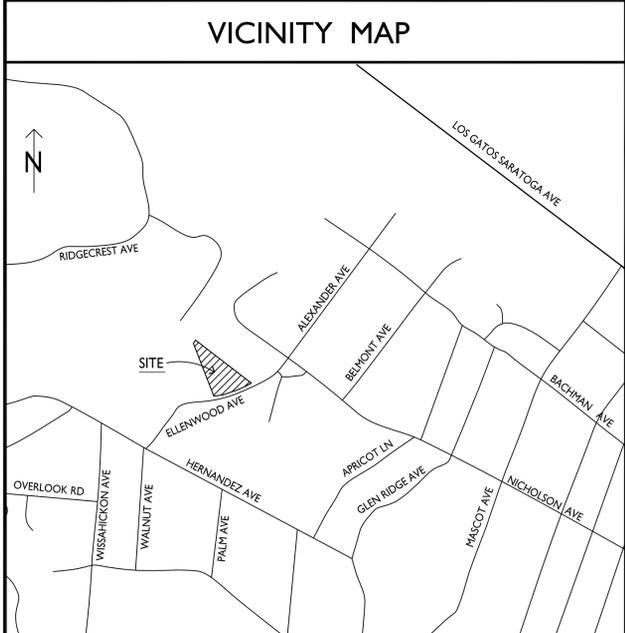


62 ELLENWOOD



ARCANUM
 REGISTERED ARCHITECT
 TIMOTHY CHAPPELLE
 REV. 07.31.14
 STATE OF CALIFORNIA
 C-370088
 Arcanum Architecture, Inc.
 329 Bryant Street, Suite 3C
 San Francisco, CA 94107
 415.357.4400
 arcanumarchitecture.com

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068



PROJECT DIRECTORY

OWNER:	Case and Lisa Swenson 62 Ellenwood Avenue Los Gatos, CA 95030	Lisa Swenson T: (408) 690-0173 E: lisa@swenson.com
ARCHITECT:	Arcanum Architecture, Inc. 329 Bryant Street, Suite 3C San Francisco, CA 94107	Tim Chappelle T: (415) 357-4400 E: tim@arcanumarchitecture.com
SURVEYOR:	Westfall Engineers, Inc. 14583 Big Basin Way Saratoga, CA 95070	Harry Babicka T: (408) 867-0244 E: harry@westf.com
LANDSCAPE ARCHITECT:	Studio Green 232 Sir Francis Drake Blvd San Anselmo, CA 94960	John Merten T: (415) 721-0905 E: john@studiogreen.com
CIVIL:	BKF Engineers 255 Shoreline Drive, Suite 200 Redwood City, CA 94065	Craig Smith T: (650) 482-6300 E: csmith@bkf.com
GEOTECHNICAL ENGINEER:	Pollak Engineers, Inc. 61 East Main Street, Suite D Los Gatos, CA 95030	Robert Pollak T: (408) 499-5589 E: rp@pollakengineering.com

PROJECT STATISTICS

PROJECT LOCATION:	62 ELLENWOOD AVENUE LOS GATOS, CA 95030
A.P.N.:	510-20-068
LOT SIZE:	32,733 SF (0.75 ACRES) PER SURVEY
PROJECT TYPE:	(N) TWO STORY SINGLE FAMILY DWELLING W/ PARTIAL BASEMENT. THE PROJECT ALSO WILL INCLUDE A (N) POOL AND POOL PAVILION.
EXISTING CONDITIONS:	ALL (E) STRUCTURES TO BE DEMOLISHED OR REMOVED.
ZONING:	R-1:12
OCCUPANCY GROUP:	R-3 SINGLE FAMILY DWELLING, U-GARAGE
CONSTRUCTION TYPE:	TYPE V-B
STORIES:	TWO OVER PARTIAL BASEMENT
SEPTIC/SEWER:	SEWER
SIZE OF PROPERTY:	0.75 ACRES (32,733 SF)
IMPERVIOUS COVERAGE:	NONE
WILDLAND URBAN INTERFACE FIRE AREA:	IN - VERY HIGH
SANITARY DISTRICT:	WEST VALLEY SANITATION DISTRICT
GRADING QUANTITIES:	SEE CIVIL DRAWINGS
LOT AVERAGE SLOPE:	7.9%
LOT UNDER HDGS:	YES (LOT AREA > 30,000 SF) NOTE: NO NEED TO FOLLOW HDGS. SEE LOT AVERAGE SLOPE
FIRE SPRINKLERS:	YES

SHEET INDEX

<ul style="list-style-type: none"> ■ A0.0 COVER SHEET ■ SU-1 BOUNDARY AND TOPOGRAPHIC SURVEY 	<ul style="list-style-type: none"> ■ A1.0 STREETScape ELEVATIONS AND SECTIONS ■ A1.1 STREETScape ELEVATIONS AND SECTIONS ■ A1.2 SHADOW STUDIES
CIVIL <ul style="list-style-type: none"> ■ C0.0 TITLE SHEET ■ C0.1 NOTES ■ C1.1 EXISTING CONDITIONS ■ C2.1 GRADING PLAN ■ C2.2 SITE SECTIONS ■ C3.1 UTILITY PLAN ■ C4.1 EROSION CONTROL PLAN ■ C4.2 BEST MANAGEMENT PRACTICES ■ C5.1 DETAIL SHEET 	LANDSCAPE <ul style="list-style-type: none"> ■ L0.0 SITE PLAN & LANDSCAPE COVER SHEET ■ L0.0R RENDERED SITE PLAN ■ L0.1 EXISTING TREE & REMOVAL PLAN ■ L0.2 EXISTING TREE & REMOVAL PLAN ■ L1.0 MATERIAL & CALLOUT PLAN ■ L1.1 MATERIAL & CALLOUT PLAN ■ L2.0 LIGHTING SCHEDULE & PLAN ■ L2.1 LIGHTING PLAN ■ L3.0 LIGHTING LEGEND ■ L3.1 PLANTING PLAN ■ L3.2 PLANTING PLAN ■ L5.0 DETAILS ■ L5.1 DETAILS ■ L5.2 DETAILS ■ L5.3 SECTIONS/ ELEVATIONS
ARCHITECTURAL <ul style="list-style-type: none"> ■ A0.1 EXISTING SITE PLAN AND SITE PHOTOS ■ A0.2 SITE PLAN ■ A0.3 BASEMENT FLOOR PLAN ■ A0.4 FIRST FLOOR PLAN ■ A0.5 SECOND AND POOL PAVILION FLOOR PLANS ■ A0.6 EXTERIOR ELEVATIONS ■ A0.7 EXTERIOR ELEVATIONS ■ A0.8 EXTERIOR ELEVATIONS AND SECTIONS ■ A0.9 POOL PAVILION EXTERIOR ELEVATIONS 	

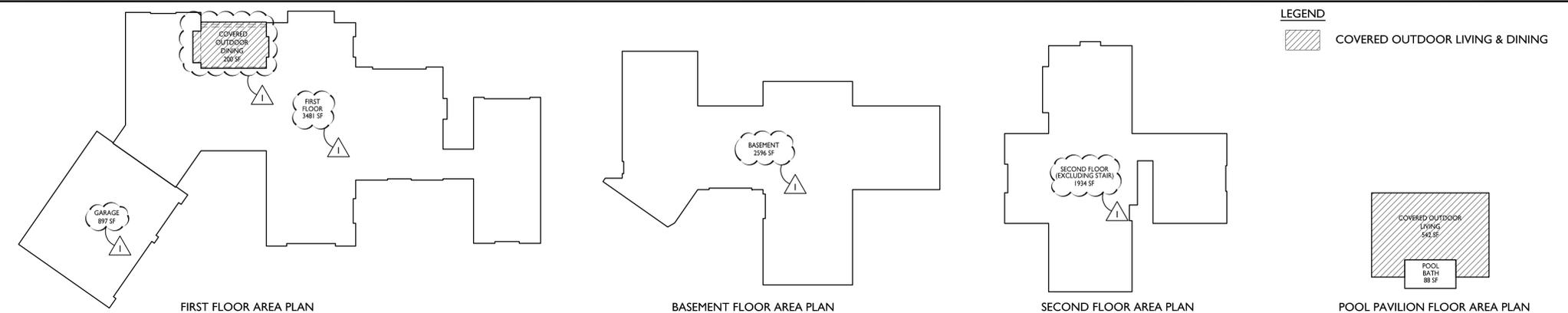
Date:	
Drawn By:	
Checked By:	
Project No.:	18004
Date:	4.23.20
Issue:	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS

FLOOR AREA CALCULATIONS

PLANNING FLOOR AREA CALCULATIONS:

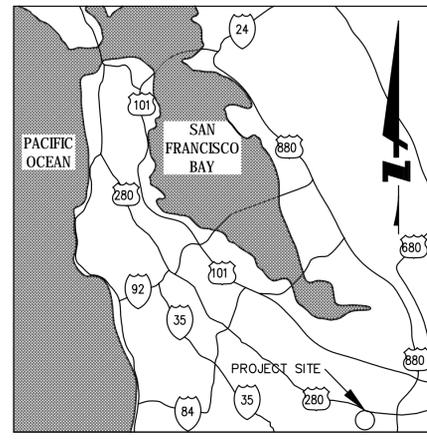
ALLOWABLE FLOOR AREA (AFA):	PROPOSED	ALLOWED
FIRST FLOOR:	3481 SF	
SECOND FLOOR (EXCLUDING STAIR):	1934 SF	
GARAGE: (897 SF - 400 SF ^{**})	497 SF	
POOL BATH:	88 SF	
BASEMENT LEVEL (NOT INCLUDED):	2596 SF	
TOTAL:	6000 SF	6000 SF
LOT COVERAGE:		
FIRST FLOOR (INCLUDING GARAGE):	4378 SF	
POOL BATH:	88 SF	
COVERED OUTDOOR LIVING & DINING:	742 SF	
TOTAL:	5208 SF	13093 SF

** THE FIRST 400 SQUARE FEET OF A GARAGE, ATTACHED OR DETACHED, IS EXCLUDED FROM THE FLOOR AREA ALLOWANCE



COVER SHEET

A0.0



VICINITY MAP
N.T.S.

SWENSON RESIDENCE

62 ELLENWOOD AVENUE

LOS GATOS, CA

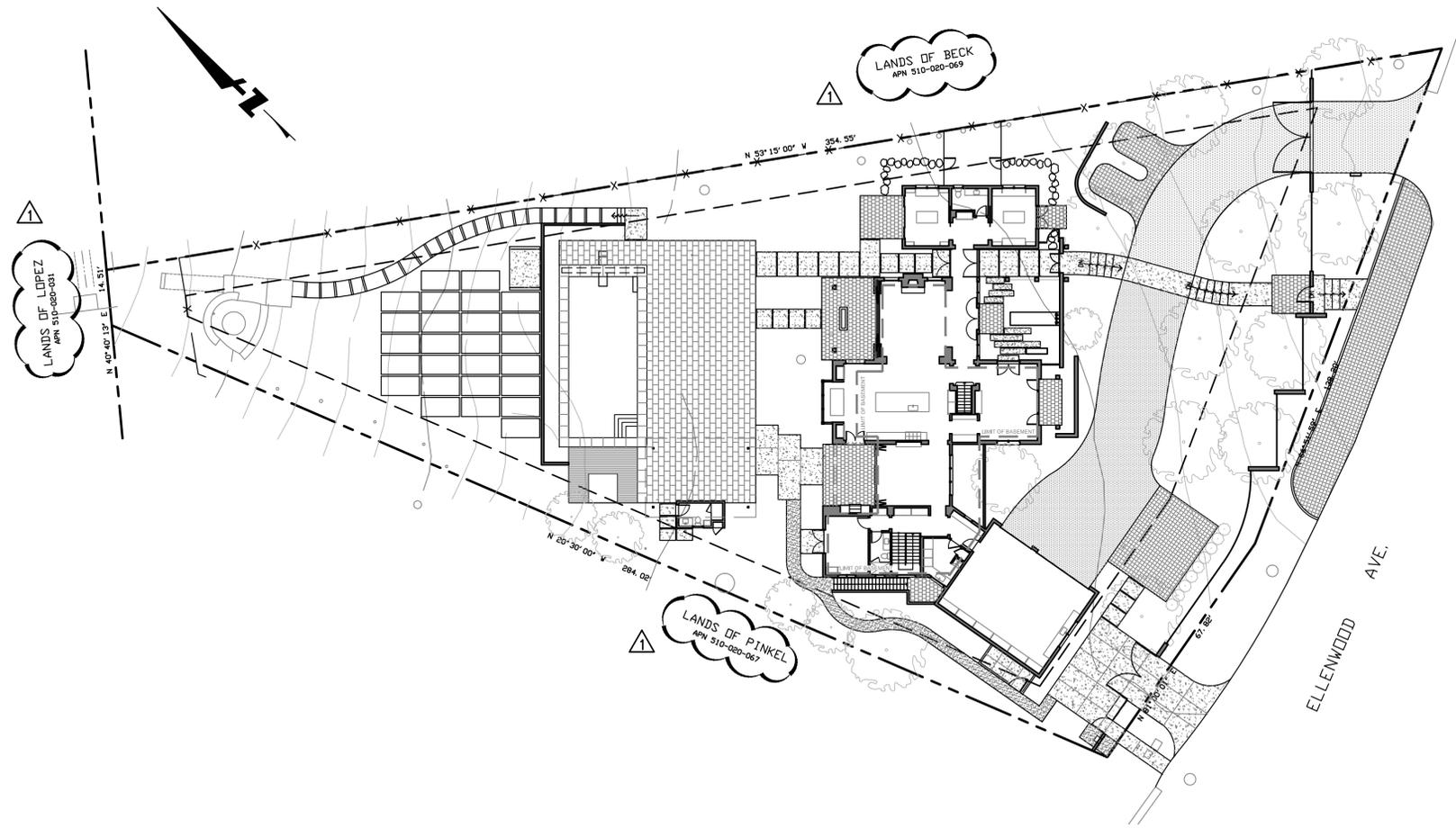
APN: 510-020-068



LOCATION MAP
N.T.S.

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PH	POOL HOUSE
PV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



LEGEND:

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	LIMIT OF WORK
---	---	SANITARY SEWER
---	---	SOLID STORM DRAIN
---	---	PERFORATED SUB DRAIN
---	---	FORCE MAIN
---	---	FIRE SERVICE
---	---	DOMESTIC WATER SERVICE
---	---	IRRIGATION SERVICE
---	---	NATURAL GAS
---	---	TELEPHONE
---	---	TV/CABLE TV
---	---	ELECTRIC
---	---	JOINT TRENCH
---	---	OVERHEAD WIRES
---	---	FENCE
---	---	CLEAN OUT TO GRADE
---	---	FOUND MONUMENT
---	---	DOUBLE DETECTOR CHECK VALVE
---	---	VALVE
---	---	METER BOX
---	---	STREET LIGHT
---	---	DRAIN
---	---	ATRIUM DRAIN
---	---	CATCH BASIN
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BENCHMARK
---	---	MANHOLE
---	---	SIGN
---	---	SPLASH BLOCK
---	---	DETAIL NUMBER
---	---	SHEET LOCATION

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C0.1	NOTES
C1.1	EXISTING CONDITIONS
C2.1	GRADING PLAN
C2.2	SITE SECTIONS
C3.1	UTILITY PLAN
C4.1	EROSION CONTROL PLAN
C4.2	BEST MANAGEMENT PRACTICES
C5.1	DETAIL SHEET

ENGINEER'S STATEMENT

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

ROLAND N.V. HAGA
VICE PRESIDENT
P.E. #43971
BKF ENGINEERS



ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.



DALE LEDA
PROJECT MANAGER
P.E. #78436
BKF ENGINEERS

EARTHWORK QUANTITIES

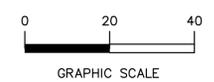
GROSS FIGURES		QUANTITY BREAKDOWN	
CUT	1,770 CUBIC YARDS	BUILDINGS (BASEMENT/LIGHTWELL)	
FILL	140 CUBIC YARDS	CUT	1,370 CUBIC YARDS
TOTAL	1,910 CUBIC YARDS	BUILDINGS (CS/SLAB ON GRADE)	
BALANCE	1,630 CUBIC YARDS OF EXPORT	CUT	100 CUBIC YARDS
		POOL	
		CUT	190 CUBIC YARDS
		DRIVEWAY	
		CUT	60 CUBIC YARDS
		FILL	10 CUBIC YARDS
		SITE WORK AND LANDSCAPING	
		CUT	50 CUBIC YARDS
		FILL	140 CUBIC YARDS
		BALANCE	30 CUBIC YARDS OF IMPORT

FOR SITE DEVELOPMENT REVIEW SUBMITTAL, EARTHWORK CUT VOLUME WITHIN FOOTPRINT OF HOUSE AND POOL HAVE BEEN OMITTED.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

IMPERVIOUS AREAS

TOTAL PROPERTY AREA	32,753 SF
IMPERVIOUS AREAS:	
PRE-CONSTRUCTION	14,336 SF
POST-CONSTRUCTION	15,805 SF



TITLE SHEET
SWENSON RESIDENCE
62 ELLENWOOD AVENUE
SANTA CLARA COUNTY
LOS GATOS
CALIFORNIA



Date	08/18/2020
Revisions	
No.	1
Date	04/23/2020
Scale	AS SHOWN
Design	CHS
Drawn	CW
Approved	DLL
Job No	20200194-10
Drawing Number:	

CO.O
OF

CAUTION:

- 1. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION-- PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

GENERAL SITE NOTES:

- 1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
2. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
3. PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO PROJECT MANAGER.
4. DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY/TOWN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY POLLAK GEOTECHNICAL ENGINEERS, INC. DATED MARCH 3, 2017.

