operations and Maintenance Manual
- At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
  - Operation and maintenance instructions for the following:
    - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
    - Roof and yard drainage, including gutters and downspouts.
    - Space conditioning systems, including condensers and air filters.
    - Landscape irrigation systems.
    - Water reuse systems.
  - Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
  - Public transportation and/or carpool options available in the area.
  - Educational material on the positive impacts of an interior relative humidity between 30-50 percent and what methods an occupant may use to maintain the relative humidity level in that range.
  - Information about water-conserving landscape and irrigation design and controllers which conserve water.
  - Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
  - Information on required routine maintenance measures, including but not limited to, caulking, painting, grading around the building, etc.
  - Information about state solar energy and incentive programs available.
  - A copy of all special inspection verifications required by the enforcing agency or this code.
  - Special inspections: structural observation of shear walls.
- 1- DUCT SYSTEMS SHALL BE SIZED, DESIGNED AND EQUIPMENT IS SELECTED PER SECTION 4507.2. HVAC SYSTEM INSTALLER MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.



**SCOPE OF WORK:**

**BUILDING NEW TWO STORY RESIDENTIAL CUSTOM HOUSE.**

**PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER CRC CALIFORNIA RESIDENTIAL CODE SECTION R313 , R313.2 INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT.**

DEFERRAL OF ANY SUBMITTAL ITEMS (SUCH AS TRUSSES, FIRE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING, ETC.) SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL.

- FOR THIS PROJECT THERE IS ONLY FIRE SPRINKLER AS A DEFERRED ITEM.  
- DEFERRED ITEMS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN RESPONSIBLE CHANGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING WITHOUT ANY CORRECTIONS.  
- THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTILL THE BUILDING OFFICIAL HAS APPROVED THEIR DESIGN AND SUBMITTAL DOCUMENTS.

**CONSULTANTS:**

**DESIGNER:** GLUSH DESIGN  
6572 NORTHBRIDGE DRIVE, SAN JOSE, CA 95120  
PH: (408) 268-1665

**CIVIL ENGINEER:** SMP ENGINEERS  
1534 CAROB LANE, LOS ALTOS, CA 94024  
PH: (650) 941-8055

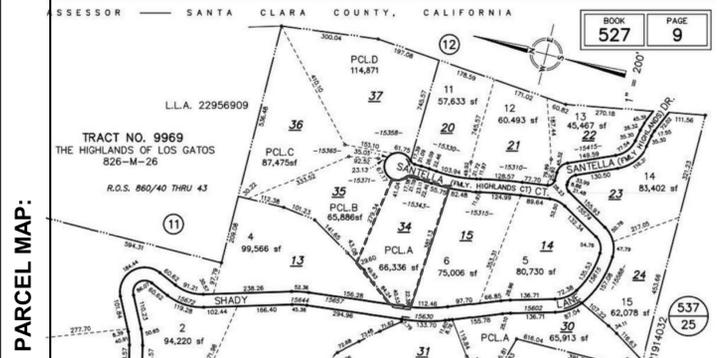
**STRUCTURAL ENGINEER:**

**ABBREVIATIONS:**

RWL. RAIN WATER LEADER	I.O.S. INSIDE FACE OF STUD
DS. DOWNSPOT	O.C. ON CENTER
S/GD. SINK WITH GARBAGE DISPOSAL	CL. CENTER LINE
SH. ENC. SHOWER ENCLOSURE	PL. PLATE LINE
T.C. TIME CLOCK	P.T. PRESSURE TREATED
UON. UNLESS OTHERWISE NOTED	FL. FLOOR
TYP. TYPICAL	F.F.E. FLOOR FINISH ELEVATION
VGDF. VERTICAL GRAIN DOUGLASS FIR	FF. FINISH FLOOR
WMP. WATERPROOF MEMBRANE	PR. PAIR
WD. WOOD	R/A. RETURN AIR
WDW. WINDOW	REFR. REFRIGERATOR
RM. ROOM	R/O. RANGE OVEN
W.W.F. WOVEN WIRE FABRIC	MICR. MICROWAVE
GYP. BD. GYPSUM BOARD	EX. EXISTING
CEM. PL. CEMENT PLASTER	CLG. CEILING
H.B. HOSE BIB	BLDG. BUILDING
M/C. MEDICAL CABINET	DWG. DRAWING
MTL. METAL	JST. JOIST
GLV. GALVANIZED	BM. BEAM
GSM. GALVANIZED SHEET METAL	HDR. HEADER
N.I.C. NOT IN CONTRACT	INSUL. INSULATION
W.I.C. WALK-IN CLOSET	BOTT. BOTTOM
O.F.S. OUT SIDE FACE OF STUD	PNL. PANEL
	CONC. CONCRETE

**SETBACK TABLE:**

SETBACKS	REQUIRED	PROPOSED
FRONT:	20'-0"	39'- 8"
LEFT SIDE:	20'-0"	35'-10"
RIGHT SIDE:	20'-0"	45'- 7"
REAR:	30'-0"	253'- 6"



**DRAWING LIST:**

Sheet Number	Sheet Name
A0	COVER SHEET
A1	SITE PLAN 1/16 SC
A1.1	SITE PLAN 1/8 SC
A1.2	SITE PLAN WITH NEIGHBOR
A2	BASEMENT FLOOR PLAN
A3	FIRST FLOOR PLAN
A4	ROOF PLAN
A5	ELEVATIONS (FRONT & REAR)
A6	ELEVATIONS (LEFT & RIGHT)
A7	CROSS SECTIONS
A8	AREA CALCULATION SCHEMATIC
A9	LOT AREA COVERAGE
A10	SHADOW ANALYSIS
A11	STREET SCAPE
A12	3D VIEWS
C1	COVER SHEET / NOTES
C2	GRADING AND DRAINAGE PLAN
C3	SUBDRAIN AND UTILITY PLAN
C4	DETAILS
C5	NOTES
C6	EROSION CONTROL PLAN
T1	TOPO SURVEY

**IMPERVIOUS COVERAGE TABLE:**

LOT AREA COVERAGE (BUILDING FOOTPRINTS)	SQUARE FOOTAGE	% OF NET LOT SIZE
FOOTPRINT OF HOME / GARAGE:	4,126 SF	% 6.21
DRIVEWAY / WALKWAYS :	2,122 SF	% 3.19
DECKS / PATIO: ACCESSORY STRUCTURES:	1,947 SF	% 2.93
OTHERS: (PLANTERS, AC PAD)	483 SF	% 0.72
<b>TOTAL:</b>	<b>8,678 SF</b>	<b>% 13.05</b>

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**FLOOR AREA TABLE:**

FLOOR AREA TWO STORY	EXISTING TO BE DEMOLISHED SQ. FT.	PROPOSED SQ. FT.	TOTAL SQ. FT.
FIRST FLOOR	-----	3,444	3,444
BASEMENT FLOOR	-----	2,286	2,286
ENCLOSED PORCH (FRONT ENTRY)	-----	23	23
GARAGE AREA	-----	659	659
ACCESSORY / SHED	-----	-----	-----
SECONDARY UNIT	-----	-----	-----
<b>TOTAL</b>	<b>-----</b>	<b>6,412</b>	<b>6,412</b>

**GROSS LOT SIZE: 1.52 AC - 66,336 SQ.FT**  
**NET LOT SIZE:**  
**ALLOWABLE : 6,000 SQF PLUS 400 SQ. FT. = 6,400 SQ. FT.**  
**SECONDARY UNIT = %**  
**TOTAL ALLOWABLE AREA = SQ. FT.**  
**FLOOR AREA RATIO (FAR): %**  
**PARKING SPACES: THREE COVERED (ENCLOSED)**  
**ZONING : R1 12,500 ZONING DISTRICT**  
**TYPE OF CONSTRUCTION: V-B**  
**OCCUPANCY GROUP: R**  
**NO. OF STORIES: TWO STORY**  
**APPLICABLE CODES: 2016 CRC ,2016 CBC, 2016 CMC, 2016 CPC, 2016 CEC, 2016 CALIFORNIA FIRE CODE. AND 2016 CAL GREEN CODE.**  
**NUMBER OF TREES TO BE REMOVED: 4**  
**AVERAGE SLOPE OF ENTIRE SITE: %**

**HEIGHT INFO:**

**ALLOWABLE BUILDING HEIGHT : 35' - 0"**  
**MAX BUILDING HEIGHT: 30' - 0"**

No.	Description	Date

**GLUSH DESIGN**

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6572 NORTHBRIDGE DR. SAN JOSE, CA 95120  
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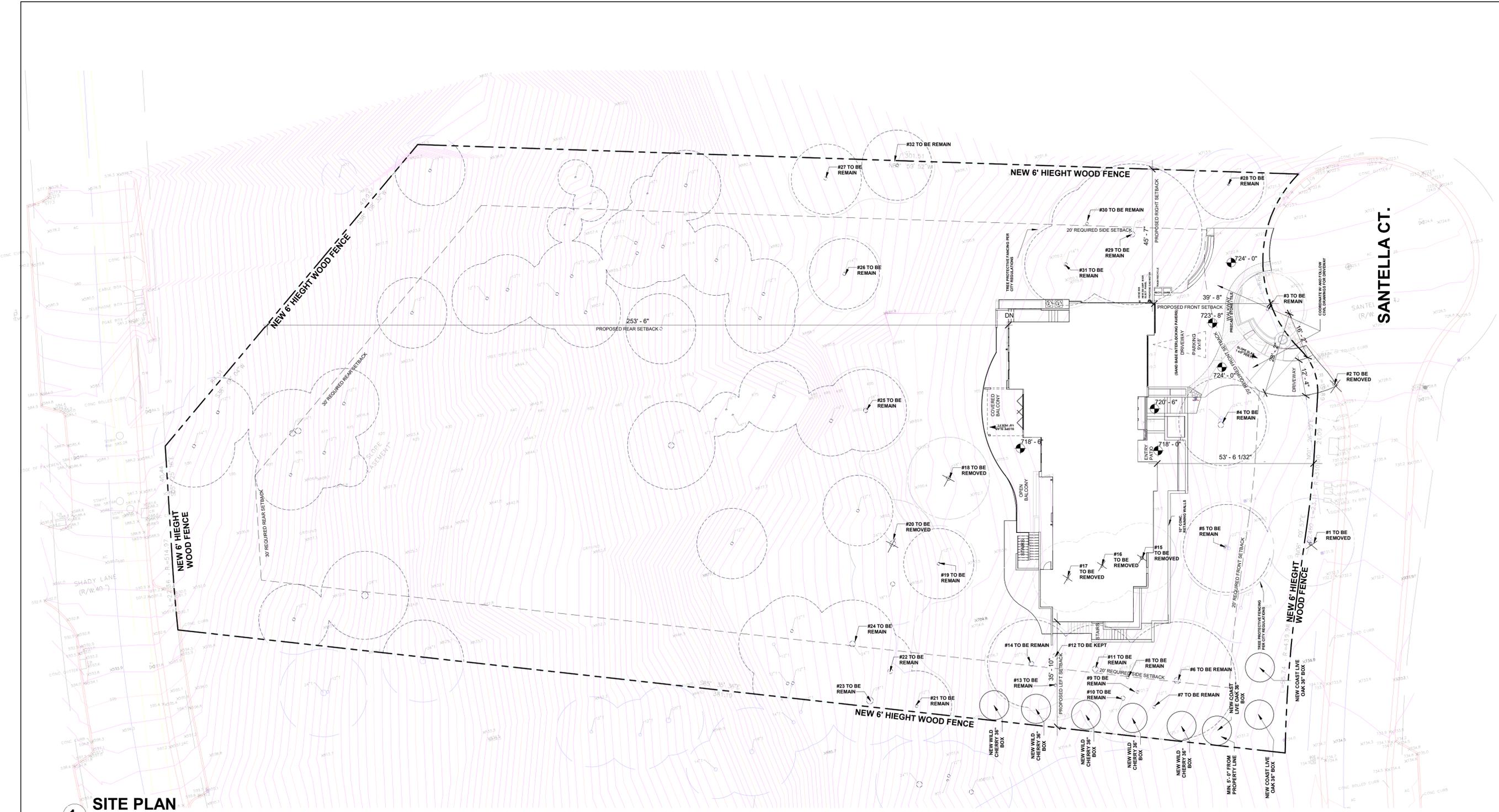
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**LOS GATOS, CA 95032 - 4859**

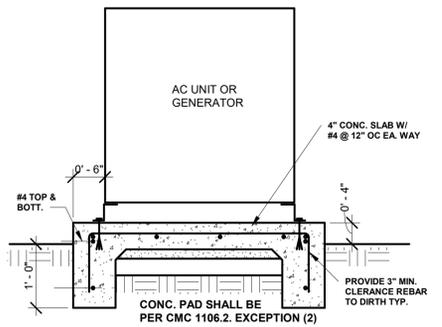
Project #Project Number  
Date Issue Date  
Drawn by Author  
Checked by Checker

**A0**

Scale



**1** SITE PLAN  
1/16" = 1'-0"



**2** AC CONCRETE PAD  
3/4" = 1'-0"

1. FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. EXCEPTION: A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY CUPMC.
2. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33
3. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7
4. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1 THIS REVIEW SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THE CALIFORNIA FIRE CODE OR OF OTHER LAWS OR REGULATIONS OF THE JURISDICTION.



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San Jose, CA 95120

*[Signature]*

No.	Description	Date

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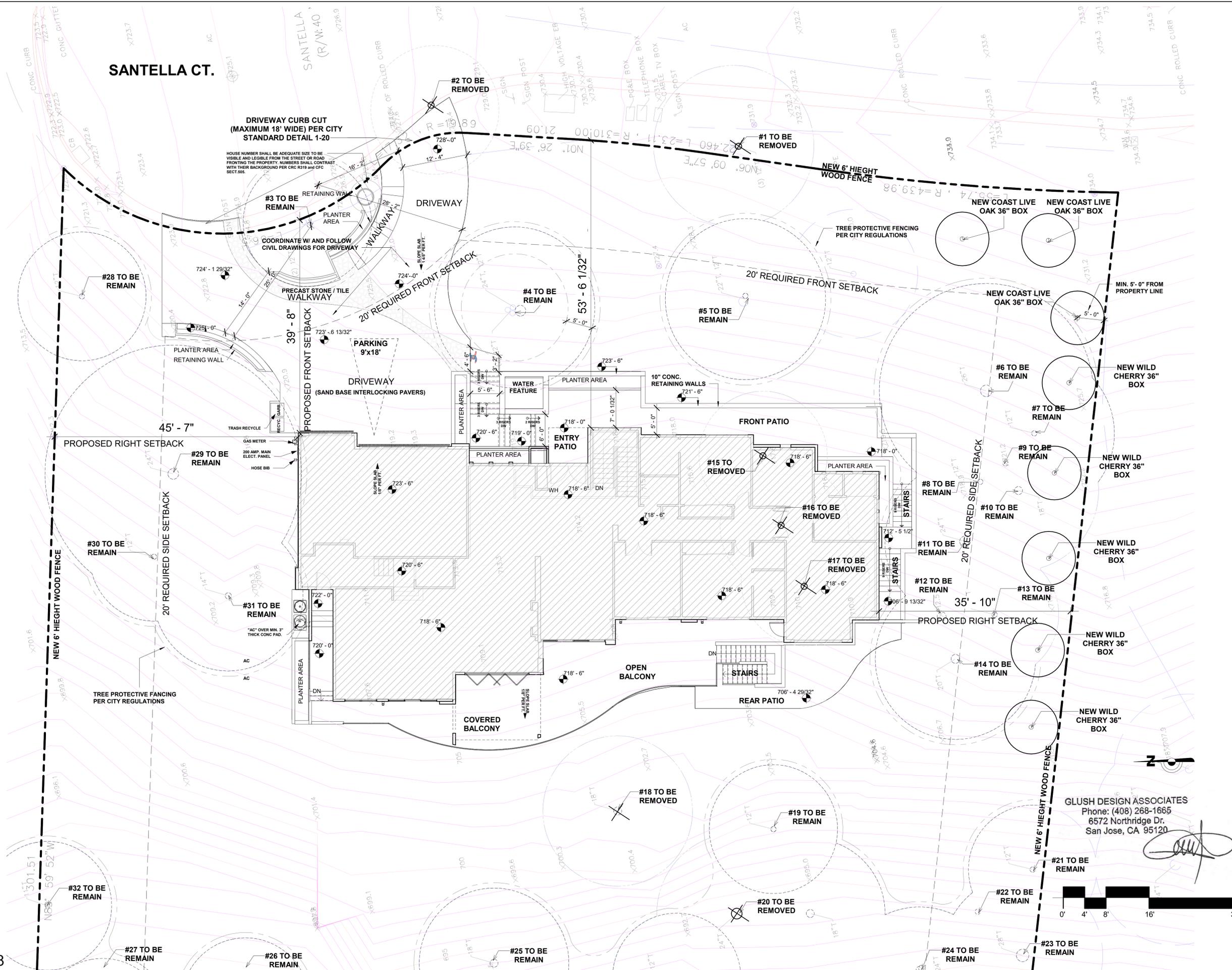


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**LOS GATOS, CA 95032 - 4859**

Project #	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
<b>A1</b>	
Scale	As indicated

**SANTELLA CT.**



**DRIVEWAY CURB CUT  
(MAXIMUM 18' WIDE) PER CITY  
STANDARD DETAIL 1-20**

HOUSE NUMBER SHALL BE ADEQUATE SIZE TO BE  
VISIBLE AND LEGIBLE FROM THE STREET OR ROAD  
FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST  
WITH THEIR BACKGROUND PER CRC R319 and CFC  
SECT 906.