DEMOLITION NOTES :

- 1. CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
2. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, DEMOLITION, AND DISPOSAL OF HAZARDOUS MATERIALS AS REQUIRED BY PRIVATE, LOCAL, AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
5. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
6. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
7. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
8. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
9. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
10. COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
11. THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

RECORD DRAWINGS:

- 1. THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY/TOWN ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY/TOWN ENGINEER.

STORM DRAIN MAINTENANCE NOTES:

PLEASE NOTE THAT REGULAR MAINTENANCE ON GRADING AND DRAINAGE STRUCTURES IS REQUIRED TO ENSURE FUNCTIONALITY THROUGHOUT THE LIFE OF THE PROPERTY. MAINTENANCE SHOULD INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- 1. THE CLEARING OF DEBRIS FROM THE DETENTION SYSTEM/SEDIMENTATION INLET AND STORM DRAIN LINES.
2. ROOF GUTTERS AND DOWNSPOUTS SHOULD BE CLEARED BEFORE THE BEGINNING OF EACH RAINY SEASON AND AS NEEDED THROUGHOUT THE WINTER MONTHS.
3. FOUNDATION SUBDRAINS SHOULD BE INSPECTED VIA CLEANOUTS ONCE EVERY 5 YEARS AND SNAKED AS NEEDED TO CLEAR DEBRIS.
4. SURFACE GRADING MAY ALSO REQUIRE CONTINUED REFINEMENT, INCLUDING THE CLEARING AND RE-FINISHING OF VEGETATED SWALES AND SLOPES TO MINIMIZE PONDING, MAINTAIN POSITIVE DRAINAGE AWAY FROM IMPROVEMENTS AND PROTECT AGAINST EROSION.
5. GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NEEDED.
6. FINALLY, DRAINAGE SWALES AND CONCRETE VALLEY GUTTERS UPHILL OF THE SITE WALLS SHOULD BE CONTINUOUSLY MONITORED AND CLEARED OF LEAVES AND DIRT DEBRIS.

TREE/PLANT PROTECTION NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIALS; AS WELL AS FROM PUDDING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY/TOWN'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
4. REFER TO ARBORIST REPORT FOR ADDITIONAL TREE PROTECTION MEASURES.

HORIZONTAL CONTROL NOTES:

- 1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

PAVEMENT SECTION:

- 1. SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
2. SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
3. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY/TOWN ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
4. ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

SITE MAINTENANCE:

- 1. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
2. SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY.
3. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
4. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
5. ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.
6. UPON PROJECT COMPLETION THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

DUST CONTROL:

- 1. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
2. ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWPT ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY/TOWN'S DEPARTMENT OF PUBLIC WORKS.
3. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARP/AULINS OR OTHER EFFECTIVE COVERS.
4. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
5. THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
6. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT NPDES AT ALL TIMES. THE SITE SHALL BE SPRINKLERED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.

NPDES REQUIREMENTS:

- 1. ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY/TOWN OR COUNTY STORM DRAIN SYSTEMS.
2. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
9. CLEAN UP ALL SPILLS USING DRY METHODS.
10. SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.
11. CALL 911 IN CASE OF A HAZARDOUS SPILL.
12. BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY/TOWN INSPECTORS).
13. UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARP/AULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
5. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
6. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
8. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE CITY/TOWN'S RIGHT-OF-WAY IS PERMITTED.
9. ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
10. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

SITE FENCE NOTES:

- 1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
2. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
3. CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY/TOWN STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

GENERAL UTILITY SYSTEM NOTES:

- 1. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
2. CLEAN OUTF, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
3. CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, SATELLITE DISH, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
4. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, THE UTILITIES SHOWN ON THE FINAL DRAWINGS, AND THE SITE POWER, CONDUTS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
5. CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL. IF RECOMMENDED BY THE GEOTECHNICAL REPORT, CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNER'S PROJECT MANAGER.
6. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
7. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
8. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
9. EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
10. VERTICAL SEPARATION REQUIREMENTS:
A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED.
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

FIRE PROTECTION NOTES:

- 1. CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT AREAS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.

TOWN OF LOS GATOS STANDARD GRADING NOTES:

- 1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
2. NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND RECREATION DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:
a. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
b. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
4. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
5. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.

TOWN OF LOS GATOS STANDARD GRADING NOTES (CONT.):

- 6. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
7. IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
8. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
9. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
10. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
a. RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
b. TOE AND TOP OF CUT AND FILL SLOPES.
12. PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS. REFERENCE REPORT BY POLLAK GEOTECHNICAL ENGINEERS, INC. DATED MARCH 3, 2017. SHALL BE THOROUGHLY COMPLETED WITH BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
13. DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
14. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN AS-BUILT LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
15. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. TEMPORARY RESURFS ARE NEEDED THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
17. OWNER/APPLICANT: LISA SWENSON PHONE: _____
18. GENERAL CONTRACTOR (IF AVAILABLE): TBD PHONE: _____
19. GRADING CONTRACTOR (IF AVAILABLE): TBD PHONE: _____
20. OUT: 1,780 CY EXPORT; 1,620 CY FILL; 160 CY IMPORT; 0 CY
21. WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
23. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
24. NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
25. IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
26. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
27. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

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ENGINEERS . SURVEYORS . PLANNERS

NOTES SWENSON RESIDENCE 62 ELLENWOOD AVENUE SANTA CLARA COUNTY CALIFORNIA

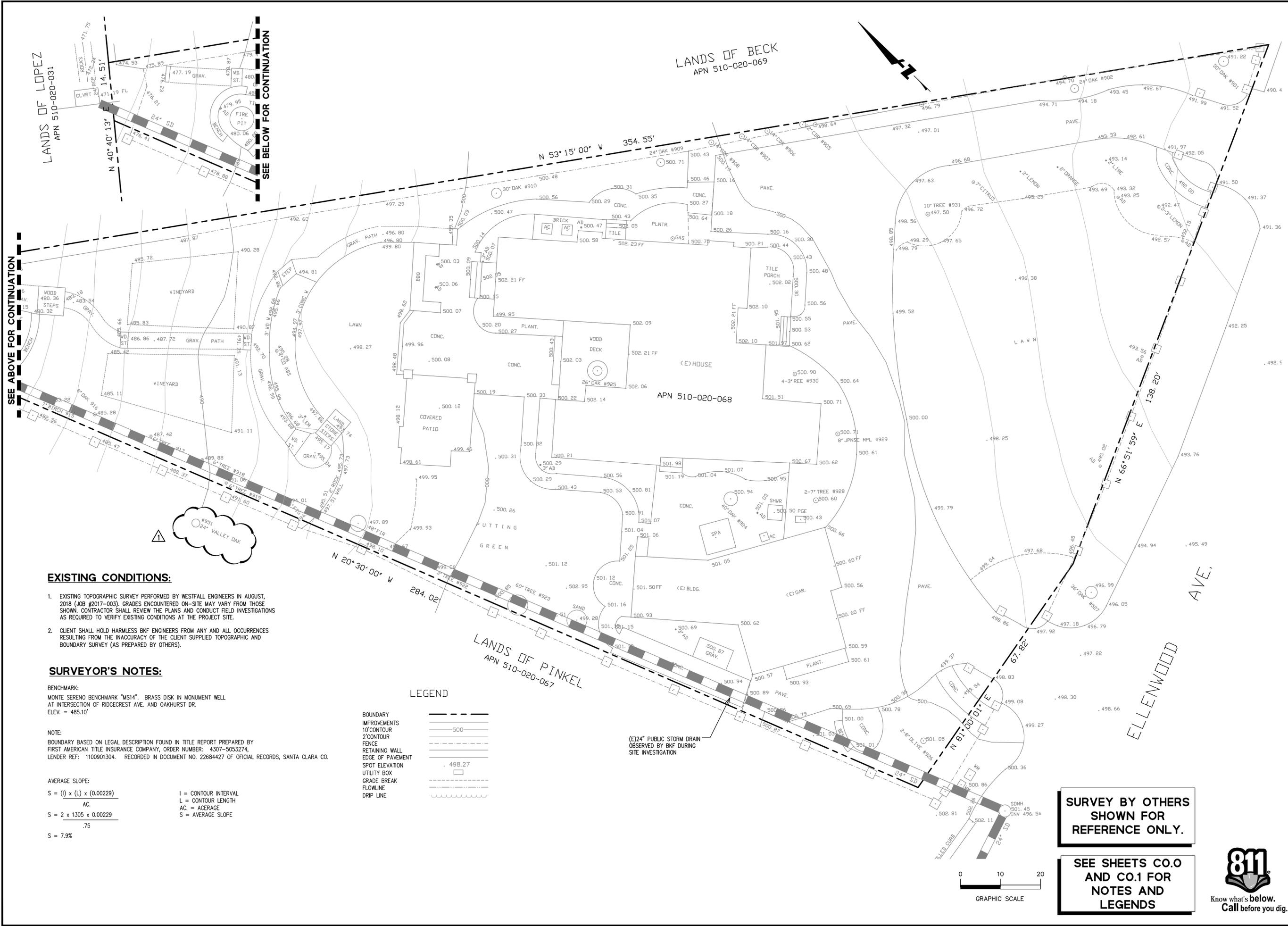
LOS GATOS



Table with columns: Date, Revisions, No., Title, Scale, Design, Drawn, Approved, Job No.

Drawing Number: CO.1 OF

Date	Revisions	No.	TR COMMENTS
08/18/2020		1	
04/23/2020		2	
04/23/2020		3	
04/23/2020		4	
04/23/2020		5	
04/23/2020		6	
04/23/2020		7	
04/23/2020		8	
04/23/2020		9	
04/23/2020		10	



SEE ABOVE FOR CONTINUATION

SEE BELOW FOR CONTINUATION

EXISTING CONDITIONS:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY WESTFALL ENGINEERS IN AUGUST, 2018 (JOB #2017-003). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT SHALL HOLD HARMLESS BKF ENGINEERS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BENCHMARK:
MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR.
ELEV. = 485.10'

NOTE:
BOUNDARY BASED ON LEGAL DESCRIPTION FOUND IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: 4307-5053274. LENDER REF: 1100901304. RECORDED IN DOCUMENT NO. 22684427 OF OFFICIAL RECORDS, SANTA CLARA CO.

AVERAGE SLOPE:
S = (l) x (L) x 0.00229
AC.
S = 2 x 1305 x 0.00229
.75
S = 7.9%

I = CONTOUR INTERVAL
L = CONTOUR LENGTH
AC. = ACERAGE
S = AVERAGE SLOPE

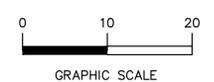
LEGEND



(E)24" PUBLIC STORM DRAIN OBSERVED BY BKF DURING SITE INVESTIGATION

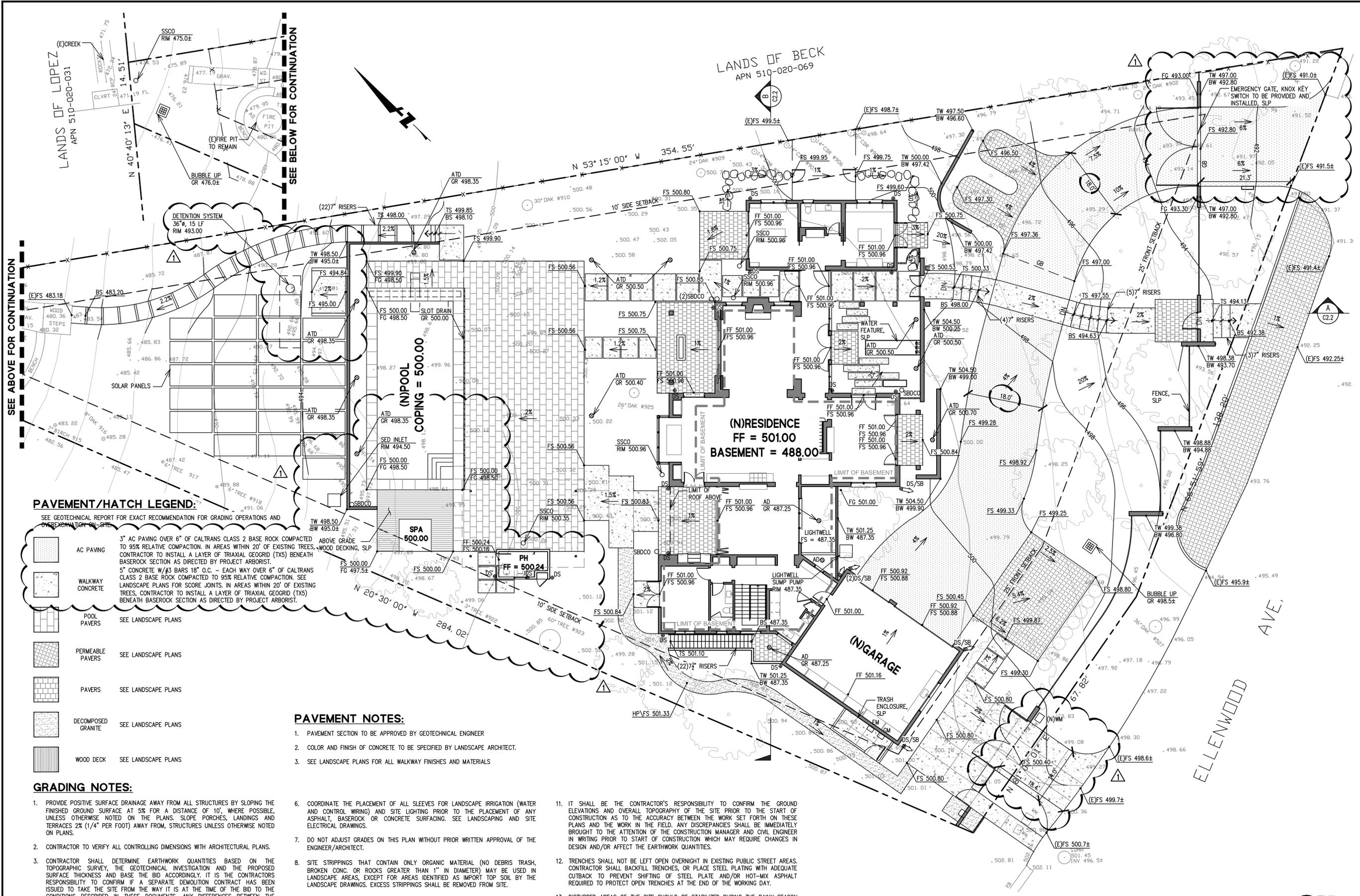
SURVEY BY OTHERS SHOWN FOR REFERENCE ONLY.

SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS





Date	Revisions	No.	TR COMMENTS
08/19/2020			
04/23/2020			



PAVEMENT/HATCH LEGEND:

SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND EXCAVATION ON SITE.

- AC PAVING
3" AC PAVING OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. IN AREAS WITHIN 20' OF EXISTING TREES, WOOD DECKING, SLP CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
- WALKWAY CONCRETE
5" CONCRETE W/ #3 BARS 18" O.C. - EACH WAY OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. SEE LANDSCAPE PLANS FOR SCORE JOINTS. IN AREAS WITHIN 20' OF EXISTING TREES, CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
- POOL PAVERS
SEE LANDSCAPE PLANS
- PERMEABLE PAVERS
SEE LANDSCAPE PLANS
- PAVERS
SEE LANDSCAPE PLANS
- DECOMPOSED GRANITE
SEE LANDSCAPE PLANS
- WOOD DECK
SEE LANDSCAPE PLANS

PAVEMENT NOTES:

1. PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER
2. COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
3. SEE LANDSCAPE PLANS FOR ALL WALKWAY FINISHES AND MATERIALS
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT BY POLLAK GEOTECHNICAL ENGINEERS, INC. DATED MARCH 3, 2017 AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASE ROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
7. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
8. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT, WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.

11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
12. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
13. DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
14. PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOO OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

GRADING NOTES:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.