**#3 TO BE  
REMAIN**

COORDINATE W/ AND FOLLOW  
CIVIL DRAWINGS FOR DRIVEWAY

**#28 TO BE  
REMAIN**

**39' - 8"**

**PROPOSED FRONT SETBACK**

**45' - 7"**

**PROPOSED RIGHT SETBACK**

**#29 TO BE  
REMAIN**

**20' REQUIRED SIDE SETBACK**

**#30 TO BE  
REMAIN**

**20' REQUIRED SIDE SETBACK**

**#31 TO BE  
REMAIN**

**AC OVER MIN. 3"  
THICK CONC PAD.**

**AC**

**AC**

**AC**

**TREE PROTECTIVE FENCING  
PER CITY REGULATIONS**

**PLANTER AREA**

**DN**

**720' - 0"**

**722' - 0"**

**720' - 0"**

**722' - 0"**

**720' - 0"**

**722' - 0"**

**720' - 0"**

**722' - 0"**

**#3 TO BE  
REMAIN**

RETAINING WALL

**DRIVEWAY**

**WALKWAY**

**20' REQUIRED FRONT SETBACK**

**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

**DRIVEWAY  
(SAND BASE INTERLOCKING PAVERS)**

**PLANTER AREA**

**#2 TO BE  
REMOVED**

**DRIVEWAY**

**WALKWAY**

**20' REQUIRED FRONT SETBACK**

**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

**DRIVEWAY  
(SAND BASE INTERLOCKING PAVERS)**

**PLANTER AREA**

**#5 TO BE  
REMAIN**

**20' REQUIRED FRONT SETBACK**

**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

**DRIVEWAY  
(SAND BASE INTERLOCKING PAVERS)**

**PLANTER AREA**

**#1 TO BE  
REMOVED**

**NEW 6' HIGHT  
WOOD FENCE**

**20' REQUIRED FRONT SETBACK**

**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

**DRIVEWAY  
(SAND BASE INTERLOCKING PAVERS)**

**PLANTER AREA**

**NEW COAST LIVE  
OAK 36" BOX**

**NEW COAST LIVE  
OAK 36" BOX**

**20' REQUIRED FRONT SETBACK**

**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

**DRIVEWAY  
(SAND BASE INTERLOCKING PAVERS)**

**PLANTER AREA**

**NEW COAST LIVE  
OAK 36" BOX**

**NEW COAST LIVE  
OAK 36" BOX**

**20' REQUIRED FRONT SETBACK**

**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

**DRIVEWAY  
(SAND BASE INTERLOCKING PAVERS)**

**PLANTER AREA**

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**NEW COAST LIVE  
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**53' - 6 1/32"**

**#4 TO BE  
REMAIN**

**PLANTER AREA**

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**#4 TO BE  
REMAIN**

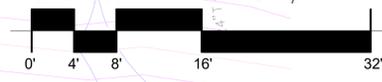
**PLANTER AREA**

**DRIVEWAY  
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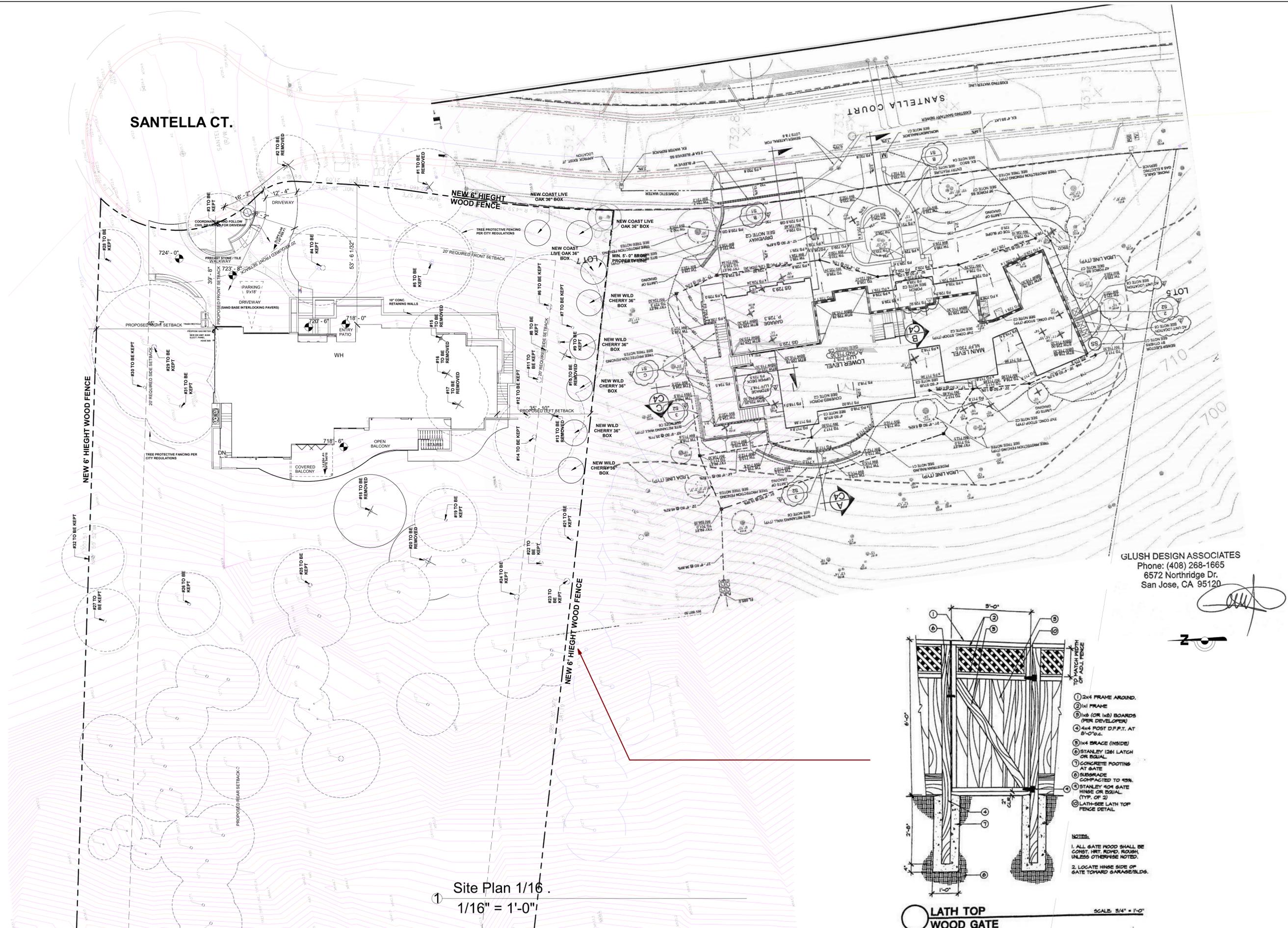
**PLANTER AREA**

**Site Plan 1/8**  
**1/8" = 1'-0"**

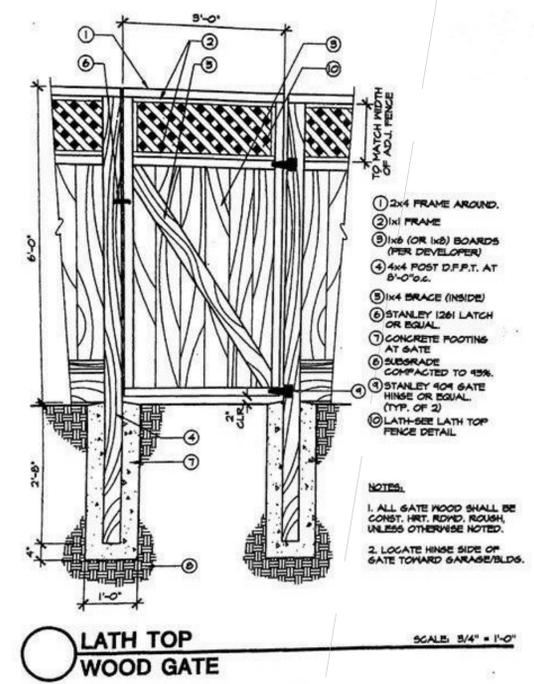
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No.	Description	Date



Site Plan 1/16  
 1/16" = 1'-0"



- ① 2x4 FRAME AROUND.
- ② 1x4 FRAME
- ③ 1x6 (OR 1x8) BOARDS (PER DEVELOPER)
- ④ 4x4 POST D.F.P.T. AT 8'-0" O.C.
- ⑤ 1x4 BRACE (INSIDE)
- ⑥ STANLEY 1261 LATCH OR EQUAL.
- ⑦ CONCRETE FOOTING AT GATE
- ⑧ SUBGRADE COMPACTED TO 95%.
- ⑨ STANLEY 904 GATE HINGE OR EQUAL. (TYP. OF 2)
- ⑩ LATH-SEE LATH TOP FENCE DETAIL.

NOTES:  
 1. ALL GATE WOOD SHALL BE CONST. HRT. RND. ROUGH, UNLESS OTHERWISE NOTED.  
 2. LOCATE HINGE SIDE OF GATE TOWARD GARAGE/BLDG.

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**SITE PLAN WITH NEIGHBOR**

**MR. & MRS. MICHAEL HASHEMIAN**  
 15343 SANTELLA CT  
 LOS GATOS, CA 95032 - 4859

Project # Project Number  
 Date Issue Date  
 Drawn by Author  
 Checked by Checker  
**A1.2**  
 Scale 1/16" = 1'-0"

**GREEN BUILDING NOTES:**  
 1- ANY CHANGES IN THE FIELD THAT IMPACT GREEN FEATURES SHALL HAVE BE REVIEWED BY GREEN RATER TO ENSURE THAT CERTIFICATION AND POINT REQUIREMENT WILL STILL BE MET. FINAL CERTIFICATION SHALL BE BASED ON EQUIVALENT AS-BUILT POINTS ACHIEVED AND THEY ARE NOT NECESSARILY AS THOSE ORIGINALLY CHOSEN IN THE PERMITTED BUILDING PLAN SETS.

**NOTE FOR HEATING:** ALL HABITABLE SPACES OF THIS BUILDING SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 F. DEG. MINIMUM AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. THE INSTALLATION OF PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE. (CRC 2013 SECT. R303.9 CRC) .

**NOTE:** ALL MECHANICAL, PLUMBING, ELECTRICAL AND SIMILAR PENETRATIONS OF THE FLOOR OR TOP PLATES SHALL BE CAULKED WITH RESIDENTIAL RATED CAULK WITH AN ASTM E136 OR E814 THRU OUT BUILDINGS TYPICAL.

**NOTE FOR INSULATIONS:** AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER , IN A CONSPICUOUS LOCATION IN THE BUILDING STATING THAT THE INSTALLATION CONFORMS TO THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.

**NOTE FOR PLUMBING:**  
 1-NO STANDPIPE RECEPTOR FOR ANY CLOTHES WASHER SHALL EXTEND MORE THAN 30 INCHES , OR NOT LESS THAN 18 INCHES ABOVE IT'S TRAP. NO TRAP FOR ANY CLOTHES WASHER STANDPIPE RECEPTOR SHALL BE INSTALLED BELOW THE FLOOR, BUT SHALL BE ROUGHED IN NOT LESS THAN 6 INCHES AND NOT MORE THAN 18 INCHES ABOVE THE FLOOR.  
 2- COPPER, COPPER ALLOYS, LEAD AND LEAD ALLOYS INCLUDING BRASS, SHALL NOT BE USED FOR SANITARY SEWER SYSTEMS EXCEPT FOR DOMESTIC WASTE SINK TRAPS AND SHORT LENGTH OF ASSOCIATED CONNECTING PIPES WHERE ALTERNATE MATERIALS ARE NOT PRACTICAL.

**NOTE:** FIRE BLOCKING SHALL BE INSTALLED AT OPENINGS AROUND CHIMNEYS AND FIRE PLACES AT CEILING LEVEL PER CRC 2013 SECTION R1003.19 AND R1001.12 . FACTORY BUILT CHIMNEYS AND FIRE PLACES SHALL BE IN ACCORDANCE WITH UL 103 AND UL 127

**NOTE FOR CABINERY:** UPPER CABINETS SHALL BE MIN. OF 30 INCHES ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP/MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER CMC 916.1 (B).

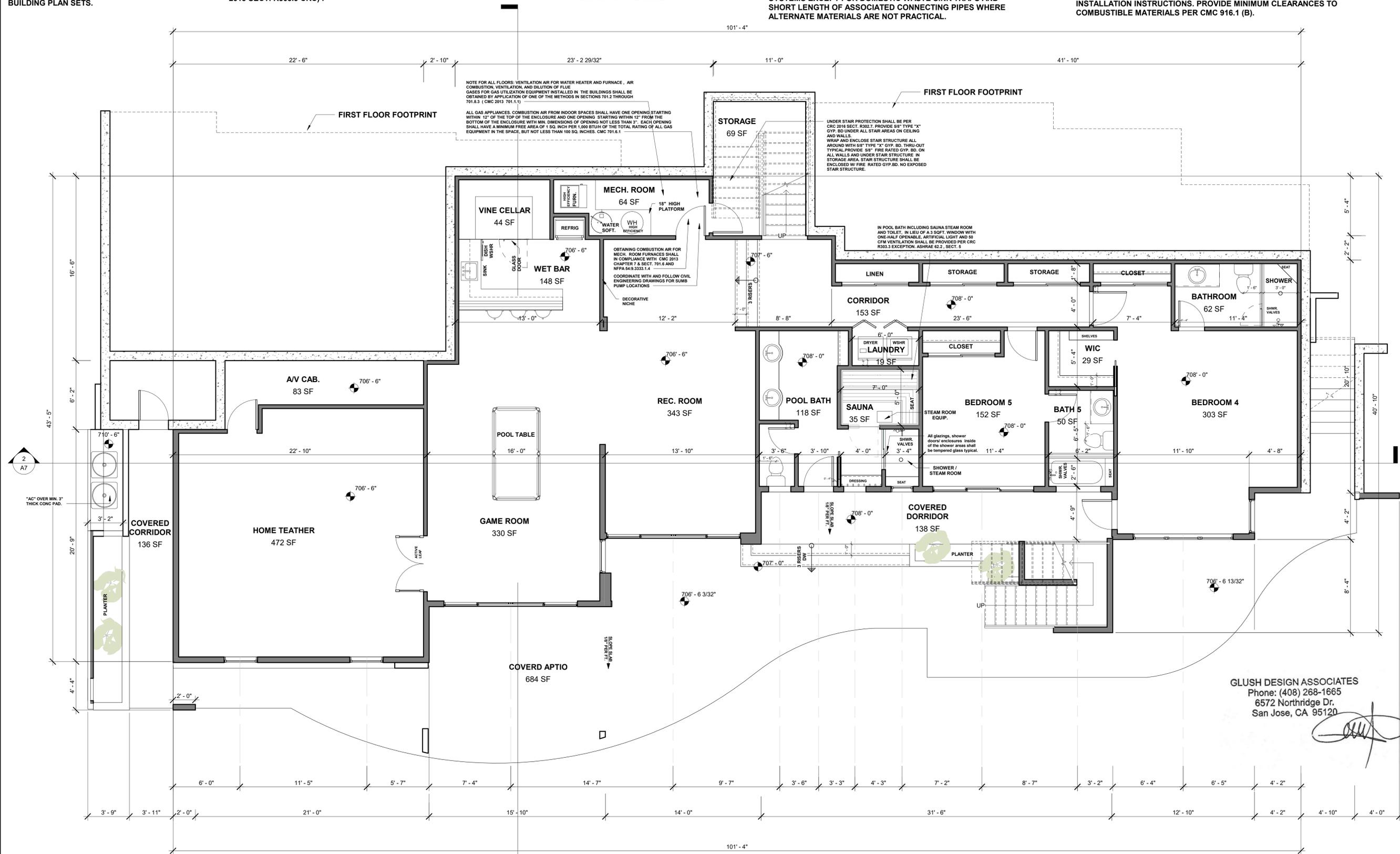
**NOTE FOR ALL FLOORS:** VENTILATION AIR FOR WATER HEATER AND FURNACE , AIR COMBUSTION, VENTILATION, AND DILUTION OF FLUE GASES FOR GAS UTILIZATION EQUIPMENT INSTALLED IN THE BUILDING SHALL BE OBTAINED BY APPLICATION OF ONE OF THE METHODS IN SECTIONS 701.2 THROUGH 701.8.3 ( CMC 2013 701.1.1)  
 ALL GAS APPLIANCES, COMBUSTION AIR FROM INDOOR SPACES SHALL HAVE ONE OPENING STARTING WITHIN 12" OF THE TOP OF THE ENCLOSURE AND ONE OPENING STARTING WITHIN 12" FROM THE BOTTOM OF THE ENCLOSURE WITH MIN. DIMENSIONS OF OPENING NOT LESS THAN 3". EACH OPENING SHALL HAVE A MINIMUM FREE AREA OF 1 SQ. INCH PER 1,000 BTUH OF THE TOTAL RATING OF ALL GAS EQUIPMENT IN THE SPACE, BUT NOT LESS THAN 100 SQ. INCHES. CMC 701.6.1

UNDER STAIR PROTECTION SHALL BE PER CRC 2016 SECT. R302.7. PROVIDE 5/8" TYPE "X" GYP. BD UNDER ALL STAIR AREAS ON CEILING AND WALLS.  
 WRAP AND ENCLOSE STAIR STRUCTURE ALL AROUND WITH 5/8" TYPE "X" GYP. BD. THRU-OUT TYPICAL PROVIDE 5/8" FIRE RATED GYP. BD ON ALL WALLS AND UNDER STAIR STRUCTURE IN STORAGE AREA STAIR STRUCTURE SHALL BE ENCLOSED W/ FIRE RATED GYP.BD. NO EXPOSED STAIR STRUCTURE.