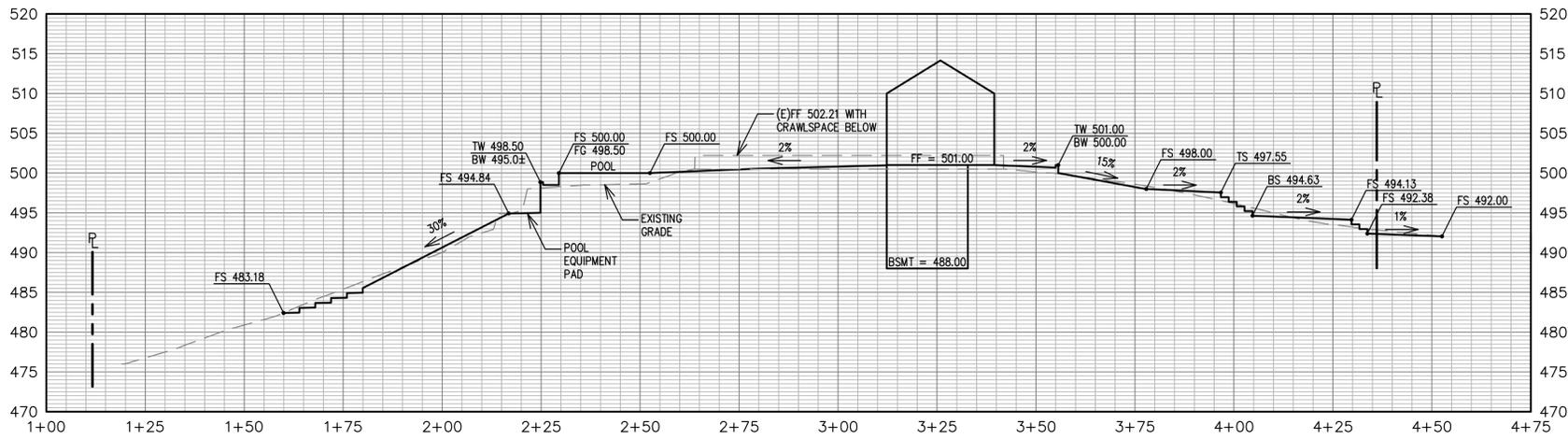
SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



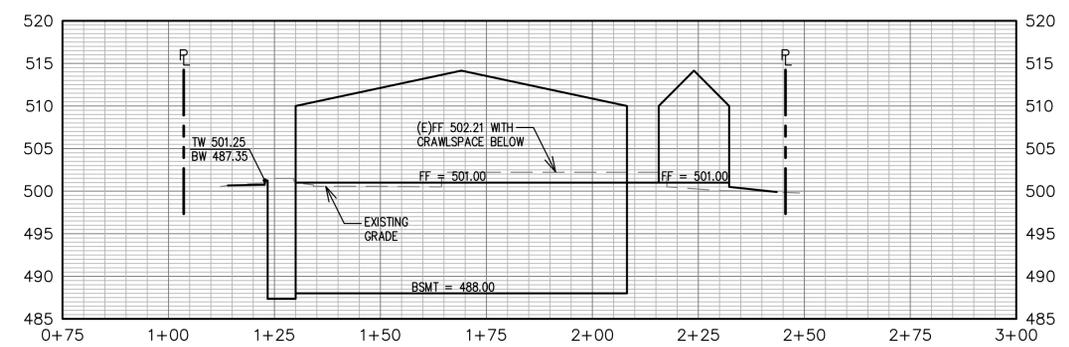
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PLOT DATE: 08-19-20 PLOTTED BY: wort



Date	Revisions	No.	Date
08/18/2020		1	04/23/2020
	TR COMMENTS	2	AS SHOWN
		3	Design CHS
		4	Drawn CW
		5	Approved DJL
		6	Job No 20200194-10



SECTION A
SCALE: 1" = 20' HORIZ.
1" = 10' VERT.



SECTION B
SCALE: 1" = 20' HORIZ.
1" = 10' VERT.

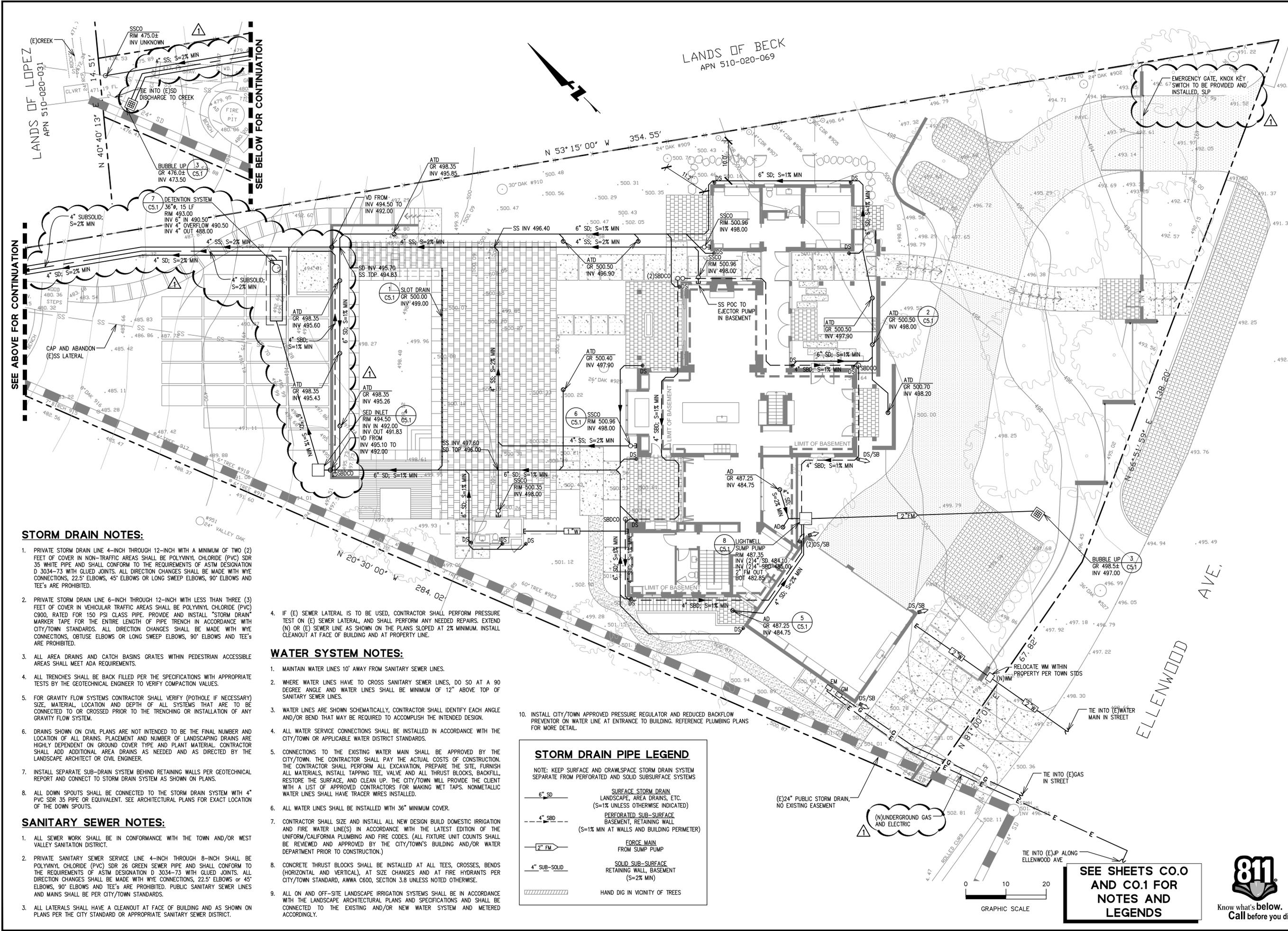
SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



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PLOT DATE: 08-19-20 PLOTTED BY: wort



Revisions	Date	TR COMMENTS
No.	04/23/2020	Scale 1" = 10'
	08/19/2020	Design CHS
		Drawn CW
		Approved DJL
		Job No 20200194-10



STORM DRAIN NOTES:

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

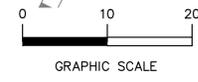
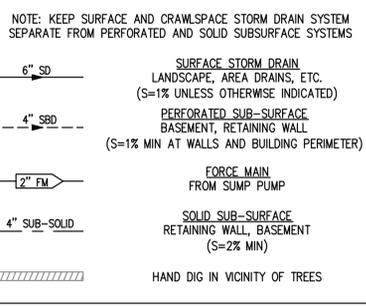
SANITARY SEWER NOTES:

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE TOWN AND/OR WEST VALLEY SANITATION DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.

WATER SYSTEM NOTES:

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY/TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY/TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY/TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

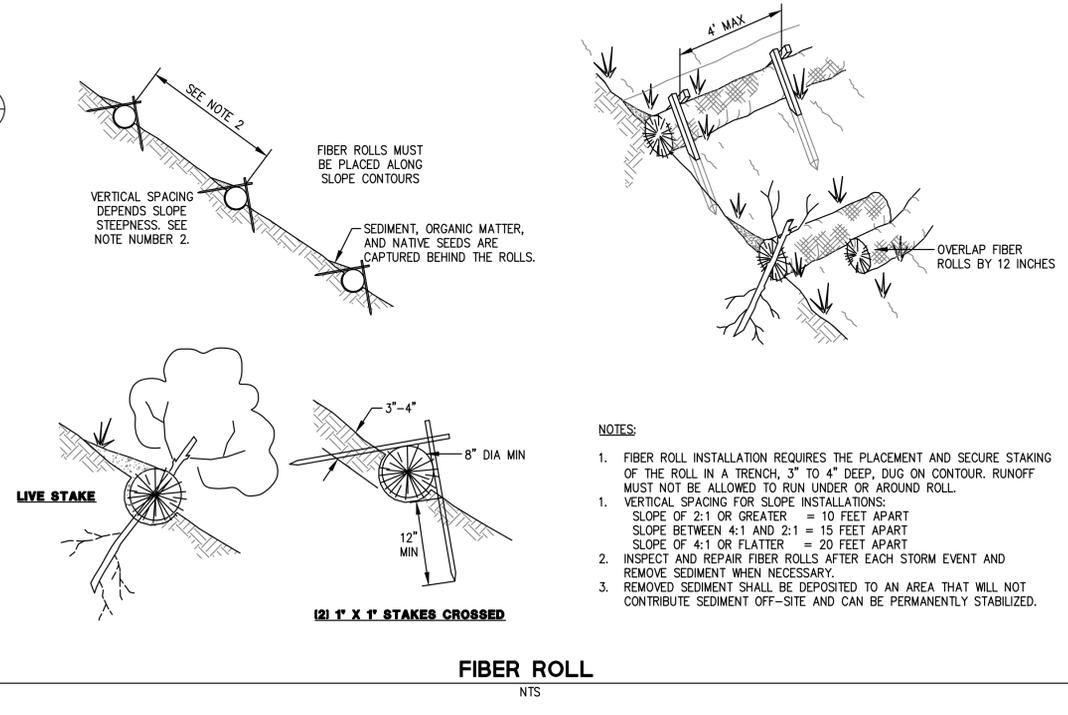
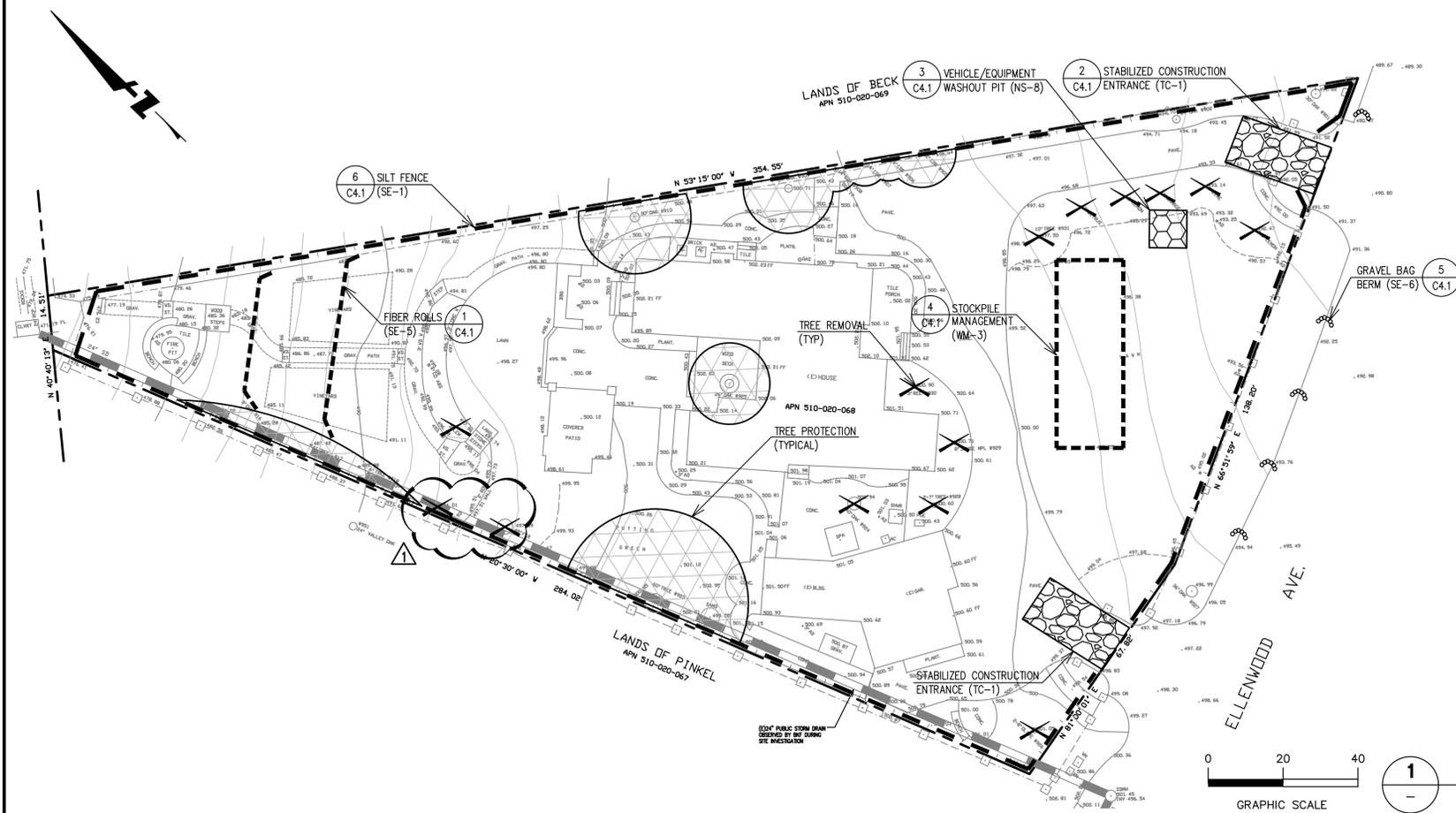
STORM DRAIN PIPE LEGEND



**SEE SHEETS C0.0
AND C0.1 FOR
NOTES AND
LEGENDS**



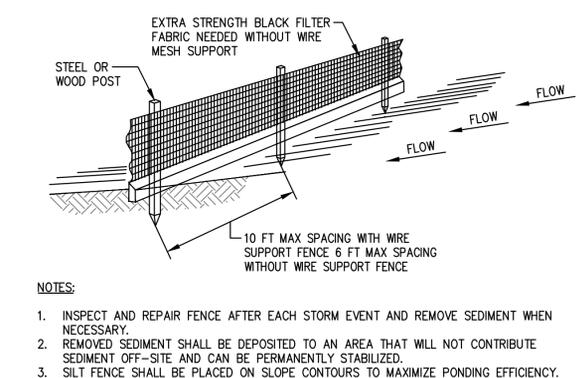
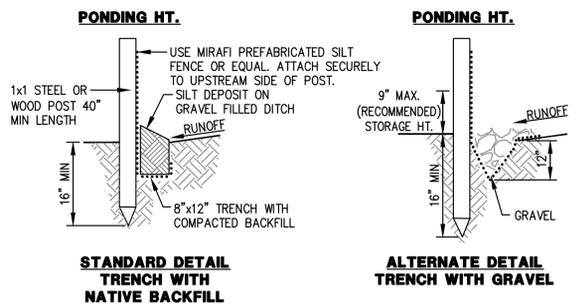
Date	08/18/2020
Revisions	
No.	
AS SHOWN	
Design	CHS
Drawn	CW
Approved	DLL
Job No	20200194-10



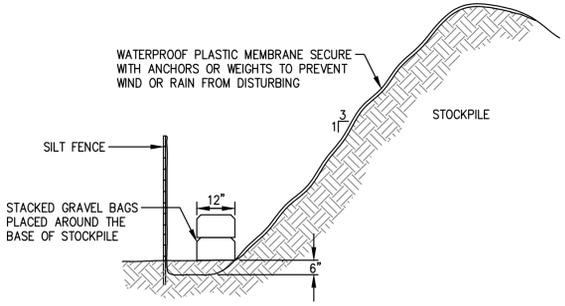
- NOTES:**
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 - VERTICAL SPACING FOR SLOPE INSTALLATIONS:
 SLOPE OF 2:1 OR GREATER = 10 FEET APART
 SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

PERMANENT EROSION/SEDIMENT CONTROLS:

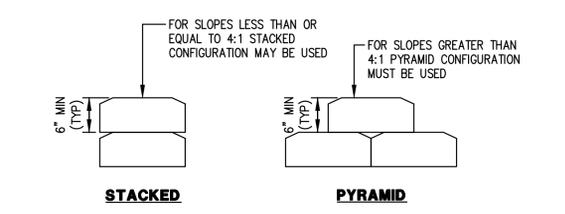
- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.