IN POOL BATH INCLUDING SAUNA STEAM ROOM AND TOILET, IN LIEU OF A 3 SQFT. WINDOW WITH ONE HALF OPENABLE, ARTIFICIAL LIGHT AND 50 CFM VENTILATION SHALL BE PROVIDED PER CRC R303.3 EXCEPTION, ASHRAE 62.2, SECT. 5

OBTAINING COMBUSTION AIR FOR MECH. ROOM FURNACES SHALL IN COMPLIANCE WITH CMC 2013 CHAPTER 7 & SECT. 701.6 AND NFPA 54-333.1.4  
 COORDINATE WITH AND FOLLOW CIVIL ENGINEERING DRAWINGS FOR SUMP PUMP LOCATIONS  
 DECORATIVE NICHE

All glazings, shower doors/ enclosures inside of the shower areas shall be tempered glass typical.



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 6572 Northridge Dr.  
 San Jose, CA 95120

*[Handwritten Signature]*

No	Description	Date

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**MR. & MRS. MICHAEL HASHEMIAN**  
 15343 SANTELLA CT  
 LOS GATOS, CA 95032 - 4859

Project Number	
Date	Issue Date
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**A2**  
 Scale 1/4" = 1'-0"

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**BASEMENT FLOOR**  
 1/4" = 1'-0"

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**NOTE FOR DRYER DISCHARGE EXHAUSTING:**  
 MANY DRYERS ARE NOT DESIGNED FOR VERTICAL DISCHARGE OF LINT. DRYER IN BASEMENT SHALL BE DESIGNED AND CAPABLE OF VERTICAL DISCHARGE OF LINT. OTHERWISE BOOSTER PUMP SHALL BE DESIGNED BY MECH. ENGINEER OR CONTRACTOR IS TO PROVIDE DOCUMENTATION (AS A DEFERRED APPROVAL ITEM) (Including lint deposit and removal box) DURING THE CONSTRUCTION TO SHOW AND DEMONSTRATE THAT SPECIFIC CHOSEN DRYER AND DRYER BOOSTER SHOWN HERE WILL BE COMPATIBLE TO PERFORM PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS AND OBTAIN APPROVAL FROM BLDG. DEPT. CONTRACTOR IS TO OBTAIN SUCH APPROVAL FROM THE CITY BLDG. DEPT. PRIOR TO COMMENCEMENT OF WORK.

**NOTE: ALL EXTERIOR PATIO AND PORCH AND PATIO SLABS ARE SLOPED AWAY FROM THE BUILDING. [CRC §R401.3]**

**NOTE: MINIMUM EXHAUST RATE OF 50 CUBIC FEET PER MINUTE FOR THE BATHROOM EXHAUST FANS. [CMC TABLE 403.7]**

**NOTE: ALL HOSE BIBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS EXCEPT CLOTHES WASHER CONNECTION.**

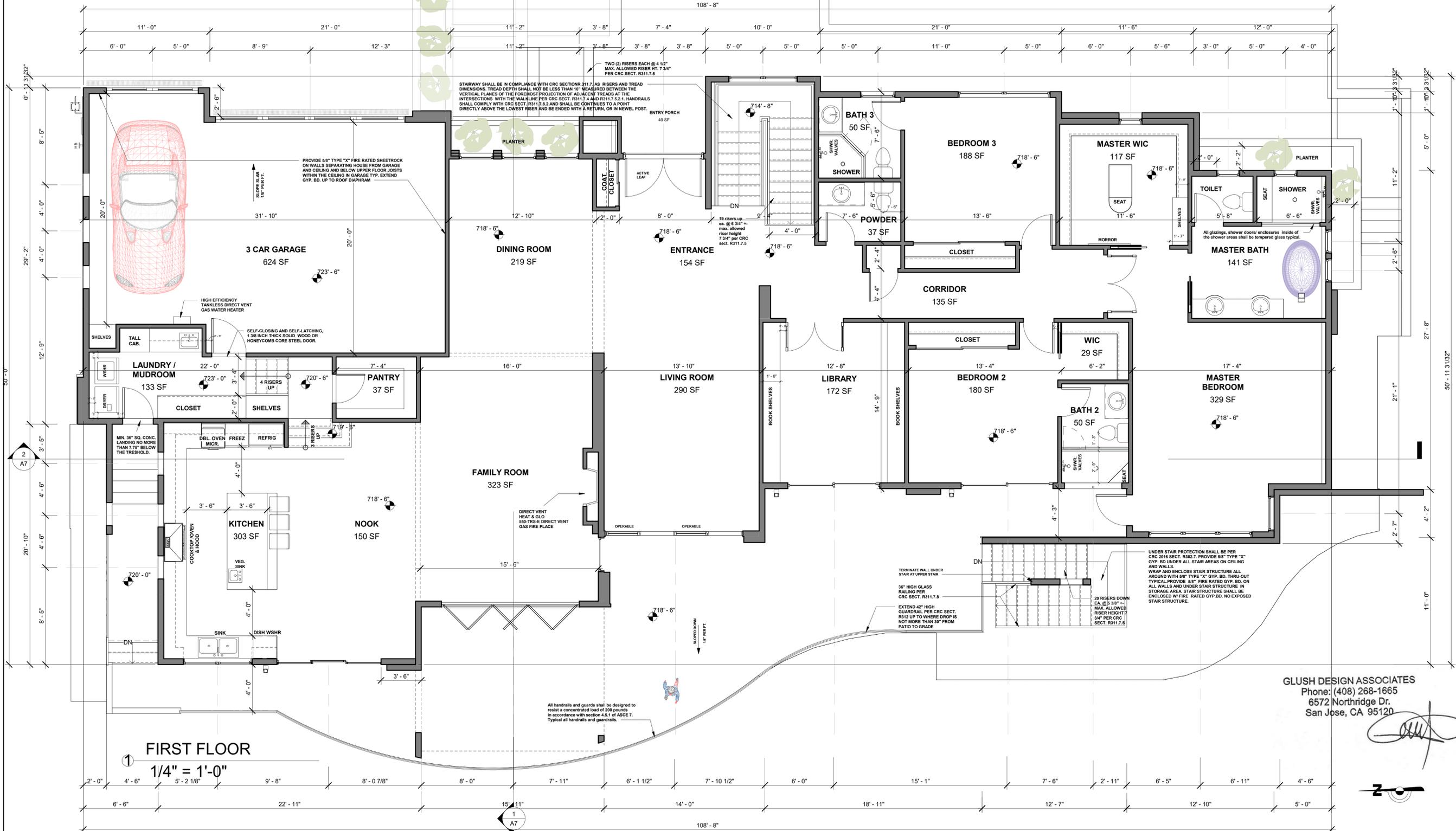
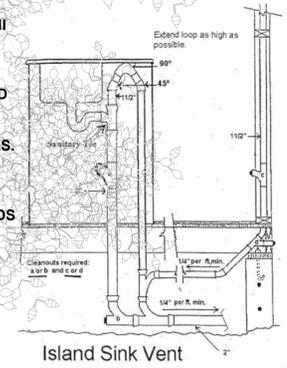
**NOTE FOR BATHROOMS:**  
 SHOWER AND TUB/SHOWER WALLS SHALL BE SMOOTH HARD, NONABSORBENT SURFACE (e.g CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (e.g., CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72" MIN. ABOVE THE DRAIN INLET. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.

- 1-Postconsumer or preconsumer recycled content value (RCV) materials are used on the project. Tier 1: Not less than a 10-percent recycled content value.
- 2- Reduce construction waste by at least 65%. Documentation shall be submitted to the enforcing agency demonstrating compliance.
- 3- Cement use in foundation mix design is reduced. Tier 1: Not less than 20 percent reduction in cement use.

**WINDER TREADS SHALL HAVE A MINIMUM DEPTH OF 10" MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTION WITH THE WALKLINE PER CRC R311.7.5.2.1.**  
**WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF STAIR. THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST WINDER TREAD DEPTH BY MORE THAN 3/8" (CRC R311.7.5.2.1)**

**PLUMBING FLOW RATE NOTE FOR ALL FLOORS:**  
 WATER CLOSETS SHALL BE 1.28 GPF OR LESS. SHOWER HEADS SHALL BE DESIGNED AND INSTALLED SO THAT THEY WILL NOT DELIVER MORE THAN 2.0 GPM MEASURED AT 80 PSI (CPC 2016 SECT 402.1 SECT. 402.1.1)  
**THE MAXIMUM FLOW RATE AT A 20% REDUCTION IS 2 GPM. (CGBC TABLE 4.303.2)**

- A- GAS FIREPLACES SHALL BE DIRECT VENT SEALED-COMBUSTION AND WOOD STOVES MUST MEET EPA PHASE II EMISSION LIMITS.
- B- DUCT OPENINGS SHALL BE COVERED AND MECHANICAL EQUIPMENTS SHALL BE PROTECTED DURING THE CONSTRUCTION.
- C- VOC COMPLIANCE - CAULKS, SEALANTS, ADHESIVES, SHALL BE IN COMPLIANCE WITH MIR LIMITS FOR ROC AND OTHER COMPOUNDS PER TABLE 4.504.1
- D- PAINTS AND COATINGS SHALL BE IN COMPLIANCE WITH VOC LIMITS PER TABLE 4.504.3
- E- AEROSOLS AND COATINGS SHALL BE IN COMPLIANCE WITH MIR LIMITS FOR ROC AND OTHER TOXIC MATERIALS.
- F- VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS REQUIRED.
- G- CARPET AND CARPET SYSTEMS SHALL BE IN COMPLIANCE VOC LIMITS.
- H- 80 % FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET VOC-EMISSION LIMITS PER CHPS.
- I- PARTICLE BOARD, MDF, HARDWOOD PLYWD. SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS PER TABLE 4.504.5
- J- VAPOR BARRIER AND CAPILLARY BREAK SHALL BE PROVIDED AT ALL SLAB ON GRADE FOUNDATIONS.
- K- MOISTURE CONTENT OF FLOORS AND WALLS SHALL BE CHECKED BEFORE ENCLOSURE.
- L- BATHROOM EXHAUST FANS SHALL TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL.
- M- DUCT SYSTEM SHALL BE SIZED AND DESIGNED AND EQUIPMENT SHALL BE SELECTED BY USING THE FOLLOWING:
  - A- ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI / ACCA MANUAL J
  - B- DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI / ACCA MANUAL D-2009
  - C- SELECT HEATING AND COOLING EQUIPMENT ACCORDING ANSI / ACCA MANUAL S-2004
- N- HVAC INSTALLER SHALL BE TRAINED AND CERTIFIED.



**FIRST FLOOR**  
 1/4" = 1'-0"

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 San Jose, CA 95120

*[Signature]*

No	Description	Date

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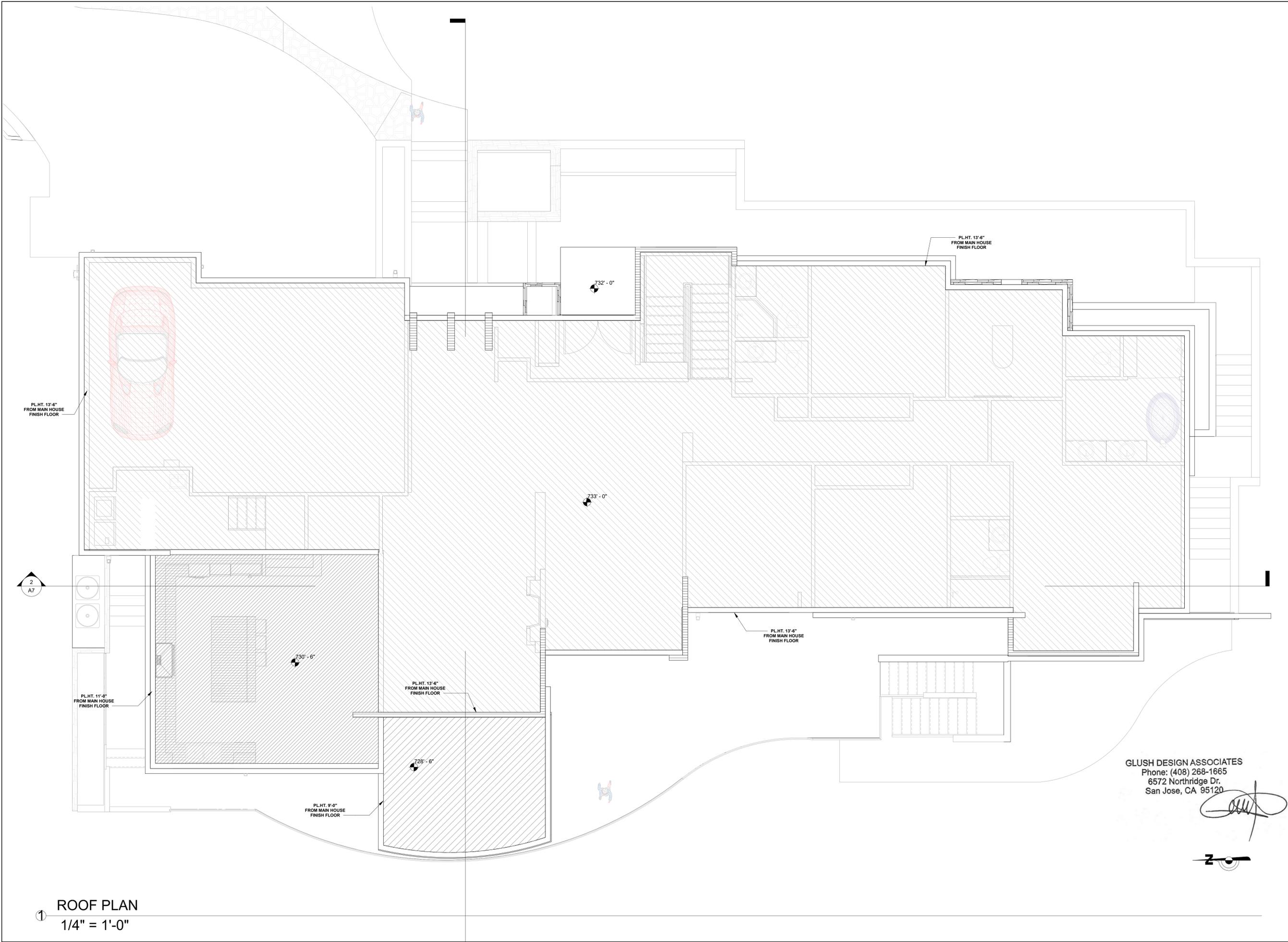
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**A3**  
 Scale 1/4" = 1'-0"

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**ROOF PLAN**  
1/4" = 1'-0"

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2 FRONT (EAST) ELEVATION  
1/4" = 1'-0"



1 REAR (WEST) ELEVATION  
1/4" = 1'-0"

FREE SHIPPING on Most Orders\*  
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THE NATION'S LARGEST LIGHTING RETAILER



**Possini Euro Design Lyons 8\"/>**



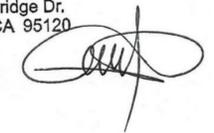
**PRODUCT DETAILS**

From the Possini Euro Design brand of lighting, this small outdoor wall light features a bronze black finish and modern lines. The built-in LED uses a mere 14 watts of energy, yet has a light output of 980 lumens, comparable to a 75 watt regular bulb. Please note that this LED is not dimmable.