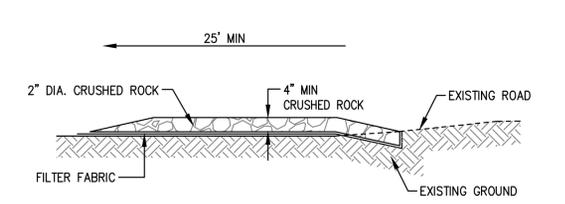
6 SILT FENCE
 NTS



4 STOCKPILE COVERING
 NTS

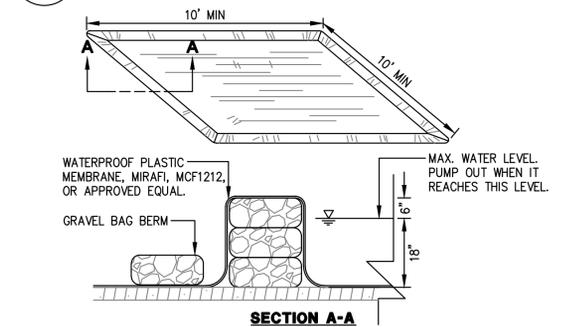


5 GRAVEL BAG BERM
 NTS



- NOTES:**
- PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
 - INSTALL ALONG NEW DWY CORRIDOR FOR THE FULL PROPOSED WIDTH.

2 STABILIZED CONSTRUCTION ENTRANCE
 NTS



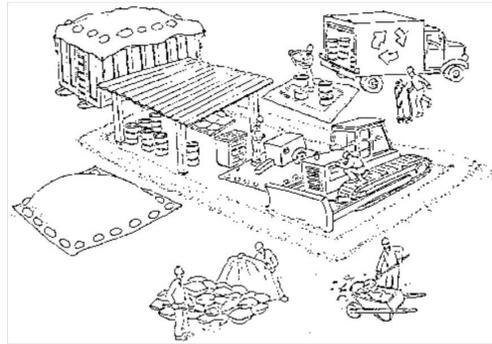
3 VEHICLE/EQUIPMENT WASHOUT PIT
 NTS

SEE SHEETS C.O.0
 AND C.O.1 FOR
 NOTES AND
 LEGENDS



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 PLOT DATE: 08-19-20 PLOTTED BY: wort

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



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PLOT DATE: 08-19-20

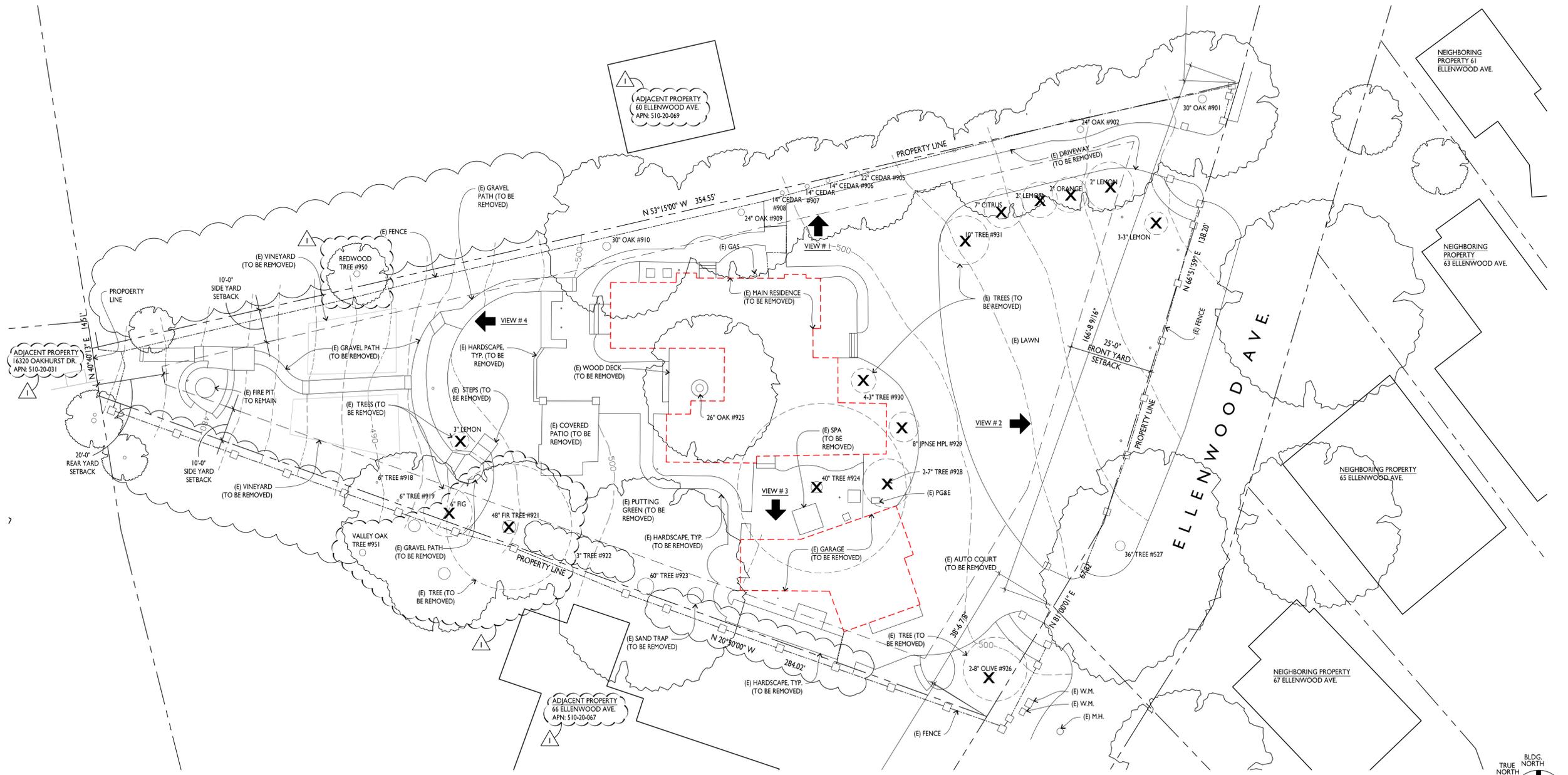
BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

BEST MANAGEMENT PRACTICES
SWENSON RESIDENCE
62 ELLENWOOD AVENUE
SANTA CLARA COUNTY
LOS GATOS
CALIFORNIA

Date	08/19/2020
Revisions	
TR COMMENTS	
No.	1
Date	04/23/2020
Scale	AS SHOWN
Design	CHS
Drawn	CW
Approved	DLL
Job No	20200194-10
Drawing Number:	C4.2
	OF

BKF100
YEARS
ENGINEERS · SURVEYORS · PLANNERS
255 SHORELINE DR.,
SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com



2 EXISTING SITE PLAN
A0.1



VIEW #1 FACING NORTH (60 ELLENWOOD AVE)



VIEW #2 FACING EAST (63 & 65 ELLENWOOD)



VIEW #3 FACING SOUTH (66 ELLENWOOD AVE)



VIEW #4 WEST (16320 OAKHURST DRIVE)

1 EXISTING SITE PHOTOS
A0.1

ARCANUM
 Arcanum Architecture, Inc.
 359 Mission St., Suite 300
 San Francisco, CA 94107
 415.357.4400
 arcanumarchitecture.com

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	4.23.20
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS

EXISTING SITE PLAN
AND SITE PHOTOS

SCALE: 1/16" = 1'-0"

A0.1



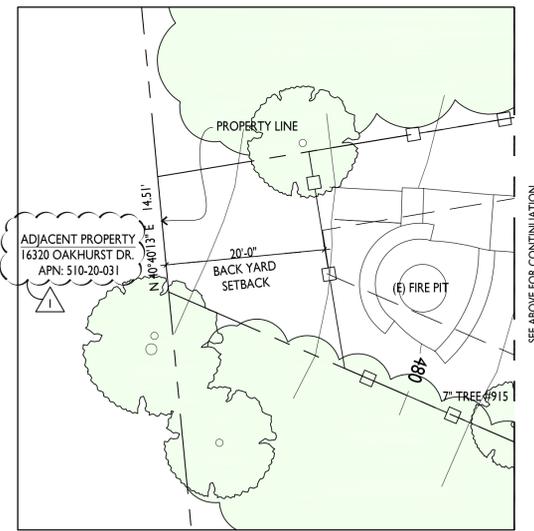
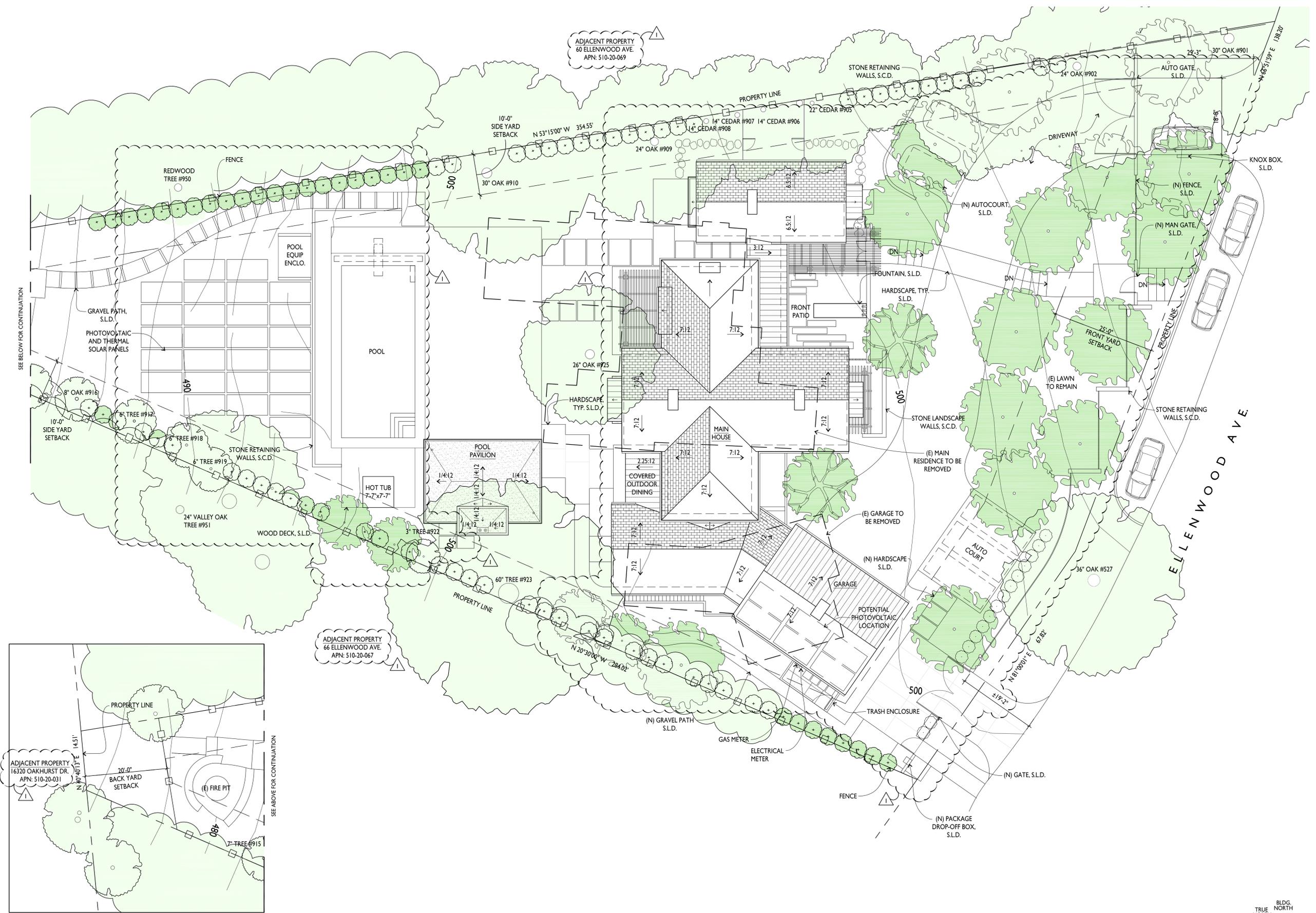
62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	4.23.20
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS

SITE PLAN

SCALE: 3/32" = 1'-0"

A0.2



SITE PLAN
A0.2





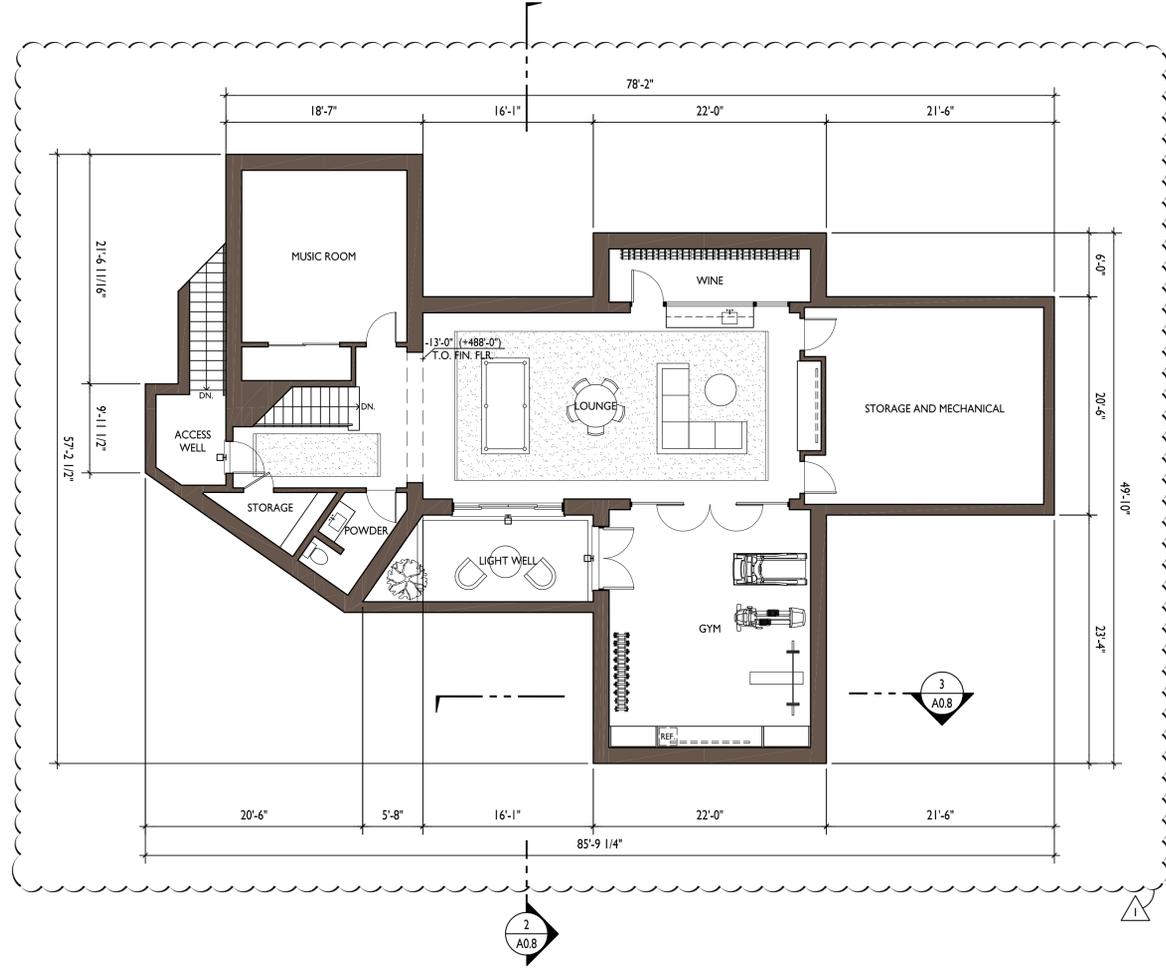
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	_____
Drawn By	_____
Checked By	_____
Project No.	18004
Date	4.23.20
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS

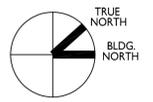
BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

A0.3



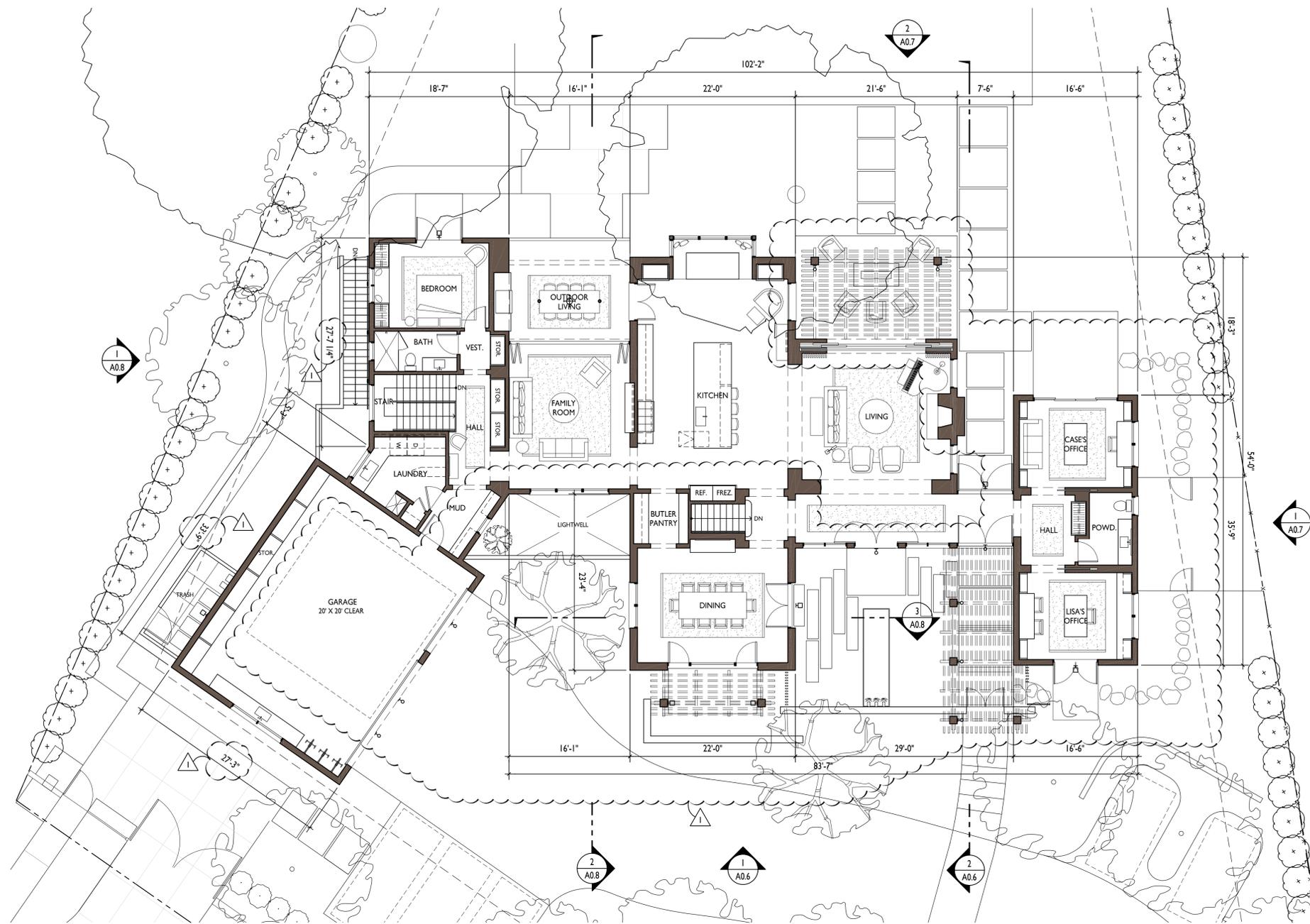
1 A0.3 BASEMENT FLOOR PLAN



LIGHTING LEGEND

- 1 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- 2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- 3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- 4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- 5 PENDANT LIGHT

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.



1 A0.4 FIRST FLOOR PLAN



LIGHTING LEGEND

L1 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)

L2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)

L3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)

L4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)

L5 PENDANT LIGHT

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.

ARCANUM
 arcanumarchitecture.com
 359 Mission St., Suite 300
 San Francisco, CA 94107
 415.337.4400

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Issue	T.R. COMMENTS

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A0.4



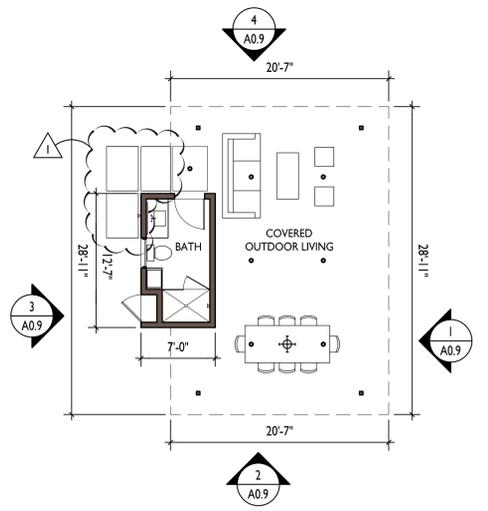
62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068

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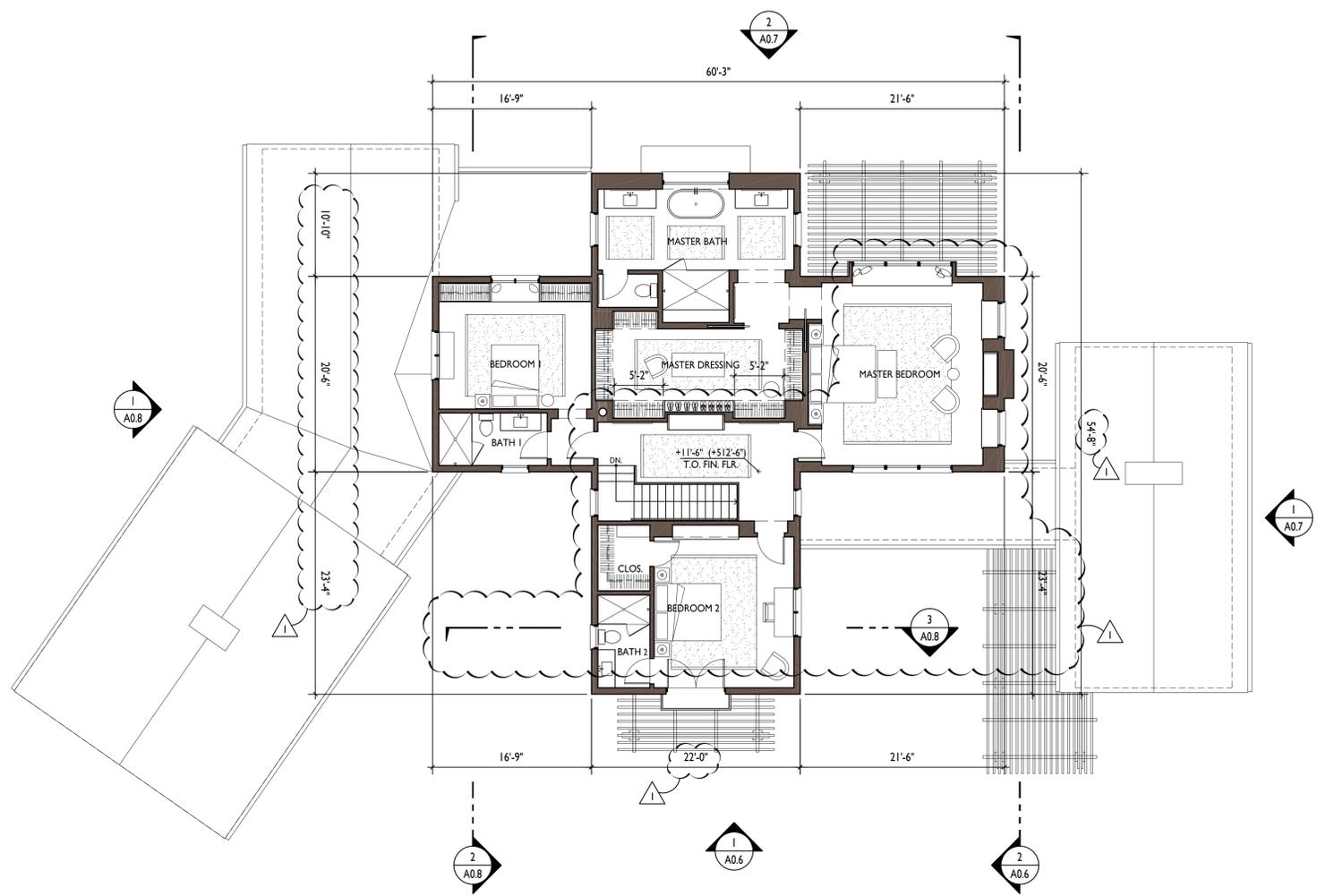
SECOND FLOOR PLAN
AND POOL PAVILION
FLOOR PLAN

SCALE: 1/8" = 1'-0"

A0.5



2 A0.5 POOL PAVILION FLOOR PLAN



1 A0.5 SECOND FLOOR PLAN

LIGHTING LEGEND

L1 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)

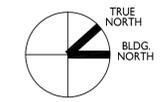
L2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)

L3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)

L4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)

L5 PENDANT LIGHT

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.





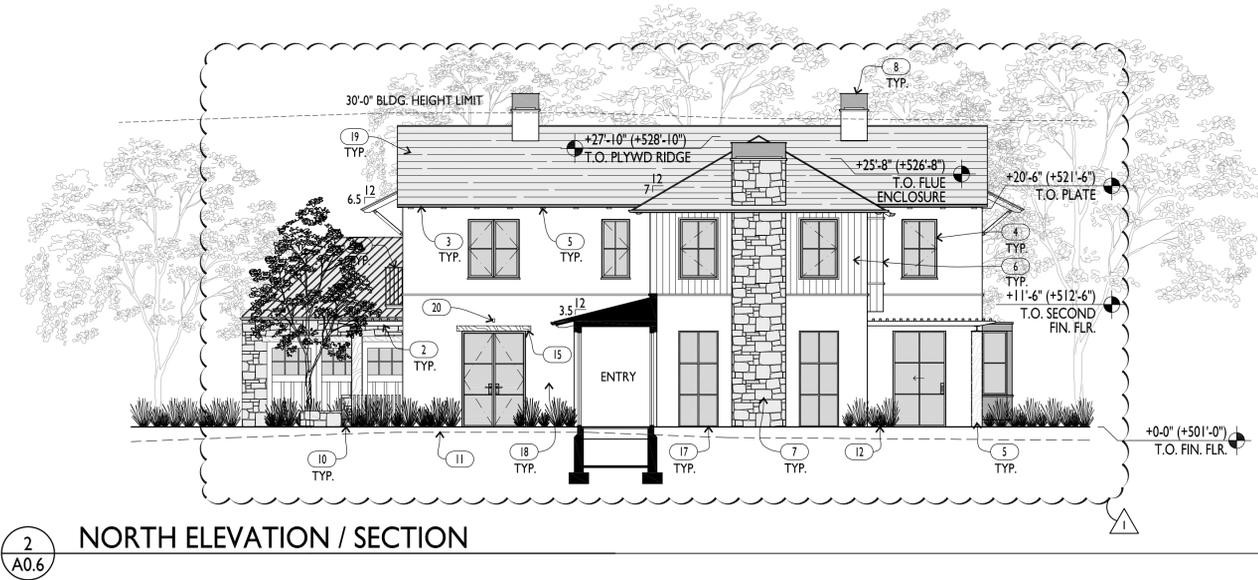
62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068

Date: _____
Drawn By: _____
Checked By: _____
Project No.: 18004
Date: 4.23.20 Issue: TECHNICAL REVIEW
8.18.20 T.R. COMMENTS

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

A0.6



KEYNOTES / FINISH NOTES

- 1 1" STANDING SEAM METAL ROOF
- 2 PAINTED STEEL TRELLIS
- 3 METAL RAW-BONDERIZED DOWNSPOUTS & GUTTERS
- 4 METAL CLAD WOOD WINDOWS

- 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS
- 6 STAINED CEDAR T&G VERTICAL WOOD SIDING
- 7 SPLIT FACED STONE VENEER
- 8 PAINTED METAL FLUE ENCLOSURE

- 9 PAINTED CEDAR GARAGE DOORS
- 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D.
- 11 (E) GRADE SHOWN DASHED
- 12 PROPOSED GRADE

- 13 PAINTED METAL DINING NOOK
- 14 PAINTED STEEL GUARDRAIL
- 15 RECLAIMED, SOLID WOOD LINTEL
- 16 PAINTED STEEL POSTS, FASCIA, AND AWNING

- 17 STEEL WINDOWS & DOORS
- 18 INTEGRAL COLOR VENEER PLASTER
- 19 SLATE TILE ROOF
- 20 EXTERIOR LIGHT FIXTURE

- 21 OUTDOOR SHOWER



62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068

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Project No.	18004
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Issue	TECHNICAL REVIEW
Date	8.18.20
Issue	T.R. COMMENTS

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

A0.7



2 WEST ELEVATION
A0.7



1 NORTH ELEVATION
A0.7



KEYNOTES / FINISH NOTES

- | | | | | | |
|---|---|---|--|----------------------------------|-------------------|
| 1 1" STANDING SEAM METAL ROOF | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS | 13 PAINTED METAL DINING NOOK | 17 STEEL WINDOWS & DOORS | 21 OUTDOOR SHOWER |
| 2 PAINTED STEEL TRELLIS | 6 STAINED CEDAR T&G VERTICAL WOOD SIDING | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 PAINTED STEEL GUARDRAIL | 18 INTEGRAL COLOR VENEER PLASTER | |
| 3 METAL RAW-BONDERIZED DOWNSPOUTS & GUTTERS | 7 SPLIT FACED STONE VENEER | 11 (E) GRADE SHOWN DASHED | 15 RECLAIMED, SOLID WOOD LINTEL | 19 SLATE TILE ROOF | |
| 4 METAL CLAD WOOD WINDOWS | 8 PAINTED METAL FLUE ENCLOSURE | 12 PROPOSED GRADE | 16 PAINTED STEEL POSTS, FASCIA, AND AWNING | 20 EXTERIOR LIGHT FIXTURE | |



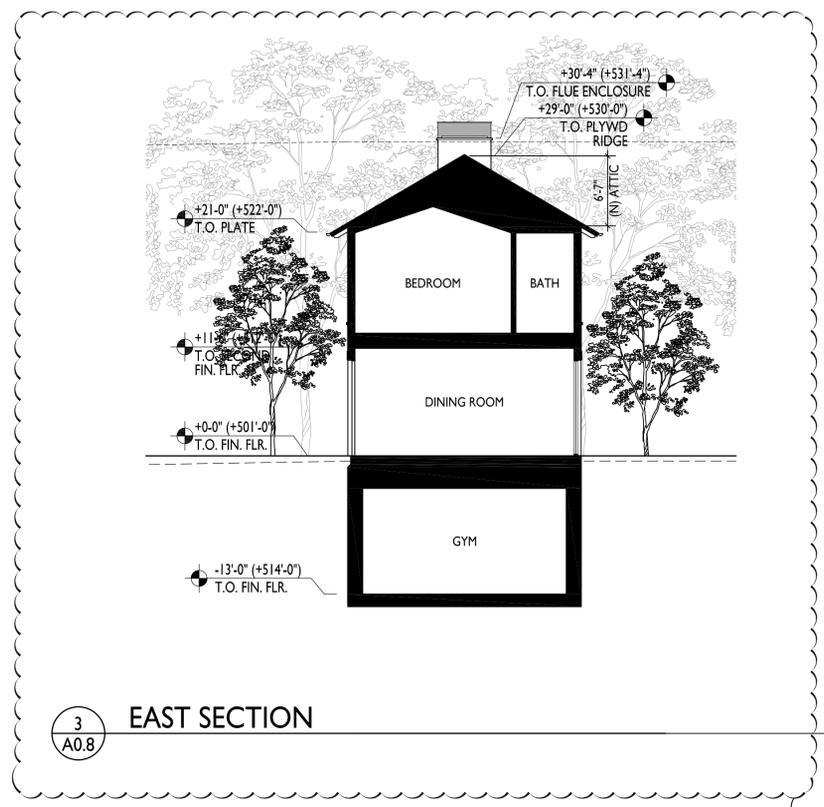
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
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Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
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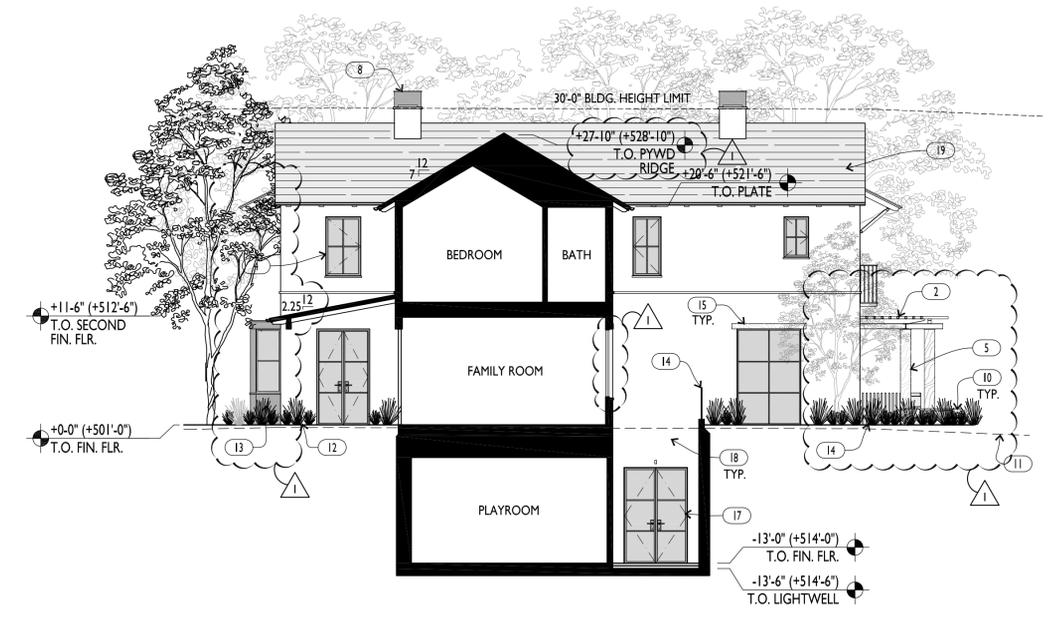
EXTERIOR
 ELEVATIONS AND
 SECTIONS