- 8" high x 5" wide x ADA compliant, extends only 3 1/4" from the wall. Weighs 1.98 lbs.
- Built-in 14 watt non-dimmable LED; 3000K, 80 CRI, 980 lumens; comparable to a 75 watt incandescent.
- Modern outdoor LED wall light by Possini Euro Design.
- Bronze black finish.
- Box design; frosted lens over the LED panel directs light downwards.
- Wet location outdoor rated.

**NOTE:**  
EXTERIOR FIXTURES WILL COMPLY WITH  
TWON REQUIREMENTS TO BE  
DWNWARD DIRECTED AND SHEILDED.

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**GLUSH DESIGN**

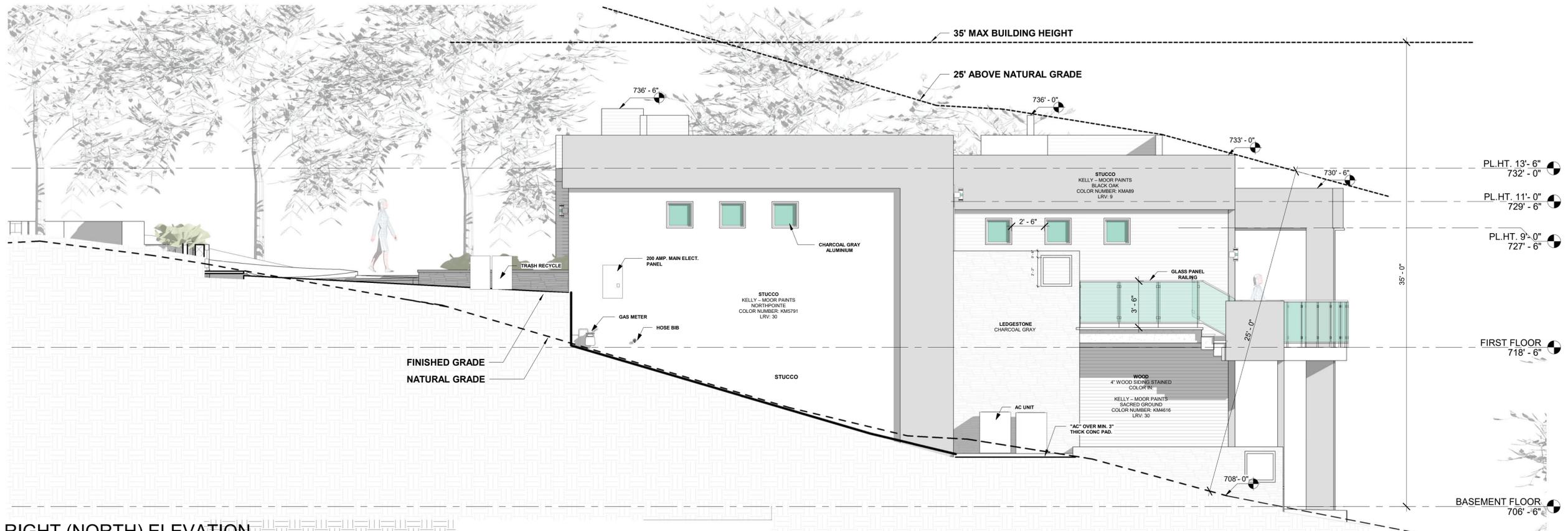


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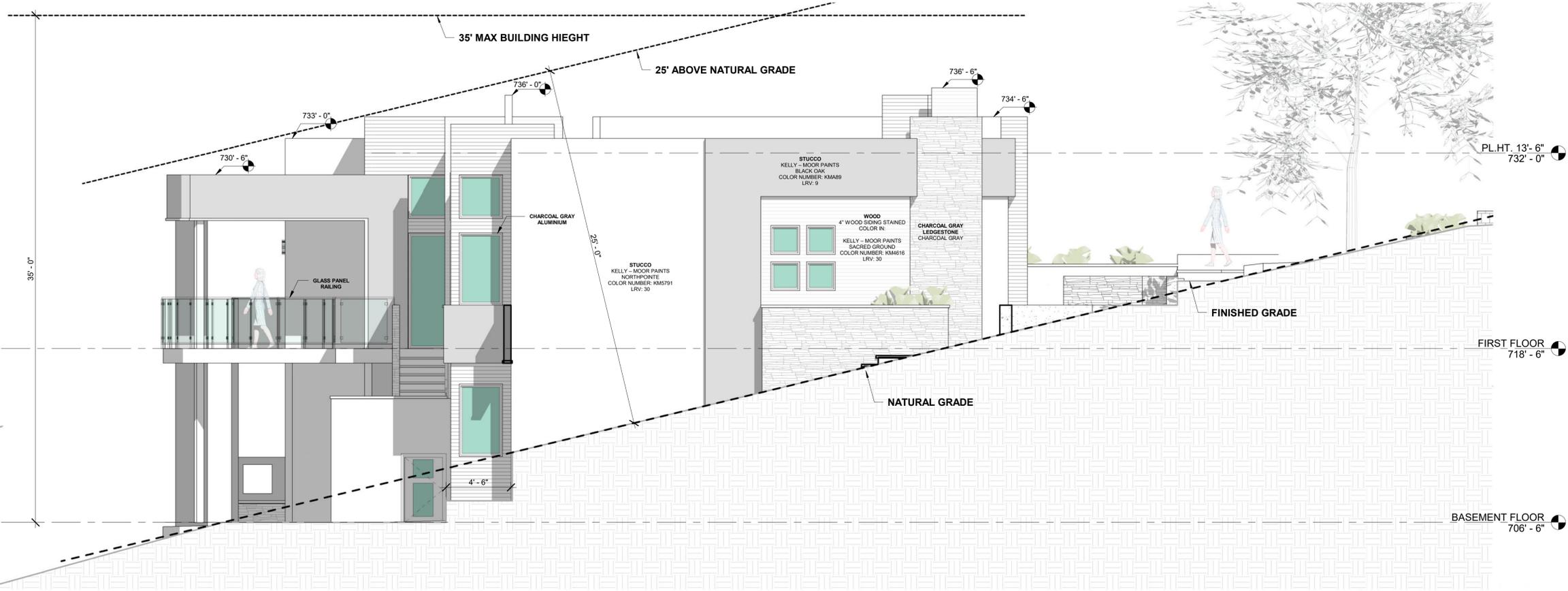
**ELEVATIONS (FRONT & REAR)**

**MR. & MRS. MICHAEL HASHEMIAN**  
**15343 SANTELLA CT**  
**LOS GATOS, CA 95032 - 4859**

Project Number	
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<b>A5</b>	
Scale	1/4" = 1'-0"



1 RIGHT (NORTH) ELEVATION  
1/4" = 1'-0"



2 LEFT (SOUTH) ELEVATION  
1/4" = 1'-0"

No.	Description	Date

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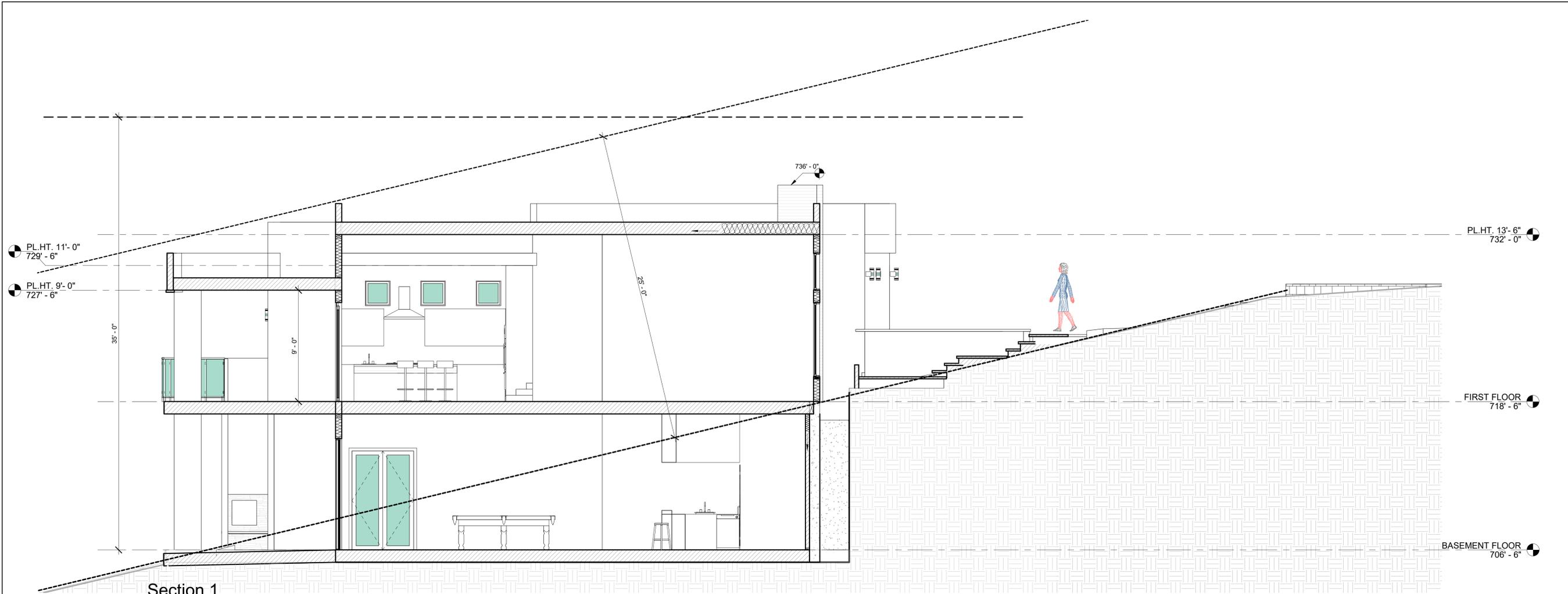
**ELEVATIONS (LEFT & RIGHT)**

**MR. & MRS. MICHAEL HASHEMIAN**  
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**LOS GATOS, CA 95032 - 4859**

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Section 1  
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Section 2  
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**CROSS SECTIONS**

**MR. & MRS. MICHAEL HASHEMIAN**  
**15343 SANTELLA CT**  
**LOS GATOS, CA 95032 - 4859**

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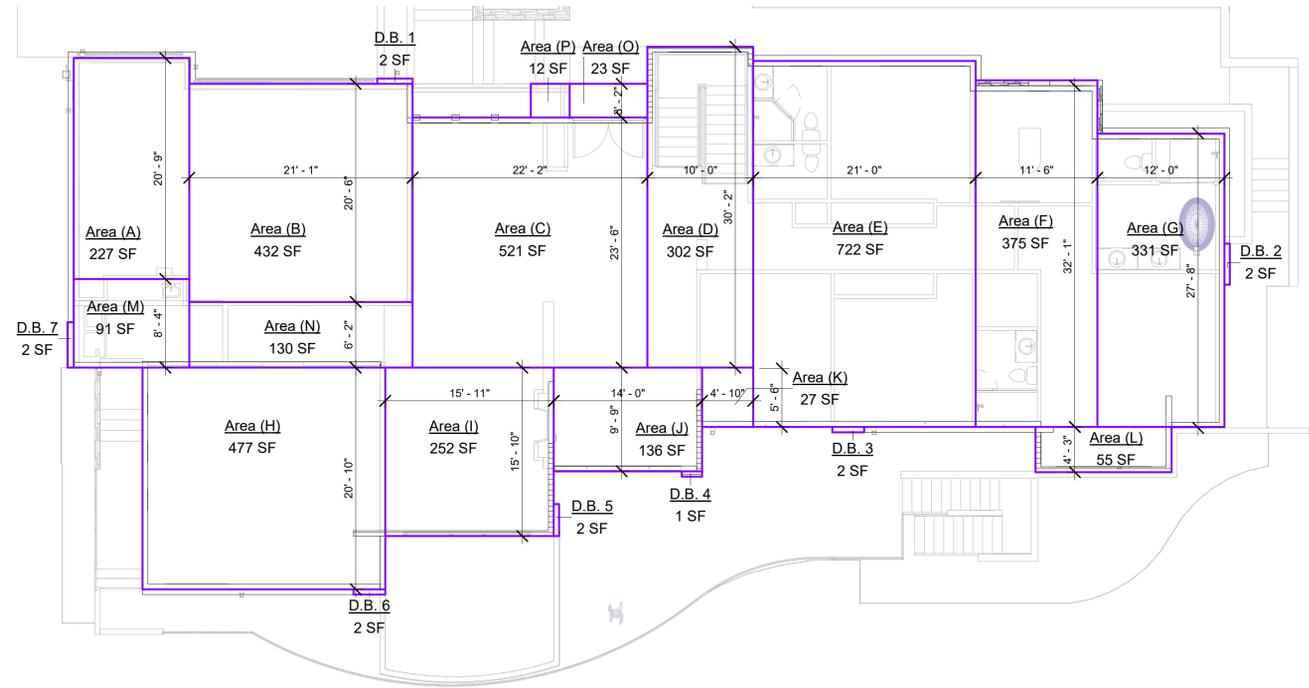
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**FLOOR AREA**

Area	Name
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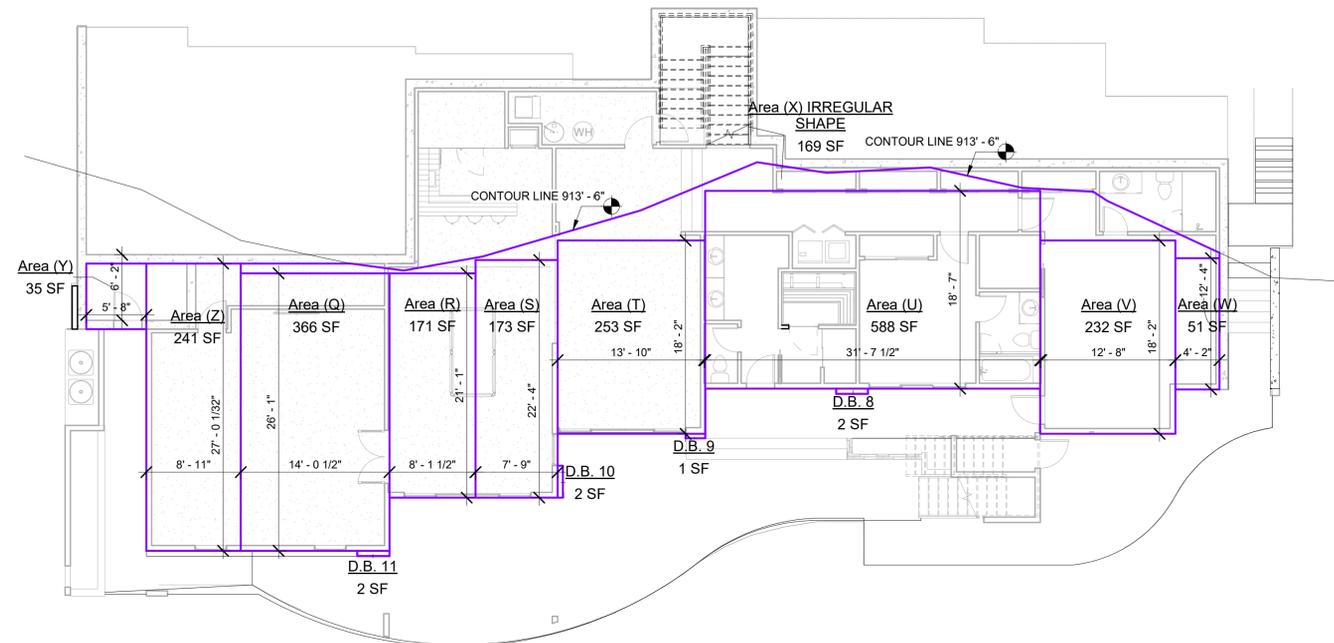
FIRST FLOOR AREA		TOTAL FIRST FLOOR AREA : 4,126 SF
227 SF	Area (A)	
432 SF	Area (B)	
521 SF	Area (C)	
302 SF	Area (D)	
722 SF	Area (E)	
375 SF	Area (F)	
331 SF	Area (G)	
477 SF	Area (H)	
252 SF	Area (I)	
136 SF	Area (J)	
27 SF	Area (K)	
55 SF	Area (L)	
91 SF	Area (M)	
130 SF	Area (N)	
23 SF	Area (O)	
12 SF	Area (P)	
2 SF	D.B. 1	
2 SF	D.B. 2	
2 SF	D.B. 3	
1 SF	D.B. 4	
2 SF	D.B. 5	
2 SF	D.B. 6	
2 SF	D.B. 7	