SCALE: 1/8" = 1'-0"

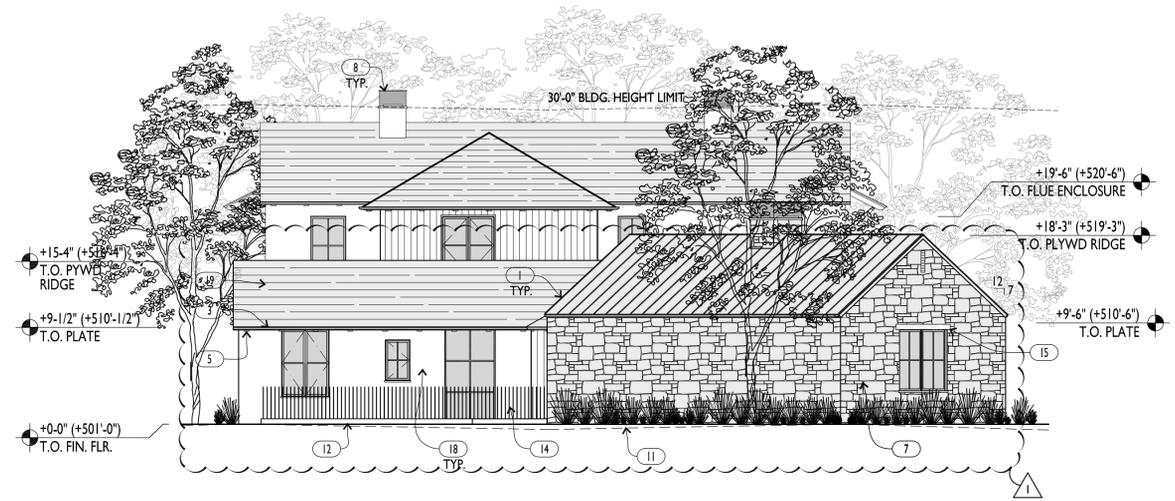
A0.8



3 EAST SECTION
 A0.8



2 SOUTH ELEVATION / SECTION
 A0.8



1 SOUTH ELEVATION
 A0.8



KEYNOTES / FINISH NOTES

- | | | | | | |
|---|---|---|---|----------------------------------|-------------------|
| 1 1" STANDING SEAM METAL ROOF | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS | 13 PAINTED METAL DINING NOOK | 17 STEEL WINDOWS & DOORS | 21 OUTDOOR SHOWER |
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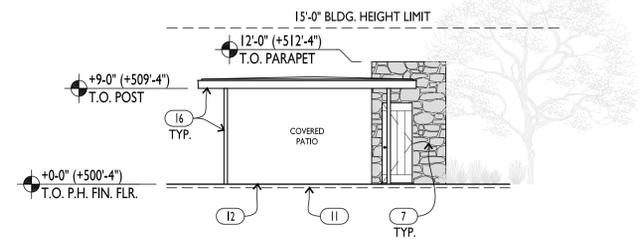
62 ELLENWOOD AVE
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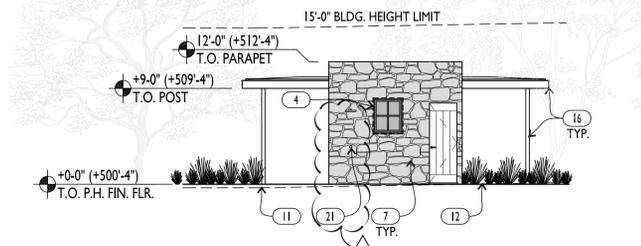
POOL PAVILION
 EXTERIOR
 ELEVATIONS

SCALE: 1/8" = 1'-0"

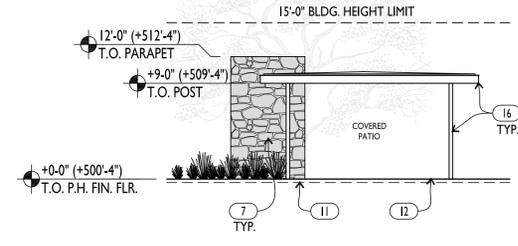
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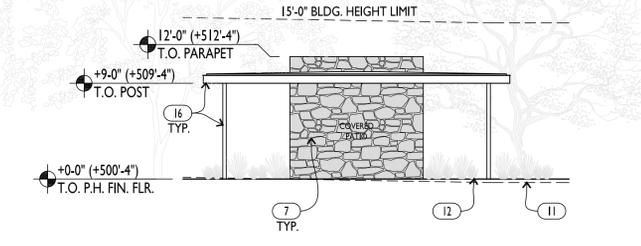
4 WEST ELEVATION
 A0.9



3 SOUTH ELEVATION
 A0.9



2 EAST ELEVATION
 A0.9



1 NORTH ELEVATION
 A0.9

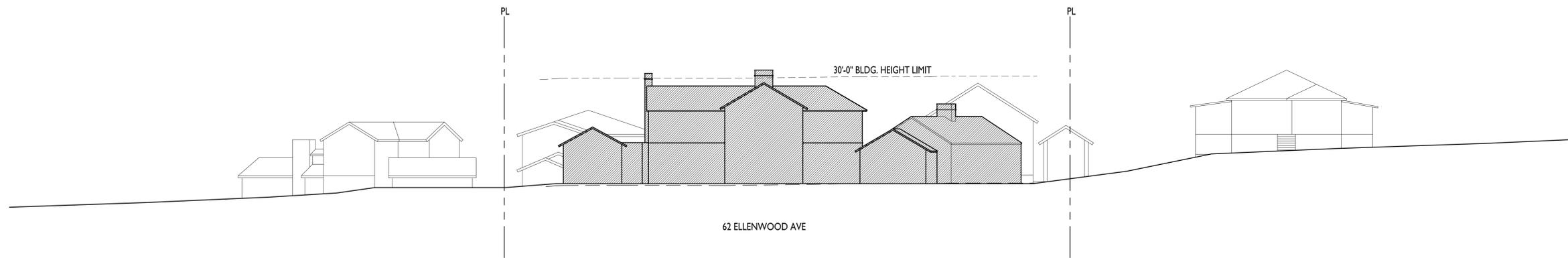


KEYNOTES / FINISH NOTES

- | | | | | | |
|---|---|---|---|----------------------------------|-------------------|
| 1 1" STANDING SEAM METAL ROOF | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS | 13 STAINED CEDAR T&G HORIZONTAL WOOD SIDING | 17 STEEL WINDOWS & DOORS | 21 OUTDOOR SHOWER |
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62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068



2 SITE SECTION - FACING EAST
A1.0



1 STREETScape ELEVATION - FACING EAST
A1.0

Date	
Drawn By	
Checked By	
Project No.	18004
Date	4.23.20
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8.18.20	T.R. COMMENTS

STREETSCAPE ELEVATIONS & SECTIONS

SCALE: 1/16" = 1'-0"

A1.0



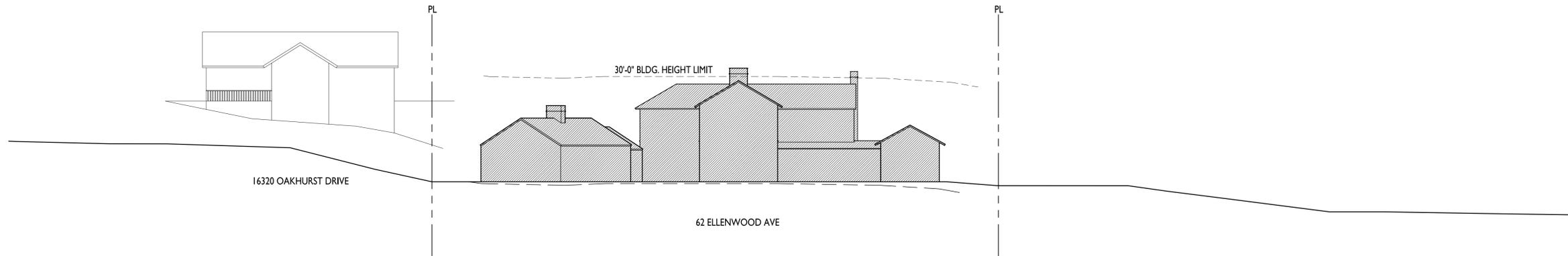
62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068

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Checked By	
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8.18.20	T.R. COMMENTS

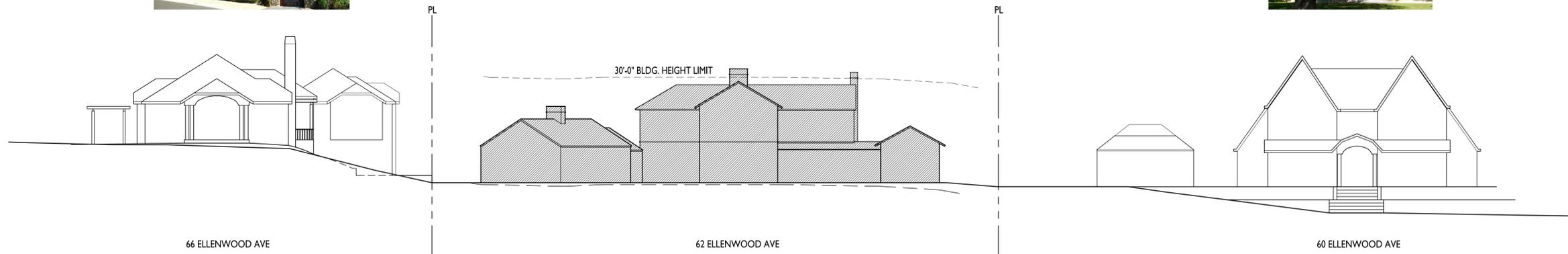
STREETSCAPE
ELEVATIONS &
SECTIONS

SCALE: 1/16" = 1'-0"

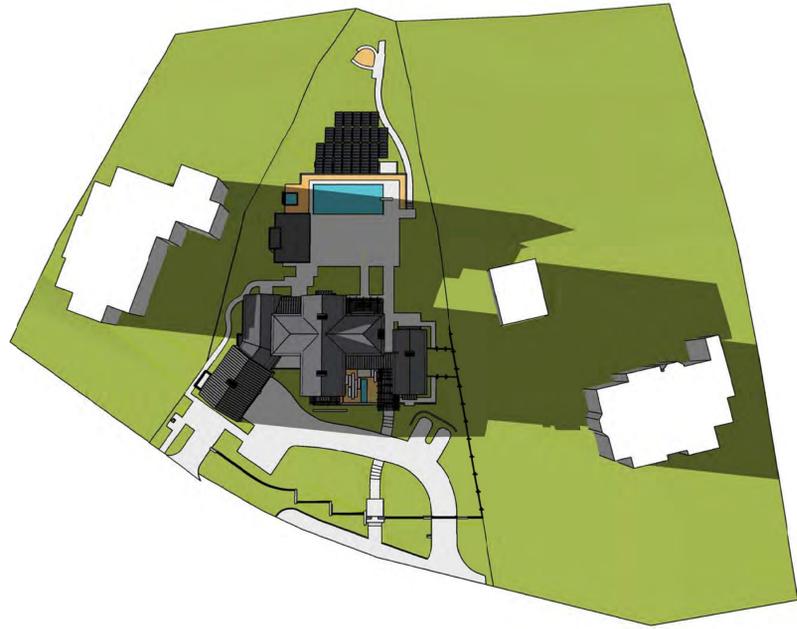
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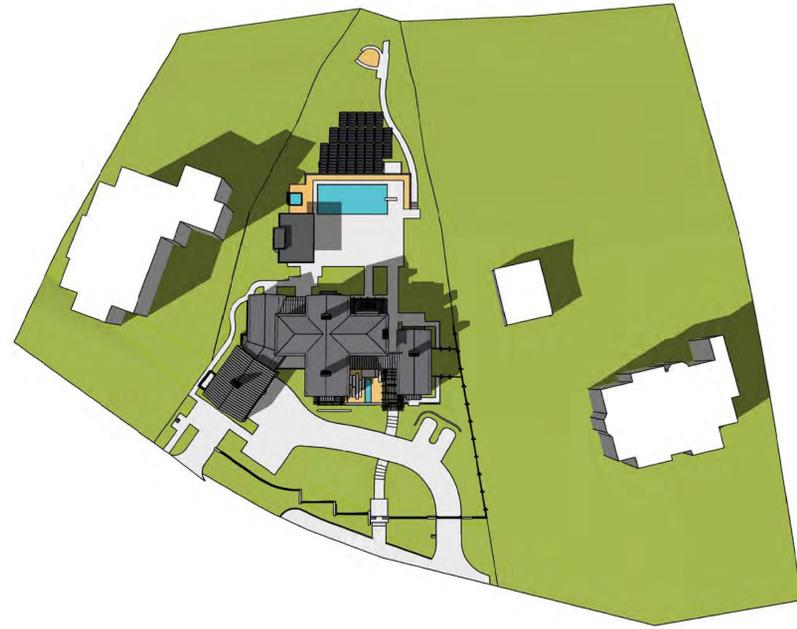
2 SITE SECTION - FACING WEST (TOWARDS OAKHURST DRIVE)
AI.1



1 STREETSCAPE ELEVATION - FACING WEST
AI.1



DECEMBER 21, 3 PM



DECEMBER 21, 12 PM



DECEMBER 21, 9 AM



JUNE 21, 3 PM



JUNE 21, 12 PM



JUNE 21, 9 AM

SHADOW STUDY - EFFECT ON ADJACENT PROPERTIES



ARCANUM
 arcnumarchitect.com
 415.357.4400
 arcnumarchitect.com
 319 San Francisco St.
 San Francisco, CA 94107
 REGISTERED ARCHITECT
 ANTHONY CARPELE
 STATE OF CALIFORNIA
 REV. 07.31.21
 C-30088

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
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8.18.20	T.R. COMMENTS

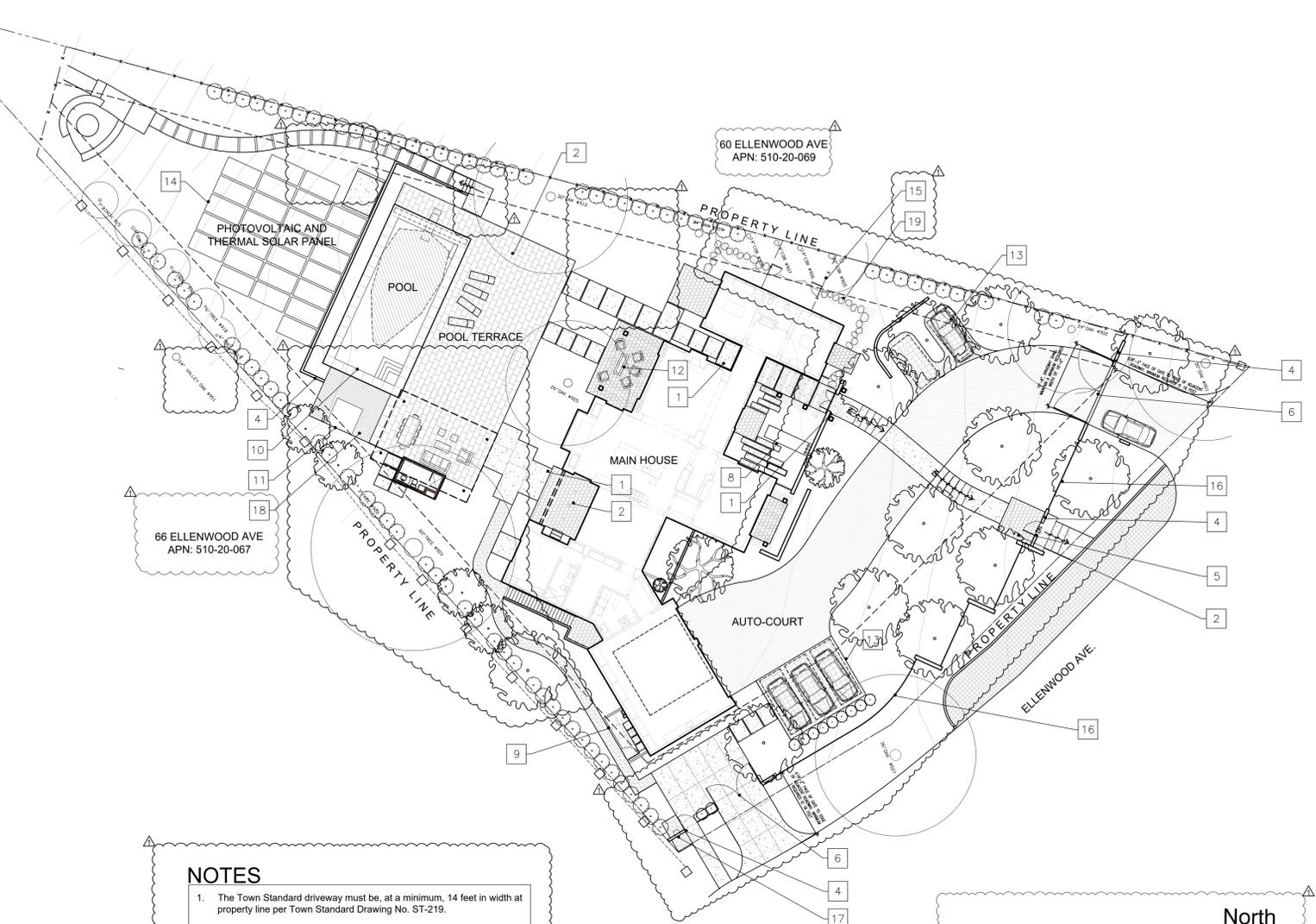
SHADOW STUDY

DIAGRAMS NOT TO SCALE

A1.2

16320 OAKHURST DR
APN: 510-20-031

PROPERTY LINE



PARCEL
NOT TO SCALE

SHEET INDEX

LANDSCAPE DRAWINGS

L0.0	SITE PLAN & LANDSCAPE COVER SHEET
L0.0R	RENDERED SITE PLAN
L0.1	EXISTING TREE & REMOVAL PLAN
L0.2	EXISTING TREE & REMOVAL PLAN
L1.0	MATERIAL & CALLOUT PLAN
L1.1	MATERIAL & CALLOUT PLAN
L2.0	LIGHTING SCHEDULE & PLAN
L2.2	LIGHTING PLAN
L3.0	PLANTING LEGEND
L3.1	PLANTING PLAN
L3.2	PLANTING PLAN
L5.0	DETAILS
L5.1	DETAILS
L5.2	DETAILS
L5.3	SECTIONS/ ELEVATIONS

STUDIO GREEN
Landscape Architecture
232 Sir Francis Drake Blvd.
San Anselmo, CA 94960
Phone: (415) 721-0905
Fax: (415) 721-0910
Web: studiogreen.com
Email: info@studiogreen.com



PROJECT INFORMATION

Owners:	Lisa & Case Swenson 62 Ellenwood Avenue, Los Gatos, CA 95030
Landscape Architect:	Studio Green 232 Sir Francis Drake Boulevard San Anselmo, CA 94960 415.721.0905
Architect:	Arcanum Architecture, Inc. 329 Bryant Street, Suite 3c San Francisco CA, 94107 arcanumarchitecture.com 415.357.4400
Civil Engineers:	BKF Engineering 255 Shoreline Drive, Suite 200, Redwood City, CA 94065 650.482.6315

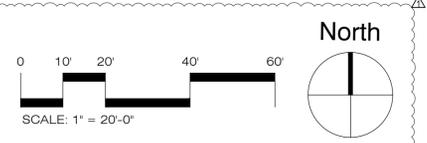
SWENSEN RESIDENCE
62 Ellenwood Avenue
Los Gatos, CA
APN: 510-20-068

NOTES

- The Town Standard driveway must be, at a minimum, 14 feet in width at property line per Town Standard Drawing No. ST-219.

SCCFD NOTES

- This project shall comply with the following: The California Fire (CFC) & Building (CBC) 2016 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Code of Regulations (CCR) and Health & Safety Code
- Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such a project, and comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 019 CFC Dec. 903.3.5 and Health and Safety Code 13114.7
- Address identification: new and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with the background, address numbers shall be arabic numbers or alphabetical letters, numbers shall be a minimum of 4 inches (101.6mm) high and a minimum stroke width of 0.5 inch (12.7 mm), where access is by means of a private road and building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. cfc sec 505.1.
- Emergency Gate/Access Gate Requirements: Gate installations conform with Fire Department Standard Details and Specifications G-1 and, when open shall not obstruct any portion of the minimum required width of 20' for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed. Gates providing access from a road to a driveway or other roadway shall be at least 18 feet from the road being exited. [CFC Sec. 503.6 and 506] [LGTC Sec.29.40.030]. Knox Key Switch will be provided and installed.
- Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals as appropriate to project. CFC Chp 33.
- Fire Apparatus (Engine) Access Driveway Required: Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 14 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1.



ABBREVIATION

AC	ASPHALTIC CONCRETE	DWG	DRAWING	LA	LANDSCAPE ARCHITECT	RET	RETAINING
AGG	AGGREGATE	(E)	EXISTING	MAX	MAXIMUM	SCH	SCHEDULE
ALT	ALTERNATE	EA	EACH	MIN	MINIMUM	SF	SQUARE FEET
BLDG	BUILDING	ELEC	ELECTRICAL	MFR	MANUFACTURER	SIM	SIMILAR
BW	BOTTOM WALL	EQ	EQUAL	(N)	NEW	STRCT	STRUCTURAL
CB	CATCH BASIN	FG	FINISH GRADE	NIC	NOT IN CONTRACT	TP	TOP OF PAVING
CLR	CLEAR	FW	FACE OF WALL	NTS	NOT TO SCALE	TW	TOP OF WALL
CY	CUBIC YARD	GALV	GALVANIZED	OC	ON CENTER	TYP	TYPICAL
CONC	CONCRETE	IRRIG	IRRIGATION	PA	PLANTING AREA	W	WITH
DG	DECOMPOSED GRANITE	LF	LINEAR FEET	RAD	RADIUS	W/O	WITHOUT

SCOPE OF WORK

- | | |
|--|---|
| 1. Concrete Paving
Earth tone gray color | 10. Pool
18'x42' Pool with diving board |
| 2. Stone Paving
Earth tone gray color | 11. Hot Tub
7'-7"X7'-7" Hot Tub |
| 3. Gravel Paving
Earth tone gray color | 12. Fire Pit
Bronze Pre-Fab Fire Pit |
| 4. Stone Walls
Material to match house | 13. Permeable Paving |
| 5. Pedestrian Gate
4'-6" Tall Steel Pedestrian Gate painted dark gray | 14. Photovoltaic and Thermal Solar Panel
On ground mounted panels |
| 6. Vehicle Gate
4'-6" Tall Steel gate w/ approved Knox Key switch | 15. Dog Run
Mulched area with wood wire enclosure |
| 7. Wood Wire Fence/Gate
Wire Mesh with wood frame | 16. Vertical Picket Fence
Grape Vine Stake wood pickets with steel support frame |
| 8. Water Feature
Bronze Spillway & trough | 17. Package Drop-box
Steel drop-box embedded into stone wall |
| 9. Trash Enclosure
Wood Enclosure painted to match garage doors | 18. Wood Deck
IPE wood deck |
| | 19. Stepping Stone Pathway
Irregular natural warm earth tones |

LEGEND

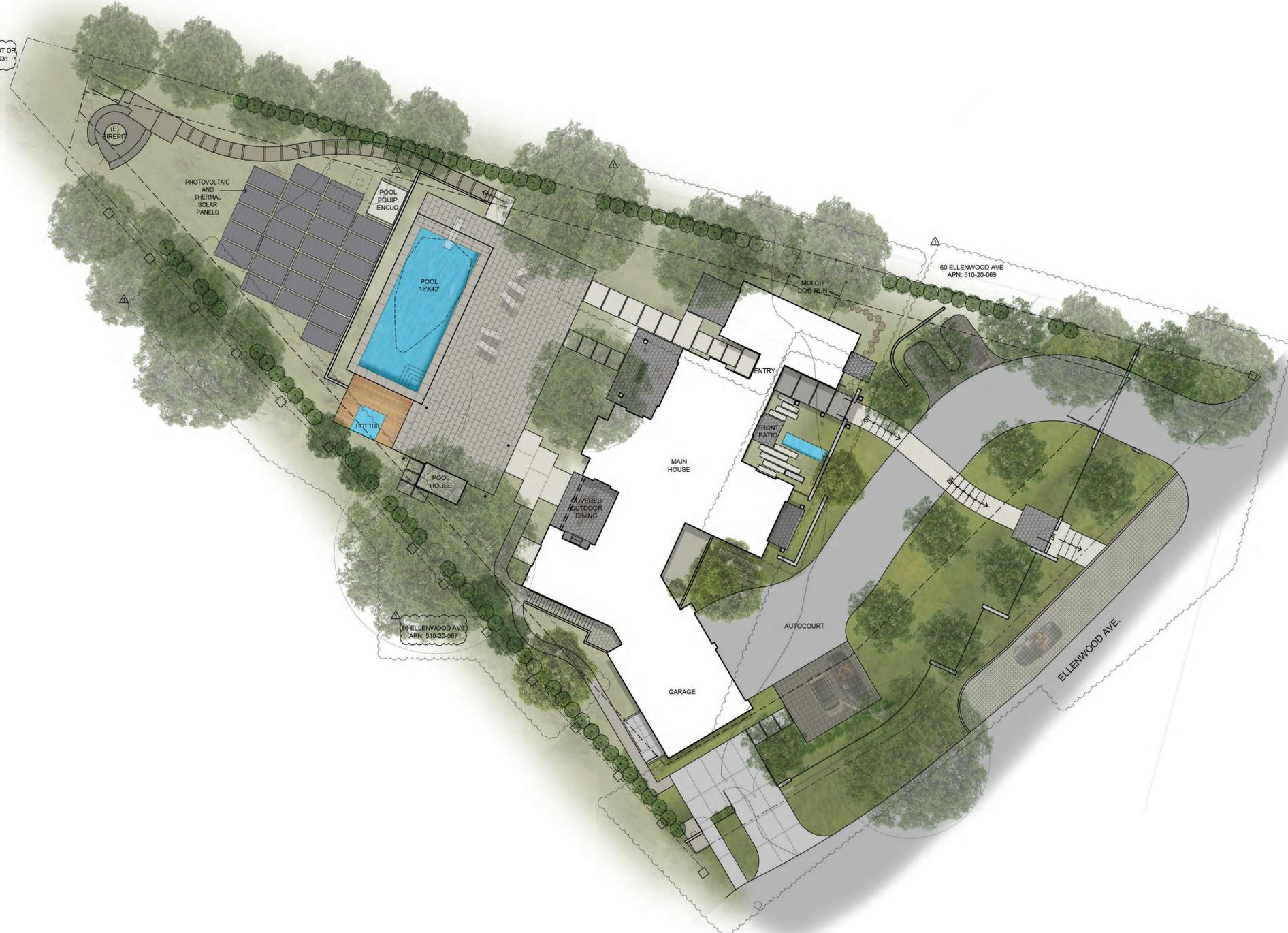
---+---+---	CENTER LINE	⊕	CENTER POINT
---	PROPERTY LINE	↔	ALIGN
---	LIMIT OF WORK	13	LANDSCAPE FEATURE
---(200)---	EXISTING CONTOUR	(500)	EXISTING ELEVATION
---200---	PROPOSED CONTOUR	500	PROPOSED ELEVATION
---	MATCHLINE	(+101.7')	EXISTING SPOT ELEVATION
---	PLANTING AREA	+101.7'	PROPOSED SPOT ELEVATION
---	GAS SUPPLY LINE	5%	% SLOPE AND DIRECTION
---	WATER SUPPLY LINE	2'-10"	DIMENSIONS/DISTANCE

Date: 04.23.20 Issue: Technical Review
08.18.20 T.R. Comments

SITE PLAN & LANDSCAPE COVER SHEET
Drawn by: RP
Checked by: JM

L0.0

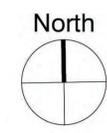
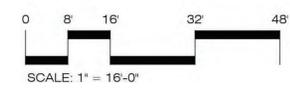
16320 OAKHURST DR
APN: 510-20-031



66 ELLENWOOD AVE
APN: 510-20-087

60 ELLENWOOD AVE
APN: 510-20-069

ELLENWOOD AVE



STUDIO GREEN
 Landscape Architecture
 232 Sir Francis Drake Blvd.
 San Anselmo, CA 94960
 Phone: (415) 721-0905
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 Web: studiogreen.com
 Email: info@studiogreen.com



SWENSEN RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

Date: Issue:
 04.23.20 Technical Review
 08.18.20 T.R. Comments

**RENDERED
 SITE
 PLAN**

Drawn by: RP
 Checked by: JM

L0.0R



SWENSEN RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

Date: 04.23.20 Issue: Technical Review
 08.18.20 T.R. Comments

EXISTING TREE & REMOVAL PLAN

Drawn by: RP
 Checked by: JM

L0.1

LEGEND

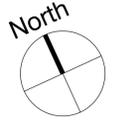
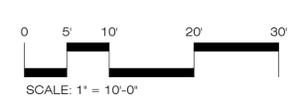
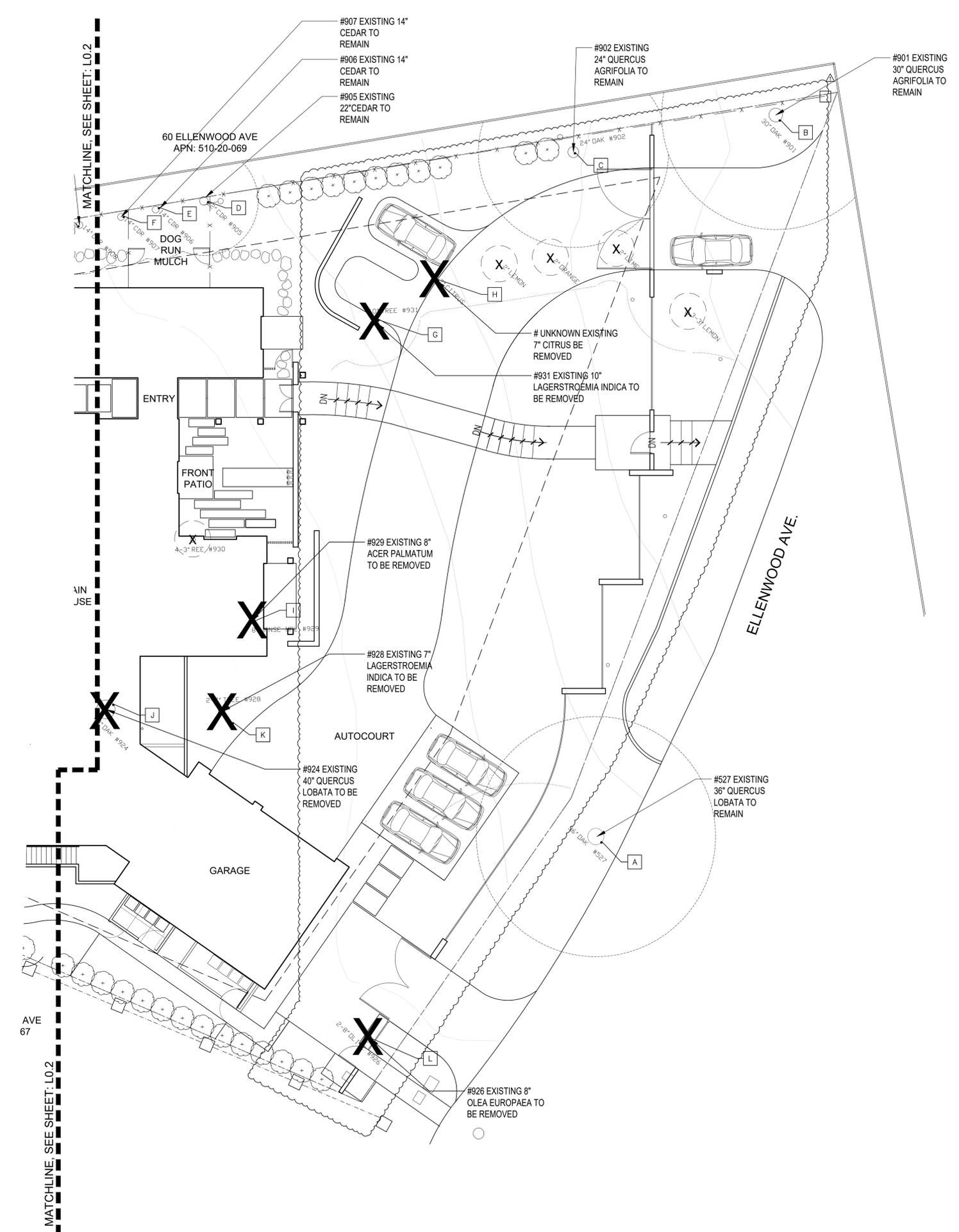
X >4" TREES TO BE REMOVED