BASEMENT AREA		TOTAL BASEMENT AREA : 2,286 SF
366 SF	Area (Q)	
171 SF	Area (R)	
173 SF	Area (S)	
253 SF	Area (T)	
588 SF	Area (U)	
232 SF	Area (V)	
51 SF	Area (W)	
169 SF	Area (X) IRREGULAR SHAPE	
35 SF	Area (Y)	
241 SF	Area (Z)	
2 SF	D.B. 8	
1 SF	D.B. 9	
2 SF	D.B. 10	
2 SF	D.B. 11	



① FIRST FLOOR AREA  
1/8" = 1'-0"

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② BASEMENT AREA  
1/8" = 1'-0"

No	Description	Date

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**AREA CALCULATION SCHEMATIC**

**MR. & MRS. MICHAEL HASHEMIAN**  
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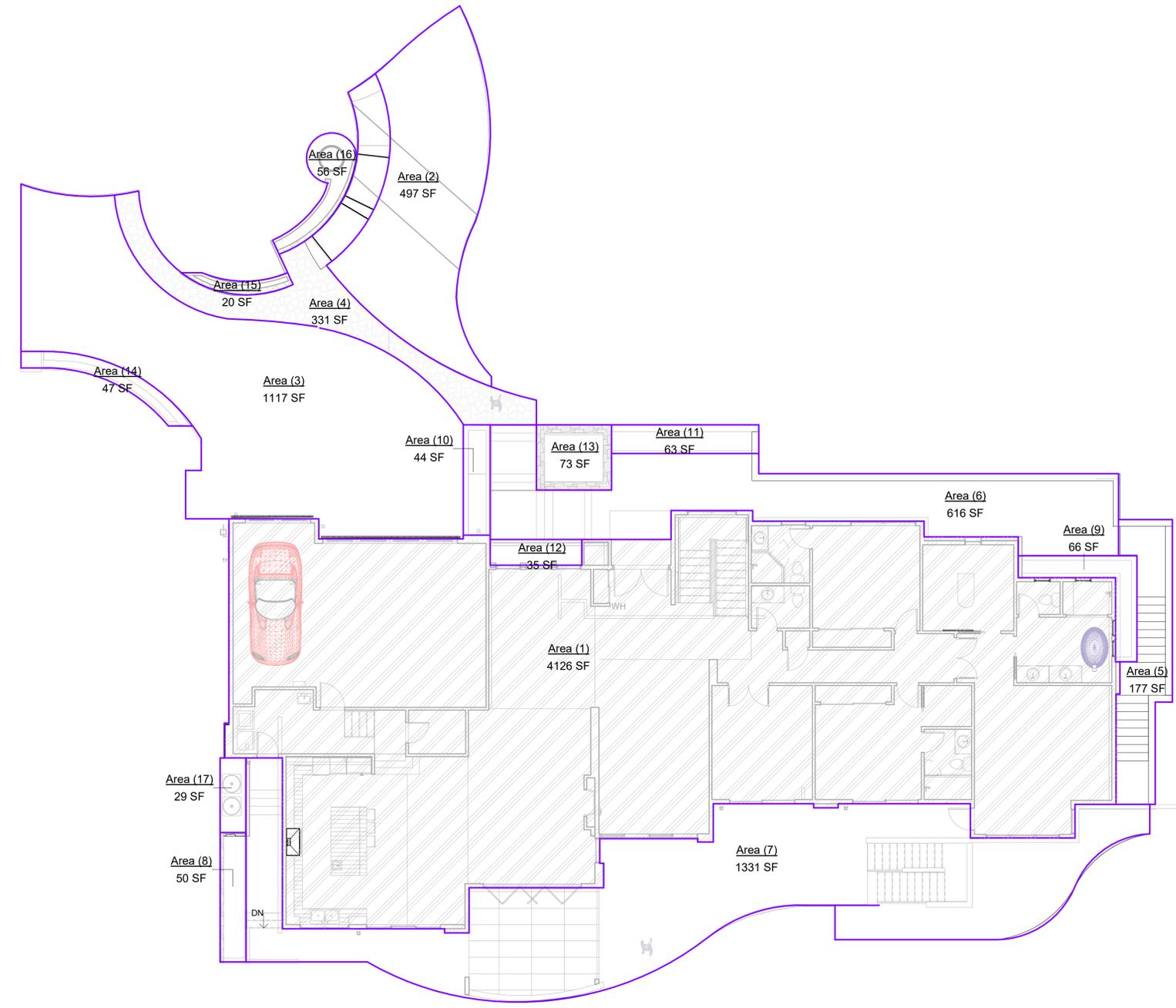
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LOT AREA COVERAGE			
	Area	Name	Total
<b>HOUSE / GARAGE</b>	4126 SF	Area (1)	<b>4,126 SF</b>
<b>WALKWAY / DRIVEWAY</b>	497 SF	Area (2)	<b>2,122 SF</b>
	1117 SF	Area (3)	
	331 SF	Area (4)	
	177 SF	Area (5)	
<b>PATIOS</b>	616 SF	Area (6)	<b>1,947 SF</b>
	1331 SF	Area (7)	
<b>PLANTER AREA</b>	50 SF	Area (8)	<b>454 SF</b>
	66 SF	Area (9)	
	44 SF	Area (10)	
	63 SF	Area (11)	
	35 SF	Area (12)	
	73 SF	Area (13)	
	47 SF	Area (14)	
	20 SF	Area (15)	
56 SF	Area (16)		
<b>AC PAD</b>	29 SF	Area (17)	<b>29 SF</b>
<b>TOTAL</b>			<b>8,678 SF</b>

**TOTAL IMPERVIOUS AREA : 8,678 SF**

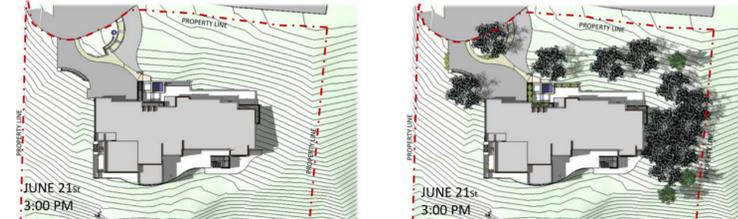
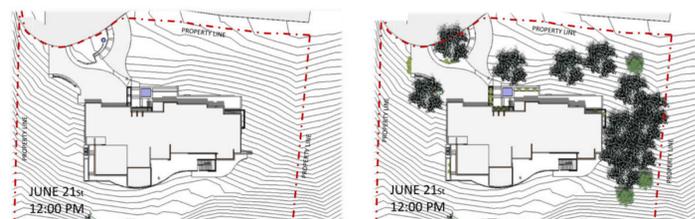
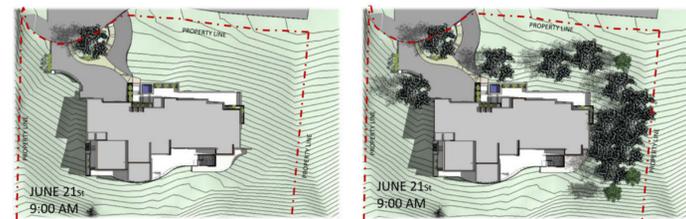
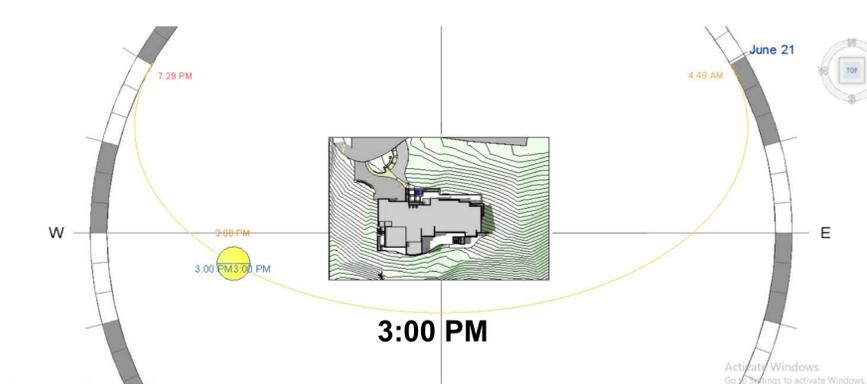
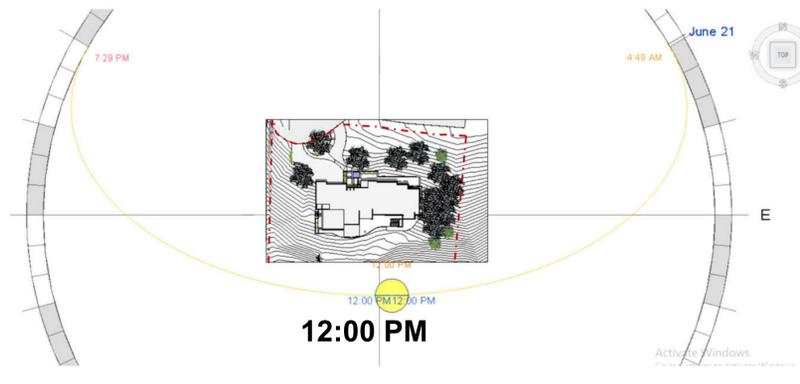
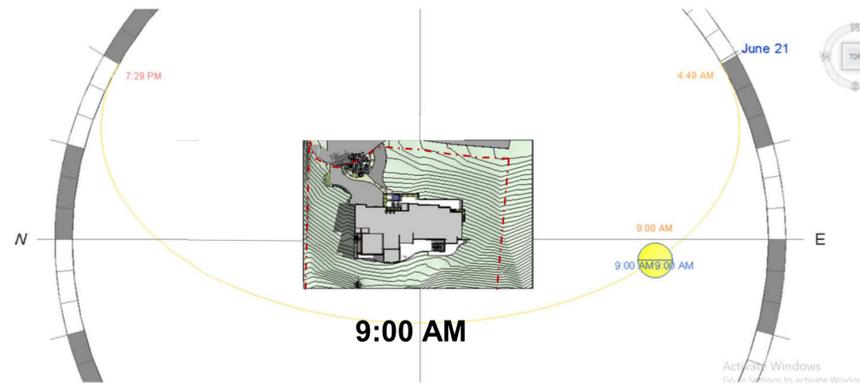


① IMPERVIOUS  
 1/8" = 1'-0"

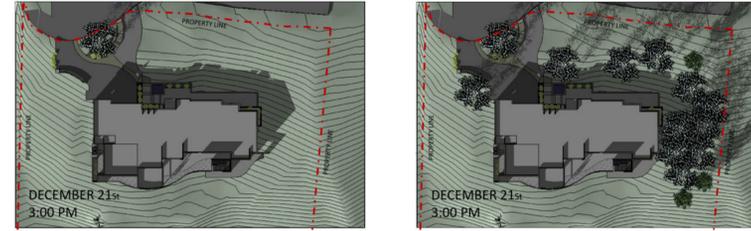
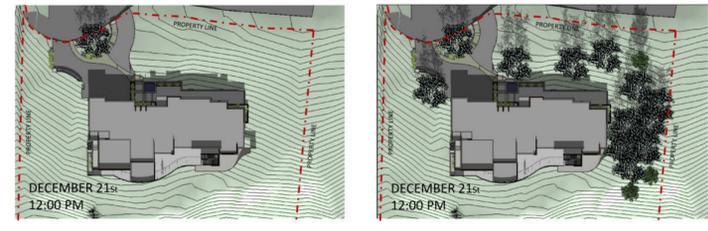
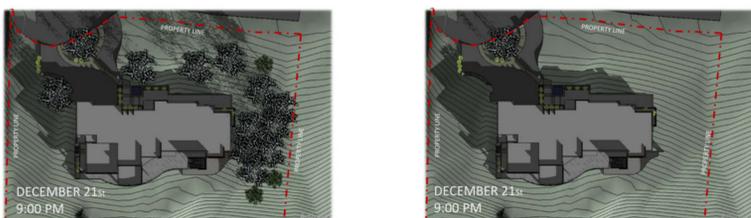
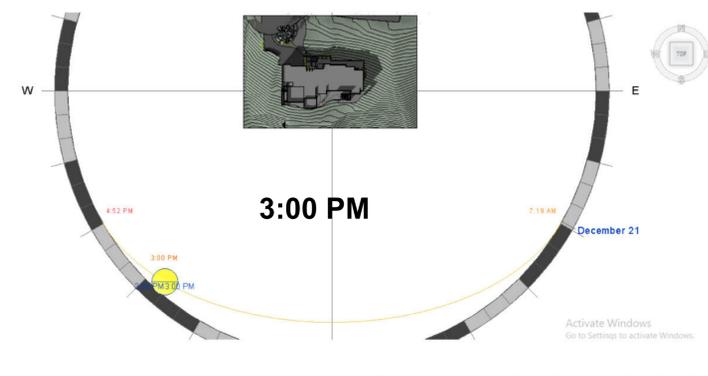
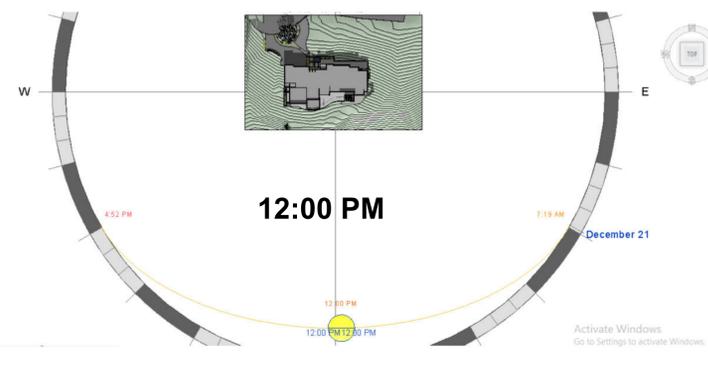
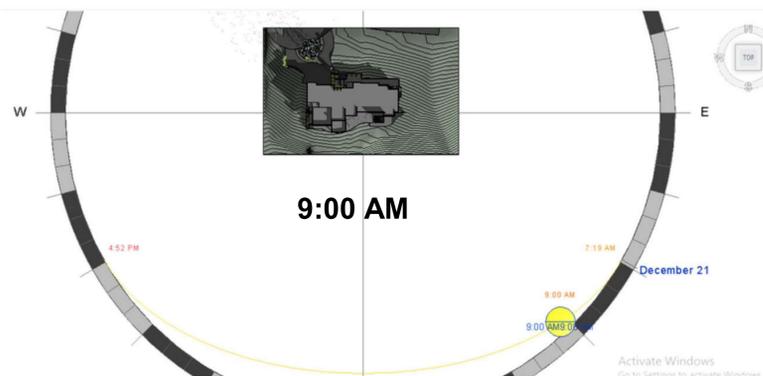
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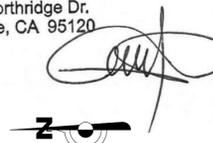
# JUNE 21<sup>ST</sup>



# DECEMBER 21<sup>ST</sup>



GLUSH DESIGN ASSOCIATES  
 Phone: (408) 268-1665  
 6572 Northridge Dr.  
 San Jose, CA 95120



No.	Description	Date

**GLUSH DESIGN**  
 Residential Building Design & Consulting  
 6572 Northridge Dr. San Jose, CA 95120  
 Tel: (408) 208-1665 / Fax (408) 753-9160

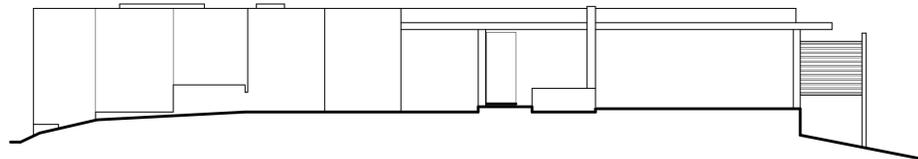


THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON. UNLESS PERMITTED BY THE DESIGNER, NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

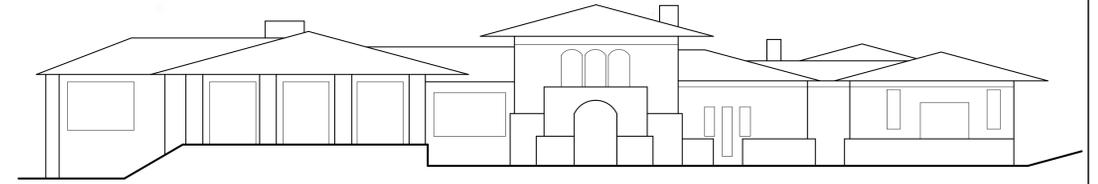
**MR. & MRS. MICHAEL HASHEMIAN**  
 15343 SANTELLA CT  
 LOS GATOS, CA 95032 - 4859

Project #	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
<b>A10</b>	
Scale	

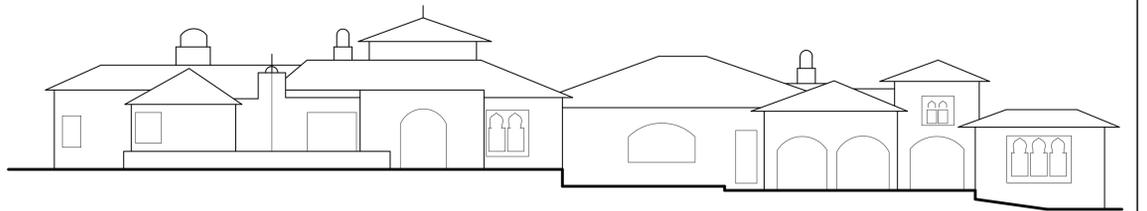
LOT #37



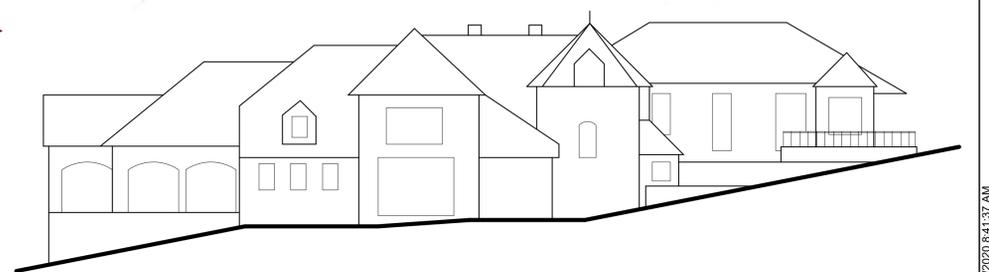
LOT #20



LOT #21



LOT #14



LOT #34

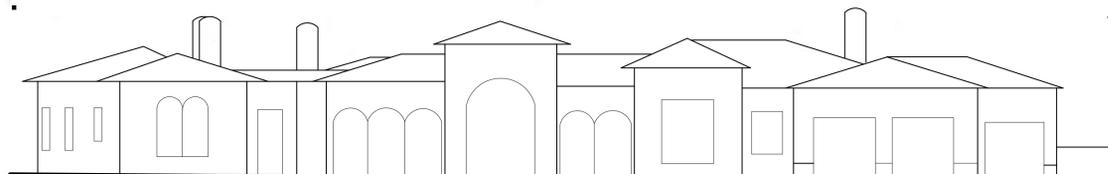


ROOF PLAN  
739' - 4 13/16"

15343 Santella Ct.

1" = 10'-0"

LOT #15



GLUSH DESIGN ASSOCIATES  
Phone: (408) 268-1665  
6572 Northridge Dr.  
San Jose, CA 95120

No.	Description	Date

GLUSH DESIGN

Residential Building Design & Consulting  
6572 Northridge Dr. San Jose, CA 95120  
Tel: (408) 268-1665 / Fax: (408) 753-9160



STREET SCOPE

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. OVER SCALED DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

MR. & MRS. MICHAEL HASHEMIAN  
15343 SANTELLA CT  
LOS GATOS, CA 95032 - 4859

Project #	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
<b>A11</b>	
Scale 1" = 10'-0"	



GLUSH DESIGN ASSOCIATES  
 Phone: (408) 268-1665  
 6572 Northridge Dr.  
 San Jose, CA 95120

No.	Description	Date

**GLUSH DESIGN**

Residential Building Design & Consulting  
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THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALES. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**3D VIEWS**

**MR. & MRS. MICHAEL HASHEMIAN**

**15343 SANTELLA CT  
 LOS GATOS, CA 95032 - 4859**

Project Number	
Date	Issue Date
Drawn by	Author
Checked by	Checker

**A12**

Scale

ABBREVIATIONS			
	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MON	MONUMENT
BC	BACK OF CURB	(N)	NEW
BFP	BACKFLOW PREVENTOR	OG	ORIGINAL GROUND
BSW	BACK OF SIDEWALK	PB	PULL BOX
BW	BOTTOM OF WALL	PCEV	PC&E VAULT
C&G	CURB AND GUTTER	R,P/L	PROPERTY LINE
C,C/L	CENTERLINE	PL	PLANTER
CLSW	CENTERLINE SWALE	PP	POWER POLE
CO	CLEANOUT	PPP	PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE	PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
DJ	DROP INLET	R/W	RIGHT OF WAY
DTL	DETAIL	RCP	REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD	STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDMH	STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD	STANDARD
(E),EX	EXISTING	SS	SANITARY SEWER
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TF	TOP OF FOUNDATION
FNC	FENCE	TG	TOP OF GRATE
FOC	FACE OF CURB	TP	TOP OF SLAB
GB	GRADE BREAK	TP	TOP OF PAVEMENT
GUY	GUY WIRE	TW	TOP OF WALL
HP	HIGH POINT	(TYP)	TYPICAL
DIP	DUCTILE IRON PIPE	VCP	VITRIFIED CLAY PIPE
INV	INVERT	WL	WHITE LINE STRIPE
JP	JOINT POLE	WLK	WALKWAY
JB	JUNCTION BOX (UTILITY)	WM	WATER METER
CONC.	CONCRETE	WV	WATER VALVE

# GRADING AND DRAINAGE PLANS

## NEW TWO STORY RESIDENTIAL HOUSE

### 15343 SANTELLA CT., LOS GATOS, CA

#### APN: 527-09-034

### GRADING AND DRAINAGE NOTES:

- All work shall conform to Chapter 12 of The Code of the Town of Los Gatos, the adopted California Building Code and the latest edition of the Standard Specifications for Public Works Construction except as specified otherwise on these plans and details.
- No work may be started on-site without an approved Grading Plan and a Grading Permit issued by the Town of Los Gatos, Public Works Department located at 41 Miles Avenue, Los Gatos, CA 95030
- A Pre-Job meeting shall be held with the Town Engineering Inspector from the Department of Parks and Public Works prior to any work being done. The Contractor shall call the Inspections Line at (408) 399-5771 at least forty-eight (48) hours prior to any grading or onsite work. This meeting should include: a. A discussion of the project conditions of approval, working hours, site maintenance and other construction matters; b. Acknowledgement in writing that Contractor and Applicant have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval will be posted on site at all times during construction.
- Approval of plans does not release the developer of the responsibility for the correction of mistakes, errors, or omissions contained therein. If, during the course of construction of the improvements, public interest and safety requires a modification or departure from the Town Specifications or these improvement plans, the Town Engineer shall have full authority to require such modification or departure and to specify the manner in which the same is to be made.
- Approval of this plan applies only to the grading, excavation, placement, and compaction of natural earth materials. This approval does not confer any rights of entry to either public property or the private property of others and does not constitute approval of any other improvements.
- Excavated material shall be placed in the fill areas designated or shall be hauled away from the site to be disposed of at approved location(s).
- It shall be the responsibility of the Permittee or Contractor to identify, locate and protect all underground facilities. Permittee or Contractor shall notify USA (Underground Service Alert) at 1-800-227-2600 a minimum of forty-eight (48) hours but not more than fourteen (14) days prior to commencing all work.
- All grading shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for airborne particulates.
- The Contractor shall comply with all local, state and federal laws, codes, rules and regulations governing the work identified on these plans. These shall include, without limitation, safety and health rules and regulations established by or pursuant to the Occupational Safety and Health Act or any other applicable public authority.
- The General Contractor shall provide qualified supervision on the job site at all times during construction.
- Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items: a. Retaining wall: top of wall elevations and locations (all walls to be permitted separately and applied for at the Town of Los Gatos Building Department). b. Toe and top of cut and fill slopes.
- Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The Applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans. Soils Engineer \_\_\_\_\_, Reference Report No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_, shall be thoroughly compiled with. Both the mentioned report and all updates/addendums/ letters are hereby appended and made a part of this grading plan.
- During construction, all excavations and grading shall be inspected by the Applicant's soils engineer. The Engineer shall be notified at least forty-eight (48) hours before beginning any grading. The Engineer shall be onsite to verify that the actual conditions are as anticipated in the designlevel geotechnical report and/or provide appropriate changes to the report recommendations, as necessary. All unobserved and/or unapproved grading shall be removed and replaced under soils engineer observance (the Town Inspector shall be made aware of any required changes prior to work being performed).
- The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicants' soils engineer and submitted for the Town's review and acceptance before final release of any occupancy permit is granted.
- All private and public streets accessing Project Site shall be kept open and in a safe, drivable condition throughout construction. If temporary closure is needed, then formal written notice to the adjacent neighbors and the Town of Los Gatos Parks and Public Works Department shall be provided at least one (1) week in advance of closure and no closure shall be granted without the express written approval of the Town. No material or equipment shall be stored in the public or private right-of-way.
- The contractor shall install and maintain fences, barriers, lights and signs that are necessary to give adequate warning and/protection to the public at all times.
- Owner/Applicant: \_\_\_\_\_ Phone: \_\_\_\_\_
- General Contractor (If available): \_\_\_\_\_ Phone: \_\_\_\_\_
- Grading Contractor (If available): \_\_\_\_\_ Phone: \_\_\_\_\_
- Cut: \_\_\_\_\_ 821 \_\_\_\_\_ CY Export: \_\_\_\_\_ 821 \_\_\_\_\_ CY Fill: \_\_\_\_\_ 255 \_\_\_\_\_ CY Import: \_\_\_\_\_ 255 \_\_\_\_\_ CY
- Water shall be available on the site at all times during grading operations to properly maintain dust control.
- This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation shall be required. Tree Removal Permits are required prior to the approval of all plans.
- A Town Encroachment Permit is required for any work within the public right-of-way. A State Encroachment Permit is required for any work within State right-of-way (if applicable). The Permittee and/or Contractor shall be responsible coordinating inspection performed by other governmental agencies.
- No cross-lot drainage will be permitted without satisfactory stormwater acceptance deed/facilities. All drainage shall be directed to the street or other acceptable drainage facility via a non-erosive method as approved by the Town Engineer.
- It is the responsibility of contractor and/or owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the Engineering Division. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the developer's expense.
- Grading shall be undertaken in accordance with conditions and requirements of the project Storm Water Pollution Control Plan and/or Storm Water Pollution Prevention Plan (SWPPP), the Town of Los Gatos Storm Water Quality Management Program, National Pollutant Discharge Elimination System (NPDES) and any other permits/requirements issued by the State of California Regional Water Quality Control Board. Plans (including all updates) shall be on-site at all times. No direct stormwater discharges from the development will be allowed onto Town streets or into the public storm drain system without treatment by an approved storm water pollution prevention device or other approved methods. Maintenance of private stormwater pollution prevention devices shall be the sole responsibility of the owner. Discharges or connection without treatment by an approved and adequately operating stormwater pollution prevention device or other approved method shall be considered a violation of the above referenced permit and the Town of Los Gatos Stormwater Ordinance.

### NPDES NOTES

- Sediment from areas disturbed by construction shall be retained on site using structural controls as required by the statewide General Construction Stormwater Permit.
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind as required by the statewide General Construction Stormwater Permit.
- Appropriate best management practices (BMPs) for construction-related materials, wastes, spill or residues shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff as required by the statewide General Construction Stormwater Permit.
- Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters or to the local storm drain system.
- All construction contractor and subcontractor personnel are to be made aware of the required best management practices (BMPs) and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
- Construction sites shall be maintained in such a condition that a storm does not carry waste or pollutants off of the site. Discharges of material other than stormwater (non-stormwater discharges) are prohibited except as authorized by an individual National Pollutant Discharge Elimination System (NPDES) permit or the statewide General Construction Stormwater Permit. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and superchlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging noncontaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the respective State Regional Water Quality Control Board.

### NOTE:

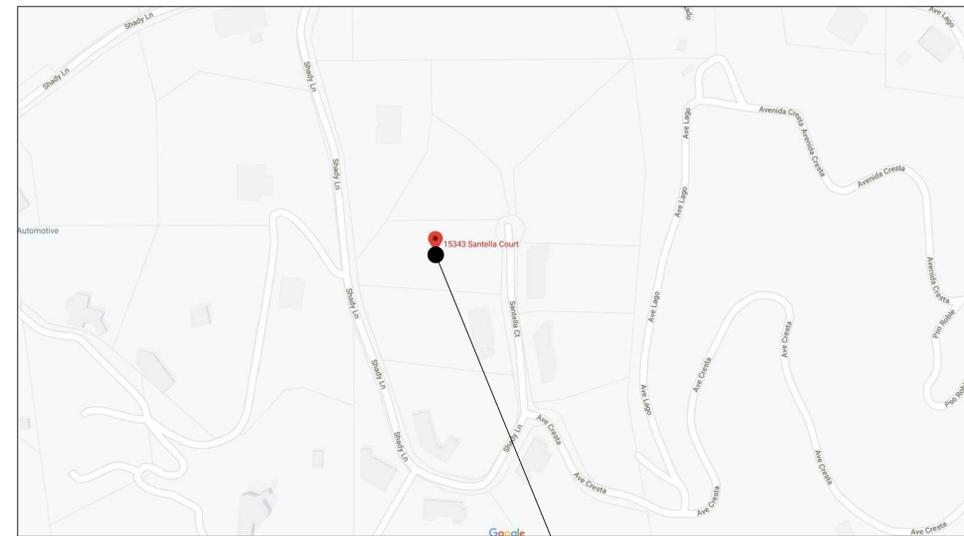
DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOOD LEVEL RIMS LESS THAN TWELVE (12) INCHES (304.8 MM) ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE AND/OR FLUSHING INLET COVER AT THE PUBLIC OR PRIVATE SEWER SYSTEM SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE, UNLESS FIRST APPROVED BY THE BUILDING OFFICIAL. THE TOWN SHALL NOT INCUR ANY LIABILITY OR RESPONSIBILITY FOR DAMAGE RESULTING FROM A SEWER OVERFLOW WHERE THE PROPERTY OWNER OR OTHER PERSON HAS FAILED TO INSTALL A BACKWATER VALVE AS DEFINED IN THE UNIFORM PLUMBING CODE ADOPTED BY THE TOWN AND MAINTAIN SUCH DEVICE IN A FUNCTIONAL OPERATION CONDITION. EVIDENCE OF WEST SANITATION DISTRICT'S DECISION ON WHETHER A BACKWATER DEVICE IS NEEDED SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

### EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
HOUSE/ BASEMENT	0	661		
GARAGE	152	0		
DRIVEWAY	103	0		
PATIO	0	88		
WALKWAY/PLANTER	0	19		
SITE	0	53		
TOTAL	255	821	0	566

### NOTE:

1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.



**LOCATION MAP**  
N.T.S.

### SHEET INDEX:

- C-1 COVER SHEET/ NOTES
- C-2 GRADING AND DRAINAGE PLAN
- C-3 SUBDRAIN AND UTILITY PLAN
- C-4 DETAILS
- C-5 NOTES
- C-6 EROSION CONTROL PLAN

### BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS ALONG THE RIGHT OF WAY OF SKYLINE BLVD. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK: 860 PAGE: 41 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

### REFERENCED ASSUMED BENCHMARK:

SCVWD BENCHMARK BM #489 EL: 301.33 (NAVD 88 DATUM)

### SITE BENCHMARK:

SURVEY CONTROL SET MAG NAIL ELEVATION=725.08'

### NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

### SANITARY SEWER NOTE:

ANY EXISTING SANITARY SEWER LATERAL PROPOSED TO BE REUSED MUST BE TELEVIEWED BY WEST VALLEY SANITATION DISTRICT AND APPROVED BY THE TOWN BEFORE REUSED.

### GRADING AND DRAINAGE NOTES:

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

### NOTE:

IT IS THE RESPONSIBILITY OF CONTRACTOR AND HOMEOWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.

### NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



1534 CAROB LANE  
LOS ALTOS, CA 94024  
TEL: (650) 941-8055  
FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS  
CIVIL ENGINEERS

GRADING AND DRAINAGE PLANS  
NEW TWO STORY RESIDENTIAL HOUSE  
15343 SANTELLA CT., LOS GATOS, CA  
APN: 527-09-034

COVER SHEET / NOTES

Revisions:



*Ghazal Razavi*

Date: 3/02/2020  
Scale: NTS  
Prepared by: S.P.  
Checked by: S.R.  
Job #: 220013

Sheet: 1 OF 6

C-1

OWNER:

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**GRADING AND DRAINAGE PLANS**  
**NEW TWO STORY RESIDENTIAL HOUSE**  
**15343 SANTELLA CT., LOS GATOS, CA**  
 APN: 527-09-034

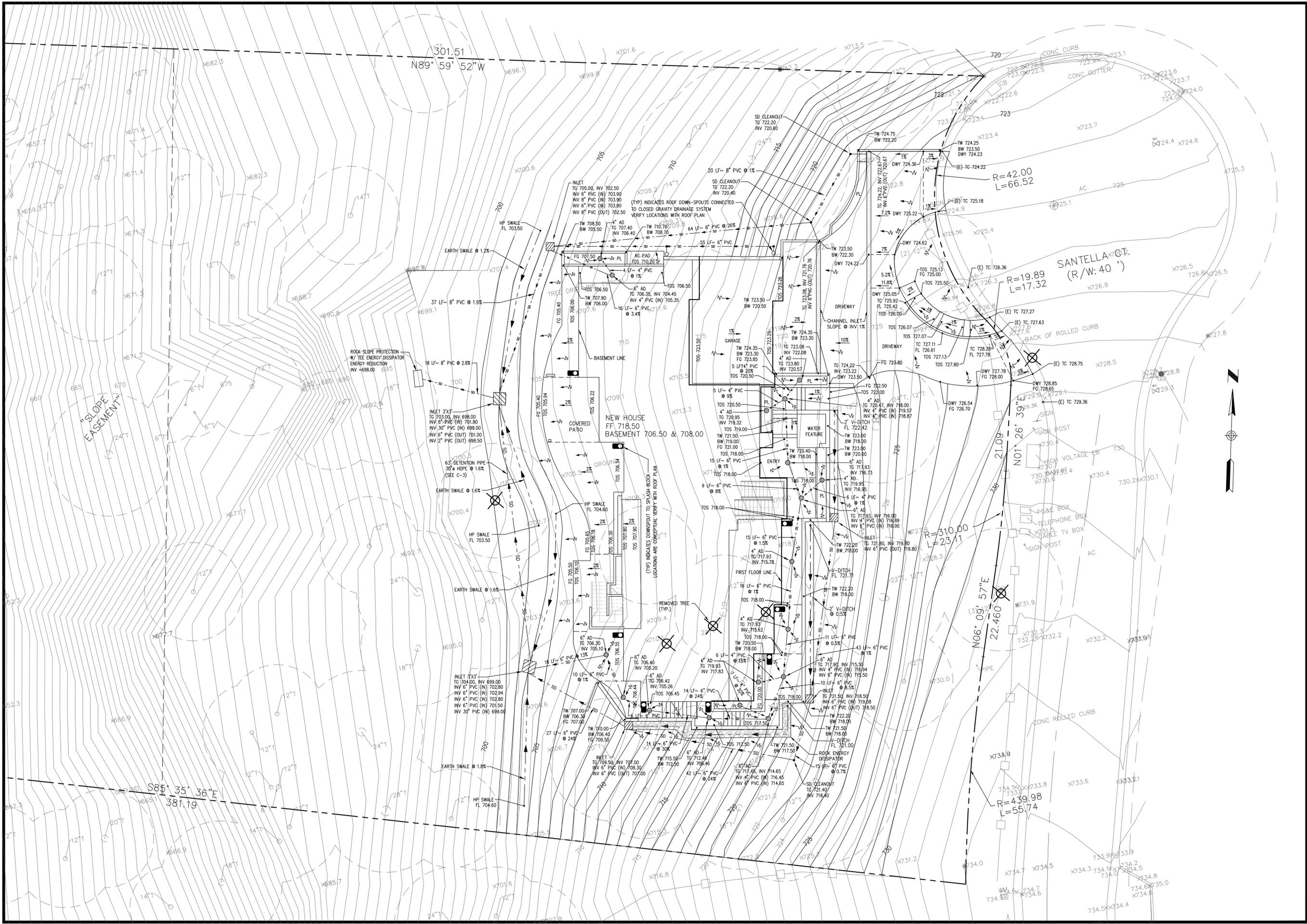
**GRADING AND DRAINAGE PLAN**

Revisions:



*Saied Razaqi*

Date: 3/02/2020  
 Scale: 1"=10'  
 Prepared by: S.P.  
 Checked by: S.R.  
 Job #: 220013



OWNER:

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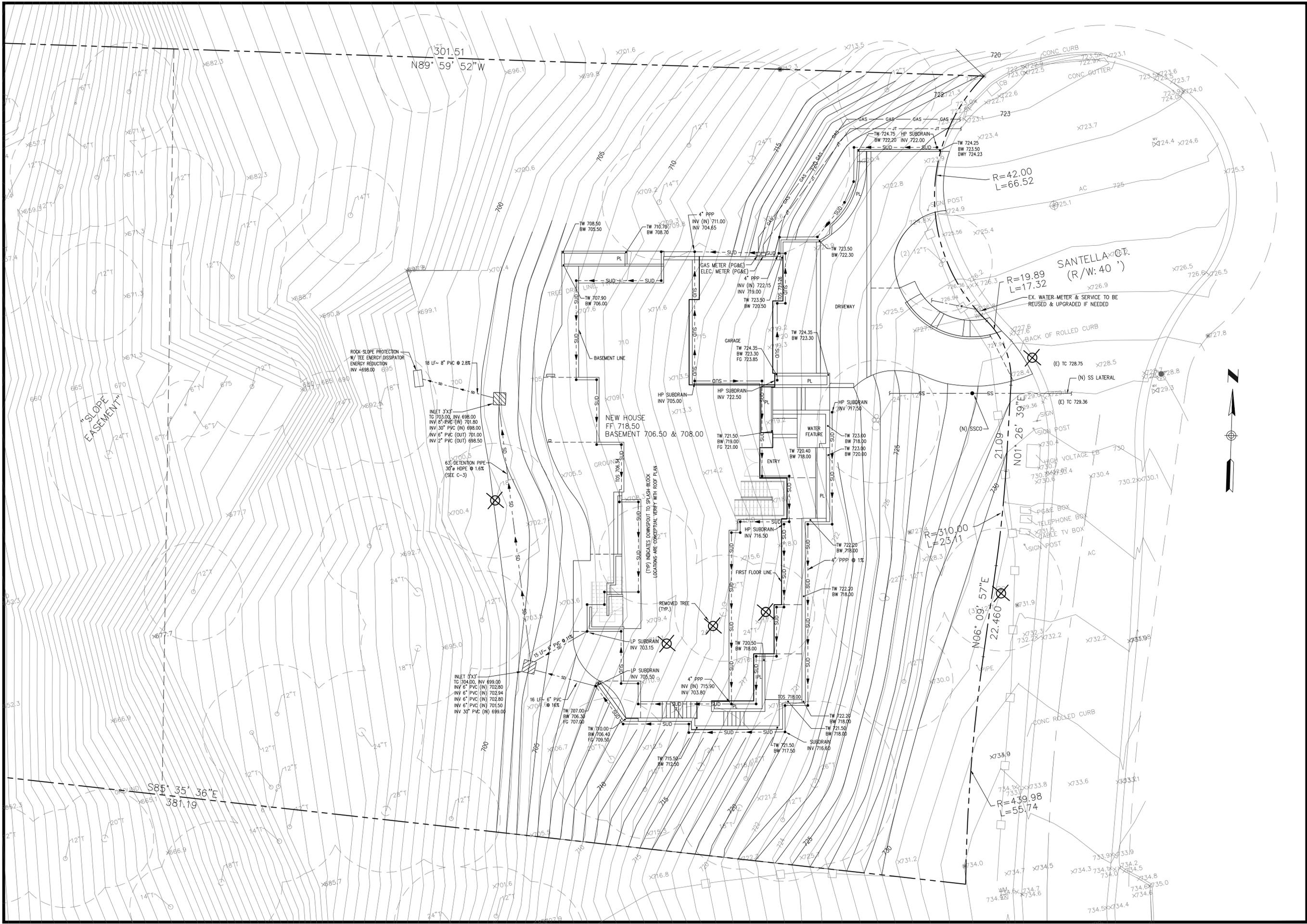
**GRADING AND DRAINAGE PLANS**  
**NEW TWO STORY RESIDENTIAL HOUSE**  
**15343 SANTELLA CT., LOS GATOS, CA**  
**APN: 527-09-034**  
**SUBDRAIN AND UTILITY PLAN**

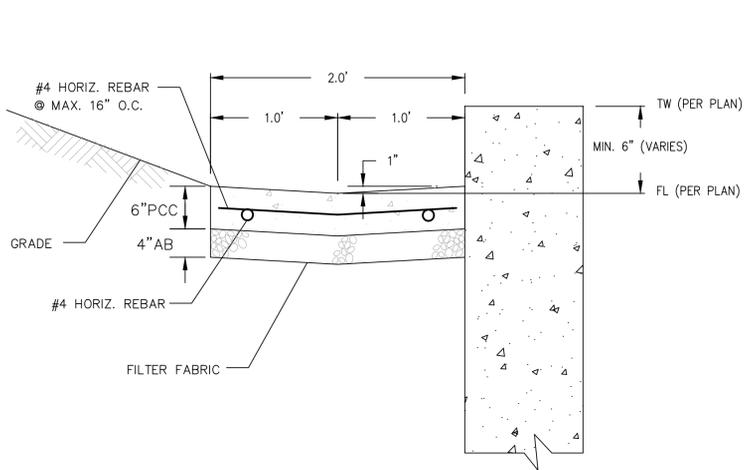
Revisions:



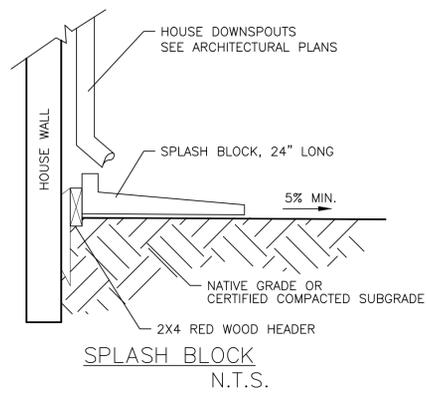
*Saeed Razavi*

Date: 3/02/2020  
 Scale: 1"=10'  
 Prepared by: S.P.  
 Checked by: S.R.  
 Job #: 220013

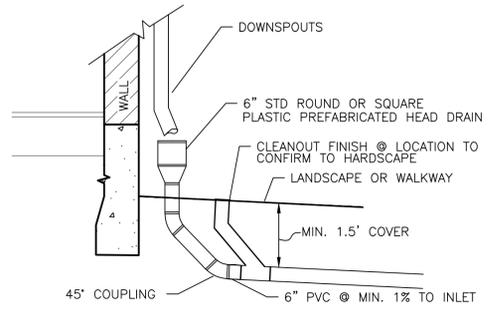




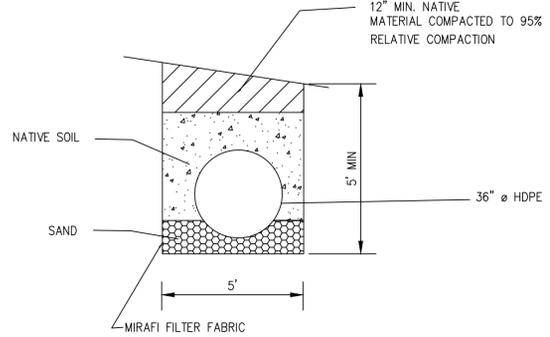
**RETAINING WALL V-DITCH**  
N.T.S.



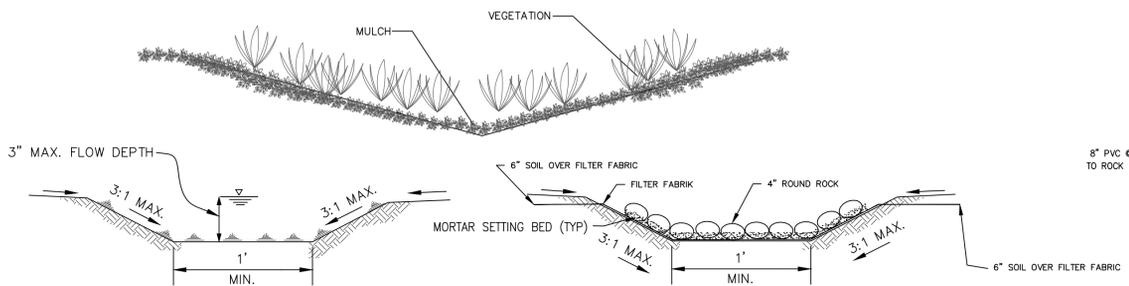
**SPLASH BLOCK**  
N.T.S.



**ROOF DOWN-SPOUT CONNECTION**  
N.T.S.

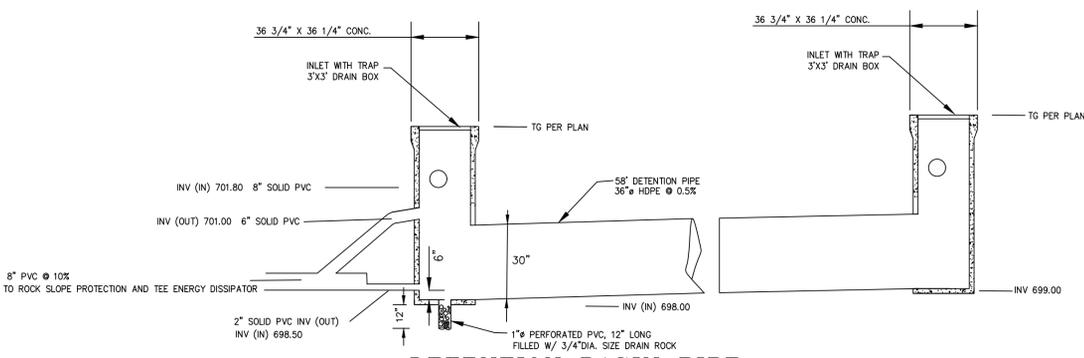


**DETENTION CHAMBER DETAIL**  
N.T.S.

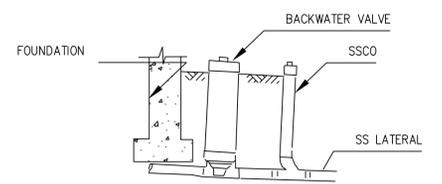


**EARTH SWALE DETAIL**  
N.T.S.

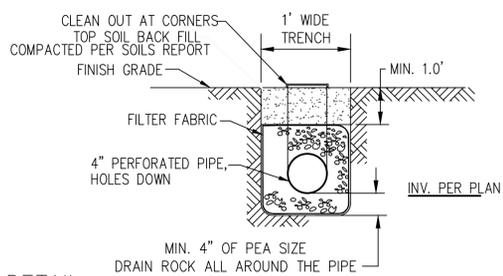
**ROCK ENERGY DISSIPATOR DETAIL**  
N.T.S.



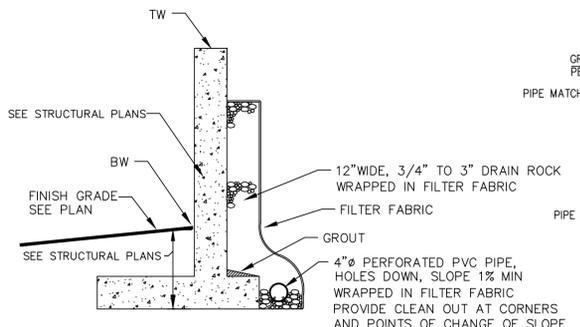
**DETENTION BASIN PIPE**  
N.T.S.



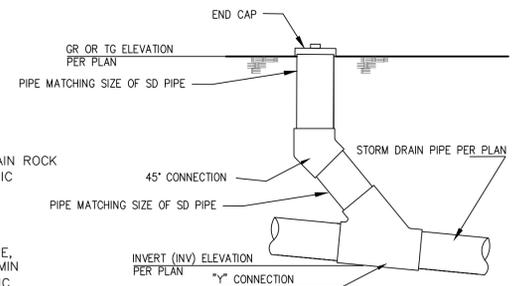
**SANITARY SEWER BACKFLOW PREVENTOR DETAIL**  
N.T.S.



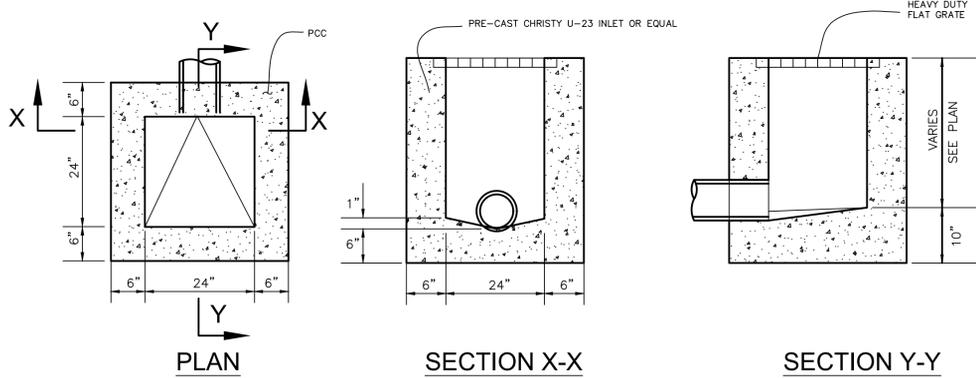
**HOUSE SUBDRAIN DETAIL**  
ELEVATION VIEW-N.T.S.



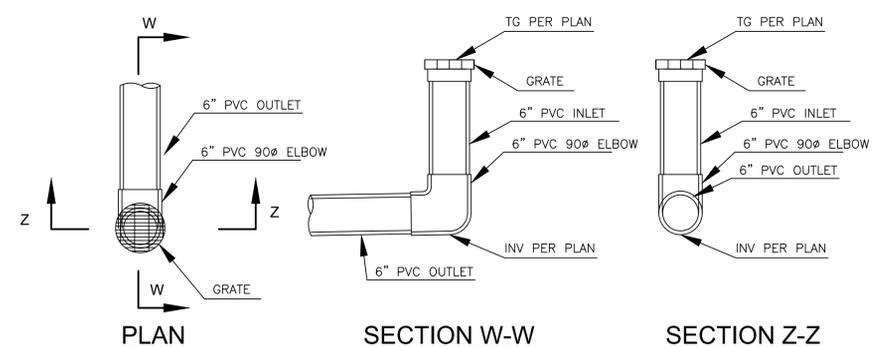
**RETAINING WALL SUBDRAIN DETAIL**  
N.T.S.



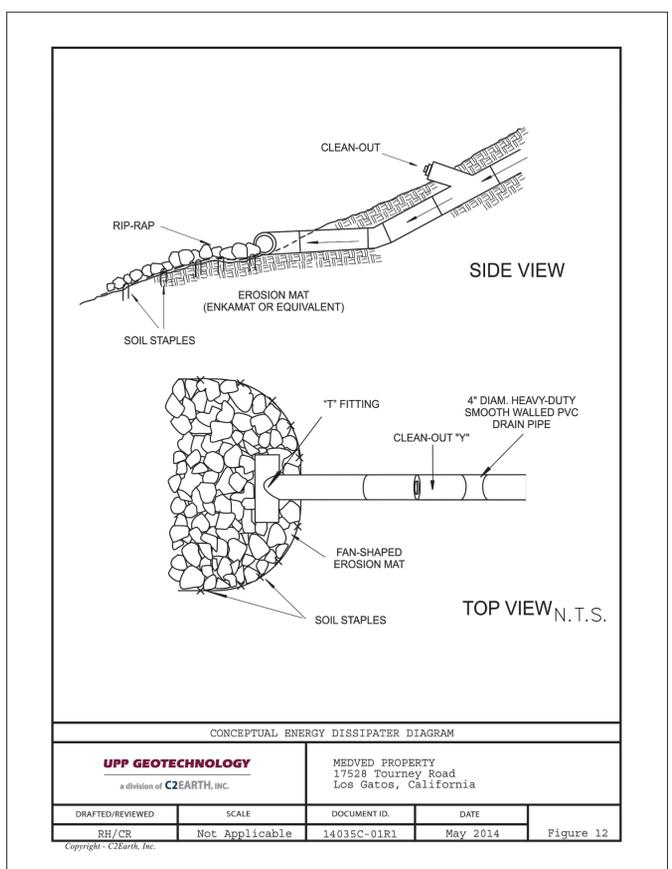
**STORM DRAIN CLEANOUT DETAIL**  
N.T.S.



**STORM DRAIN INLET**  
N.T.S.



**STORM DRAIN AREA DRAIN**  
N.T.S.



CONCEPTUAL ENERGY DISSIPATER DIAGRAM				
<b>UPP GEOTECHNOLOGY</b> a division of C2EARTH, INC.		MSDVED PROPERTY 17528 Torrey Road Los Gatos, California		
DRAFTED/REVIEWED	SCALE	DOCUMENT ID.	DATE	Figure 12
RR/CR	Not Applicable	14035C-01R1	May 2014	

**NOTES:**

- GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
- APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
- PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any permits. Please note that this process may take approximately six to eight (6-8) weeks.
- PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.
- RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement that is to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Applicant.
- GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). The grading permit application (with grading plans) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). A separate building permit, issued by the Building Department on E. Main Street, is needed for grading within the building footprint.
- DRIVEWAY: The driveway conform to existing pavement on El Gato Lane shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
- PAD CERTIFICATION: A letter from a licensed land surveyor shall be provided stating that the building foundation was constructed in accordance with the approved plans shall be provided subsequent to foundation construction and prior to construction on the structure. The pad certification shall address both vertical and horizontal foundation placement.
- RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
- WATER DESIGN: In the event of any required improvements to the existing water service and/or meter, the existing water meter, currently located within the El Gato Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity. Water plans prepared by San Jose Water Company must be reviewed and approved prior to issuance of any permit.
- SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the El Gato Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity.
- UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.
- CURB AND GUTTER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.
- SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
- FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.
- CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
- PARKING: Any proposed parking restriction must be approved by The Town of Los Gatos, Community Development Department.
- CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to beginning of any work.
- ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
- COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between :00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Owner, Applicant and/or Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner, Applicant and/or Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any permits, the Owner, Applicant and/or Developer's design consultant, shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.

- SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
- BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
- SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
  - a) Protect sensitive areas and minimize changes to the natural topography.
  - b) Minimize impervious surface areas.
  - c) Direct roof downspouts to vegetated areas.
  - d) Use porous or pervious pavement surfaces on the driveway, at a minimum.
  - e) Use landscaping to treat stormwater.
- UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
- EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two(2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NP DES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
- DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
- DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
- CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.1 of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If dry wells are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility may be located with an offset between five (5) and ten (10) feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter stating that addresses infiltration and how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Developer's expense.
- CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- FUTURE STUDIES: Any post-project traffic or parking counts, or other studies imposed by Planning Commission or Town Council shall be funded by the Applicant.



1534 CAROL LANE  
LOS ALTOS, CA 94024  
TEL: (650) 941-8055  
FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS  
CIVIL ENGINEERS

GRADING AND DRAINAGE PLANS  
NEW TWO STORY RESIDENTIAL HOUSE  
15343 SANTELLA CT., LOS GATOS, CA  
APN: 527-09-034

NOTES

Revisions:



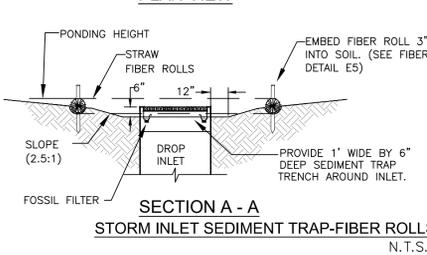
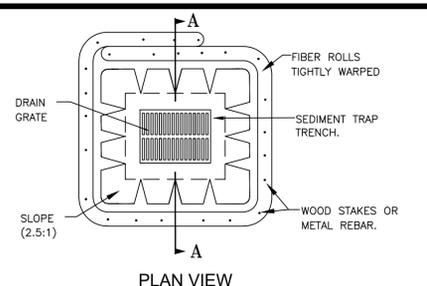
*Saeed Razavi*

Date: 3/02/2020  
Scale: AS NOTED  
Prepared by: S.P.  
Checked by: S.R.  
Job #: 220013

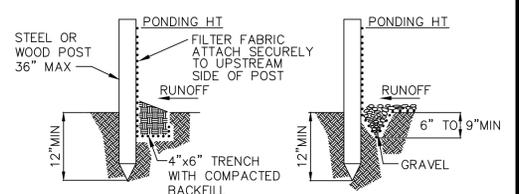
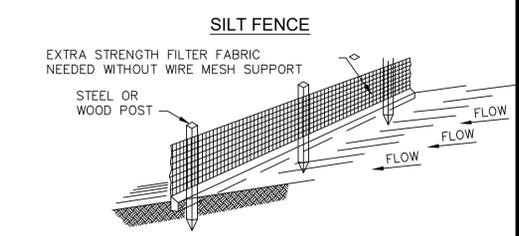
Sheet: 5 OF 6  
C-5



**SITE PLAN**  
1"=20'



- NOTES:**
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
  2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
  3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
  4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-8819.



**STANDARD DETAIL**  
TRENCH WITH NATIVE BACKFILL

**Silt fence Maintenance:**

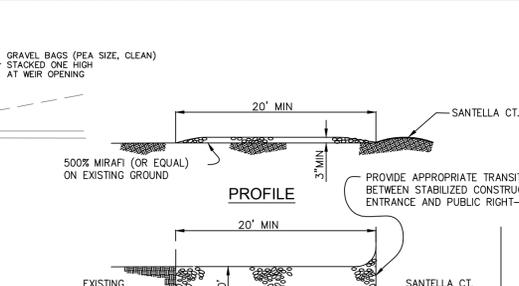
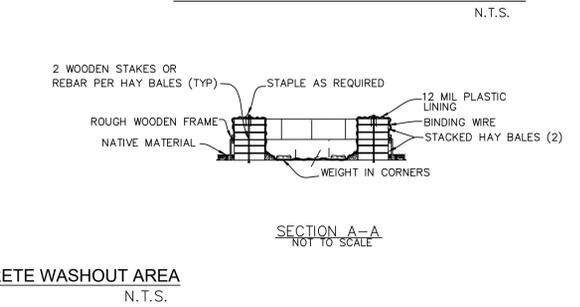
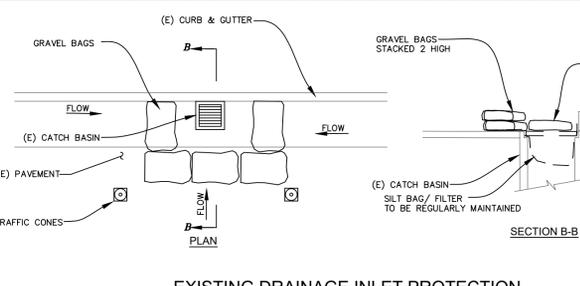
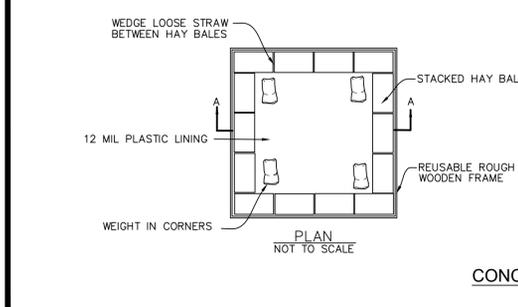
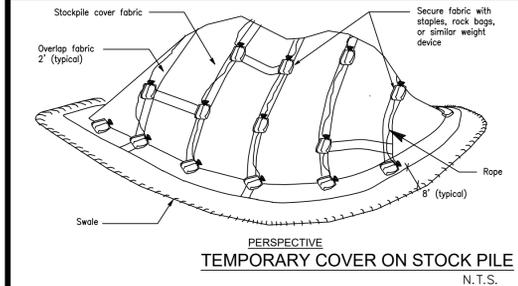
- Silt fence and filter barriers shall be inspected during and immediately after each rainfall, and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- Should the fabric on a silt fence or filter barrier decompose or become ineffective during the time the fence or barrier is still necessary, the fabric shall be replaced promptly.
- Sediment deposits shall be removed when deposits reach approximately one-third the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared, and seeded.
- Silt buildups must be removed when bulges develop in the fence regardless of depth of deposition.

- FIBER ROLL NOTES**
1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
  2. On slopes and hillsides, fiber rolls shall be abuted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
  3. Install fiber roll 12" from limit of grading

- EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**
1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
  2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
  3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
  4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

- MAINTENANCE NOTES**
1. Maintenance is to be performed as follows:
    - A. Repair damages caused by soil erosion or construction at the end of each working day.
    - B. Swales shall be inspected periodically and maintained as needed.
    - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
    - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
    - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
    - F. Rills and gullies must be repaired.
  2. All existing drainage inlets on St. George Lane within the limit of the project shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
  3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.



**STABILIZED CONSTRUCTION ENTRANCE (TO BE MAINTAINED)**

**Maintenance**

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done on an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.



---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
---	SS	C&G	CURB AND GUTTER
---	SANITARY SEWER LINE	CB	CATCH BASIN
---	SD	CO	CLEAN OUT
---	STORM DRAIN LINE	DW	DRIVEWAY
---	OH	EB	ELECTRIC BOX
---	OVERHEAD POWER LINE	EM	ELECTRIC METER
---	WOOD FENCE	EP	EDGE OF PAVEMENT
---		FH	FIRE HYDRANT
---		GA	GUY ANCHOR
---		GM	GAS METER
---		GV	GAS VALVE
---		IV	IRRIGATION VALVE
---		LP	LIGHT POLE
---		MB	MAIL BOX
---		MH	UTILITY MANHOLE
---		P.U.E.	PUBLIC UTILITY EASEMENT
---		P	BRICK CONC PILLAR
---		PP	POWER POLE
---		(R)	RADIAL BEARING
---		SL	STREET LIGHT
---		SDMH	STORM DRAINAGE MANHOLE
---		SSMH	SANITARY SEWER MANHOLE
---		SSCO	SANITARY SEWER CLEAN OUT
---		TCD	THROUGH CURB DRAIN
---		TS	TRAFFIC SIGN
---		VG	VALLEY GUTTER
---		WM	WATER METER
---		WV	WATER VALVE

**DISCLAIMER:**  
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

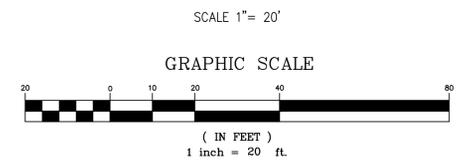
**NOTE:**  
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

**BASIS OF BEARINGS:**  
FOUND SURVEY MONUMENTS ALONG THE RIGHT OF WAY OF SKYLINE BLVD. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK: 860 PAGE: 41 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

**REFERENCED ASSUMED BENCHMARK:**  
SCVWD BENCHMARK  
BM #489  
EL: 301.33  
(NAVD 88 DATUM)

**SITE BENCHMARK:**  
SURVEY CONTROL  
SET MAG NAIL  
ELEVATION=725.08'

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
  2. THE GROSS AREA OF LAND OF RECORD IS 65,864 SQ. FT. ±.
  3. THE MAP WAS BASED ON A GRANT DEED DOC.# 23371537 BY FIRST AMERICAN TITLE CO. DATED 7/19/2016, RECORDED IN SANTA CLARA COUNTY.
  4. ALL EXISTING BUILDINGS ARE WOOD.
  5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
  6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



APN 000000-00-0000



**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
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Scale: 1" = 20'  
Prepared by:  
Checked by:  
Date: 3/22/2017  
Project No: 217029

TOPOGRAPHIC SURVEY MAP

Sheet No:

T-0

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF LOS GATOS