(X) >4" TREES TO BE REMOVED

[A] SYMBOL

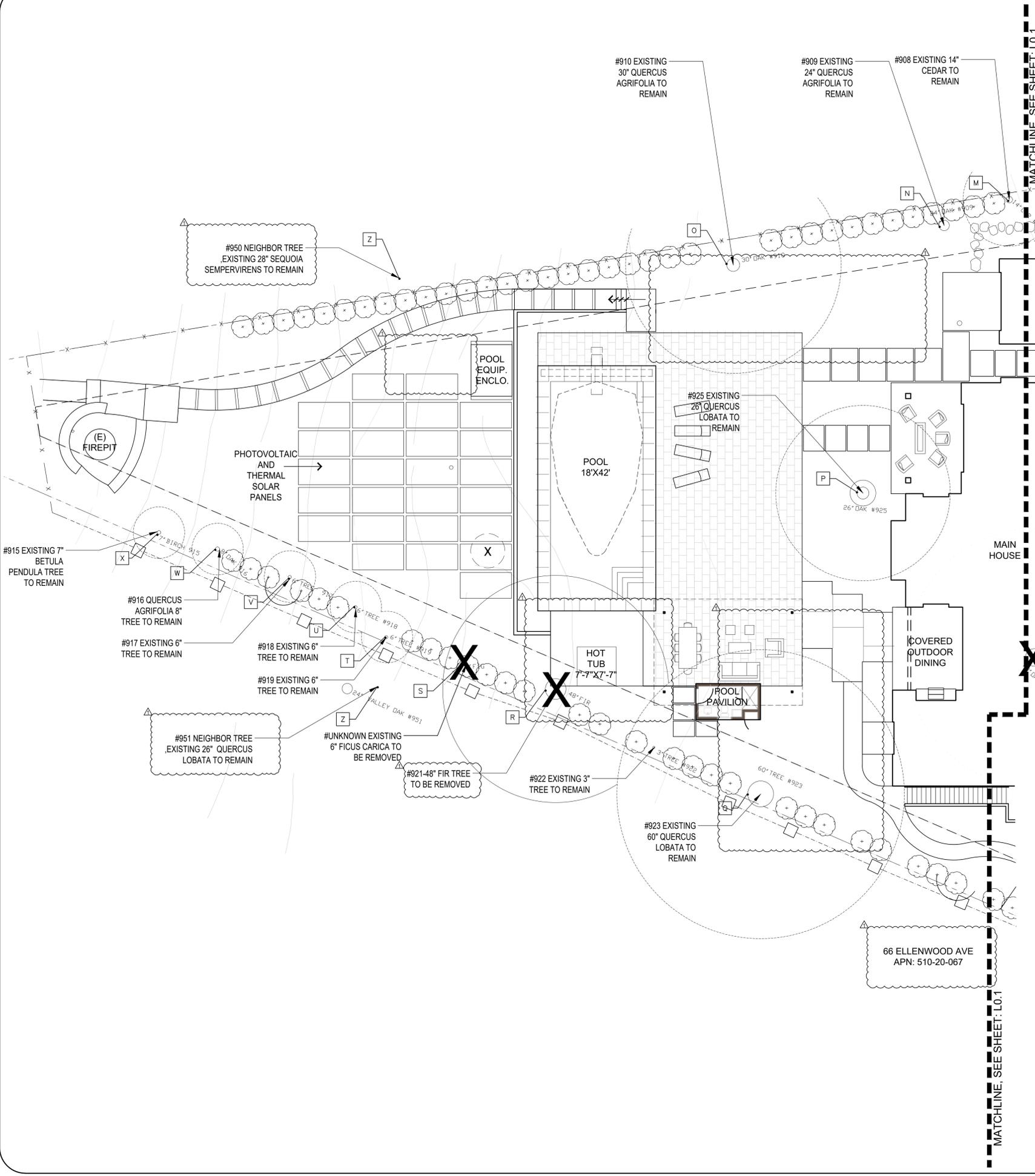
>4" EXISTING TREE TREE LEGEND

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
A	527	QUERCUS LOBATA	VALLEY OAK	36" Ø	GOOD	NO	
B	901	QUERCUS LOBATA	VALLEY OAK	24.7" Ø	FAIR	NO	
C	902	QUERCUS LOBATA	VALLEY OAK	23.1" Ø	GOOD	NO	
D	905	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
E	906	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
F	907	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	FAIR	NO	
G	931	LAGERSTROEMIA INDICA	CREPE MYTLE	10" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
H	UNKNOWN	CITRUS X LIMON	LEMON TREE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
I	929	ACER PALMATUM	JAPANESE MAPLE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
J	924	QUERCUS LOBATA	VALLEY OAK	39.8" Ø	FAIR	YES	IN PROPOSED DEVELOPMENT AREA
K	928	LAGERSTROEMIA INDICA	CREPE MYTLE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
L	926	OLEA EUROPAEA	OLIVE TREE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA



MATCHLINE, SEE SHEET: L0.2

AVE 67



LEGEND

- X >4" TREES TO BE REMOVED
- (X) >4" TREES TO BE REMOVED
- (A) SYMBOL

>4" EXISTING TREE TREE LEGEND

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
M	908	SEDUS DEODARA	DEODAR CEDAR	15" Ø	GOOD	NO	
N	909	SEDUS DEODARA	DEODAR CEDAR	24" Ø	GOOD	NO	
O	910	QUERCUS AGRIFOLIA	COAST LIVE OAK	32" Ø	GOOD	NO	
P	925	QUERCUS LOBATA	VALLEY OAK	25.2" Ø	POOR	NO	
Q	923	QUERCUS LOBATA	VALLEY OAK	59.6" Ø	FAIR	NO	
R	921	SEUDOTSUGA MENZIESII	DOUGLAS FIR	41.0" Ø	FAIR	YES	CRITICAL ROOTS IN CONSTRUCTION ZONE
S	UNKNOWN	FICUS CARICA	FIG TREE	6" Ø	GOOD	YES	UNDESIRABLE
T	919	ACER SPECIES	ACER	6" Ø	GOOD	NO	
U	918	ACER SPECIES	ACER	6" Ø	GOOD	NO	
V	917	ACER SPECIES	ACER	6" Ø	GOOD	NO	
W	916	QUERCUS AGRIFOLIA	COAST LIVE OAK	10.1" Ø	FAIR	NO	
X	915	BETULA PENDULA	EUROPEAN BIRCH	9" Ø	GOOD	NO	
Y	950	NEIGHBOR'S SEQUOIA SEMPERVIRENS	REDWOOD TREE	28" Ø	FAIR	NO	
Z	951	NEIGHBOR'S QUERCUS LOBATA	VALLEY OAK	26" Ø	FAIR	NO	

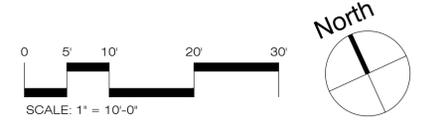
STUDIO GREEN
 Landscape Architecture
 232 Sir Francis Drake Blvd.
 San Anselmo, CA 94960
 Phone: (415) 721-0905
 Fax: (415) 721-0910
 Web: studiodgreen.com
 Email: info@studiodgreen.com

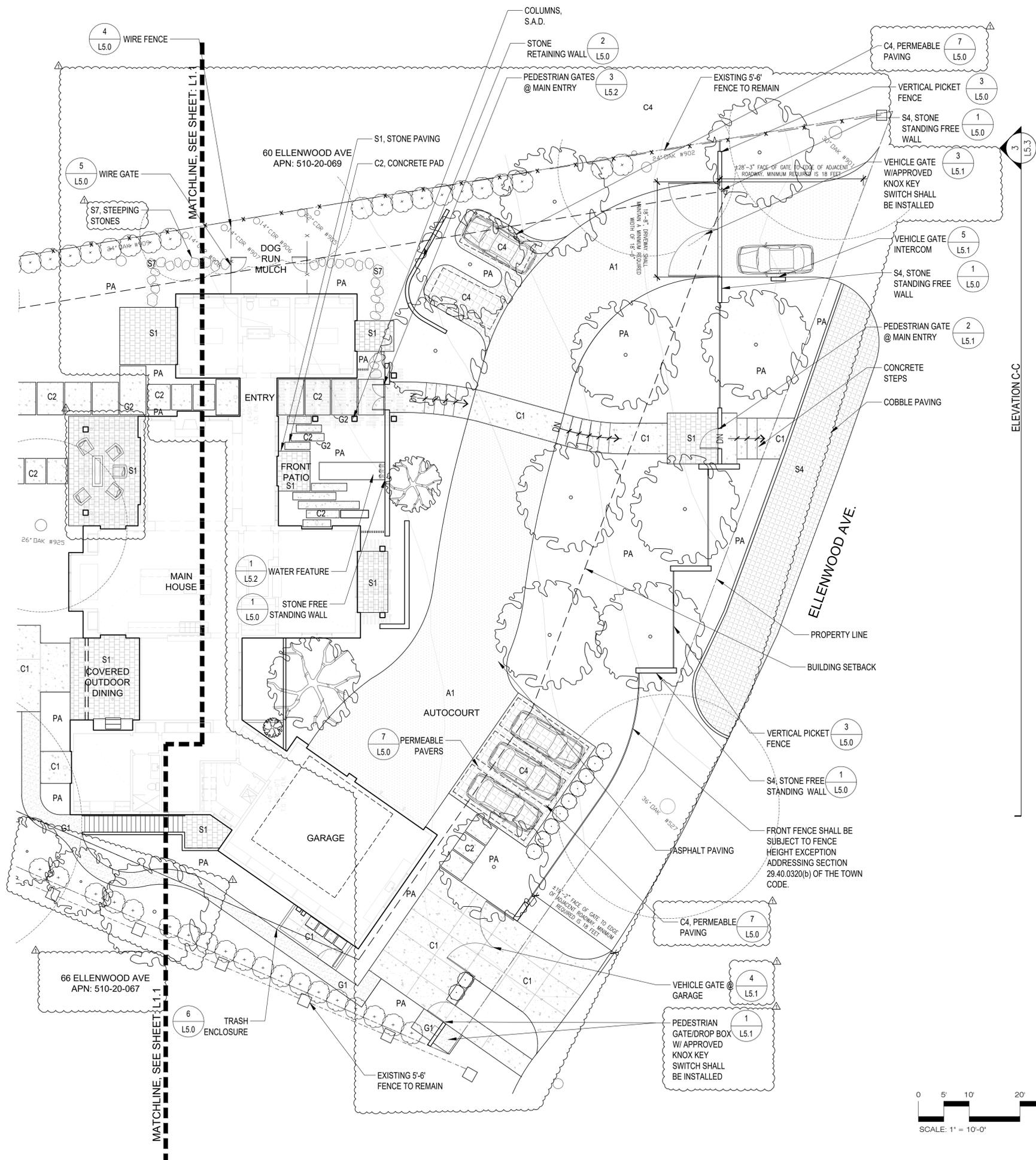


SWENSEN RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

Date: 04.23.20
 Issue: Technical Review
 08.18.20 T.R.
 Comments

EXISTING TREE & REMOVAL PLAN
 L0.2
 Drawn by: RP
 Checked by: JM





MATERIAL SCHEDULE

- A1 ASPHALT PAVING
- C1 CONCRETE PAVING
 - Color: Davis Colors, Miami Buff 5447, Powder Dose 1LB per 94LB Sack of Cement
 - Finish: Grace Top-Cast, Sandblast-05 Powder Blue Violet
 - Joint: 1-1/2" deep tooled
 - Sample: Provide 24"x24" sample on site for approval
- C2 CONCRETE PAD
 - Match C1 specification
- C3 CONCRETE WALLS
 - Color: Match C1
 - Finish: Board form finish, 5 1/2" boards w/ 1/16" gaps.
- C4 PERMEABLE PAVERS
 - Color: Warm Gray tones
- G1 DECOMPOSED GRANITE PAVING
 - COLOR: Tan/gold color, 1/4" minus with stabilizer solutions from Lyngso
 - BRAND: Lyngso, (650.364.1730), or approved equal. apply per mfr's recommendations. submit samples for approval.
- G2 DECORATIVE STONE
 - Size: 2-3" Decorative rounded pebbles.
 - Finish: Ivory Seaside Beach Pebble or Equal
 - Brand: Coverall Stone (800-779-3234).
 - Sample: Submit samples for approval.
- G3 FIRE PIT STONE
 - Size: 1-2" Black Lava Rock
- S1 STONE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S2 STONE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S3 STONE POOL COPING
 - Color: Match S2
 - Finish: Match S2
 - Size: Varies
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S4 COBBLE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S5 STONE VENEER WALL
 - Color: Warm Gray
 - Finish: TBD
 - Size: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S6 STONE CAP
 - Match S5
- S7 STEPPING STONES
 - Color: Warm Gray
- W1 WOOD DECKING
 - WOOD DECKING
 - 1X6 IPE WOOD

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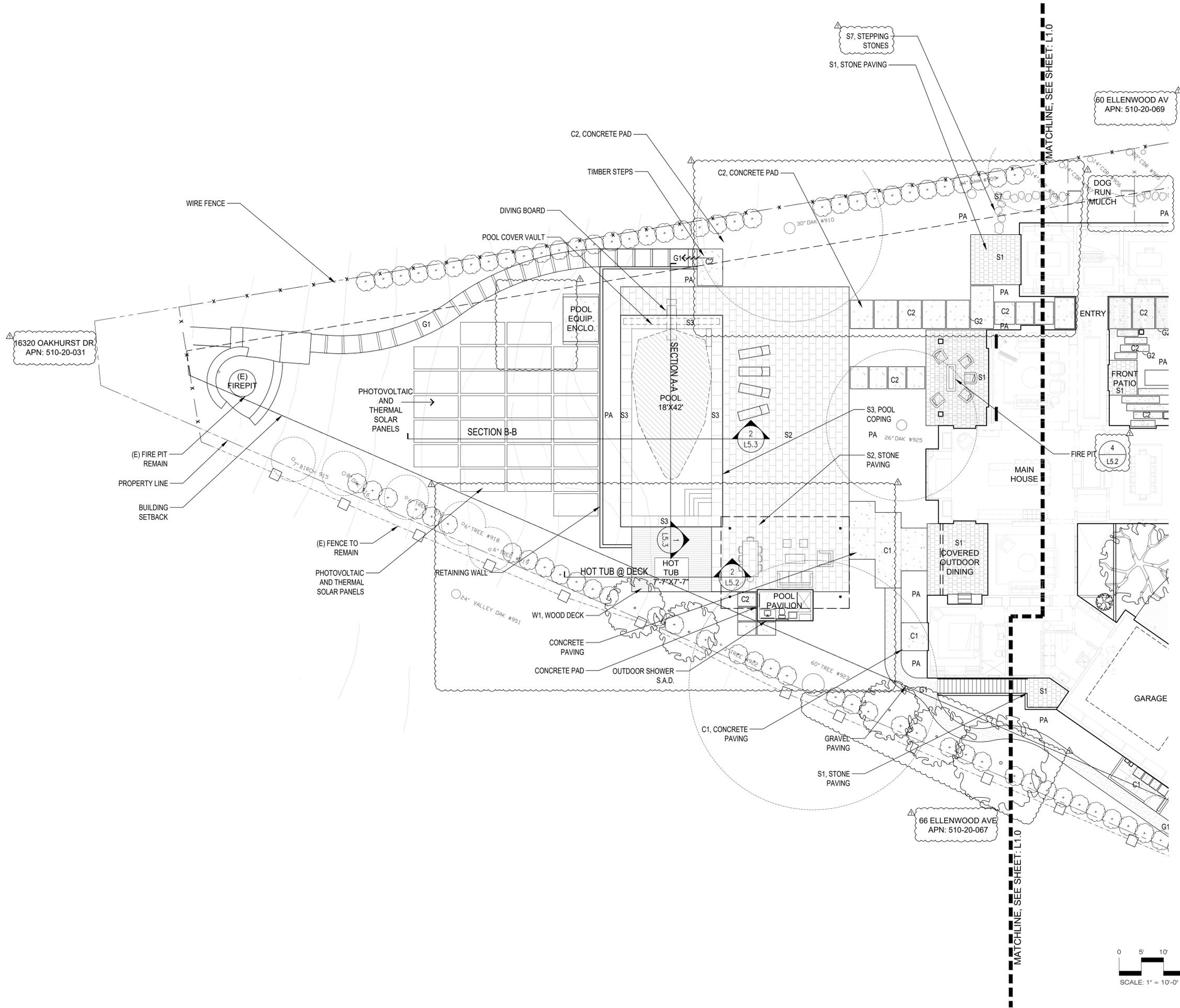
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MATERIAL CALLOUT PLAN

Drawn by: RP
 Checked by: JM

L1.0



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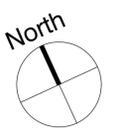
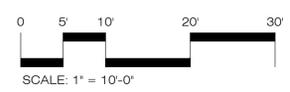
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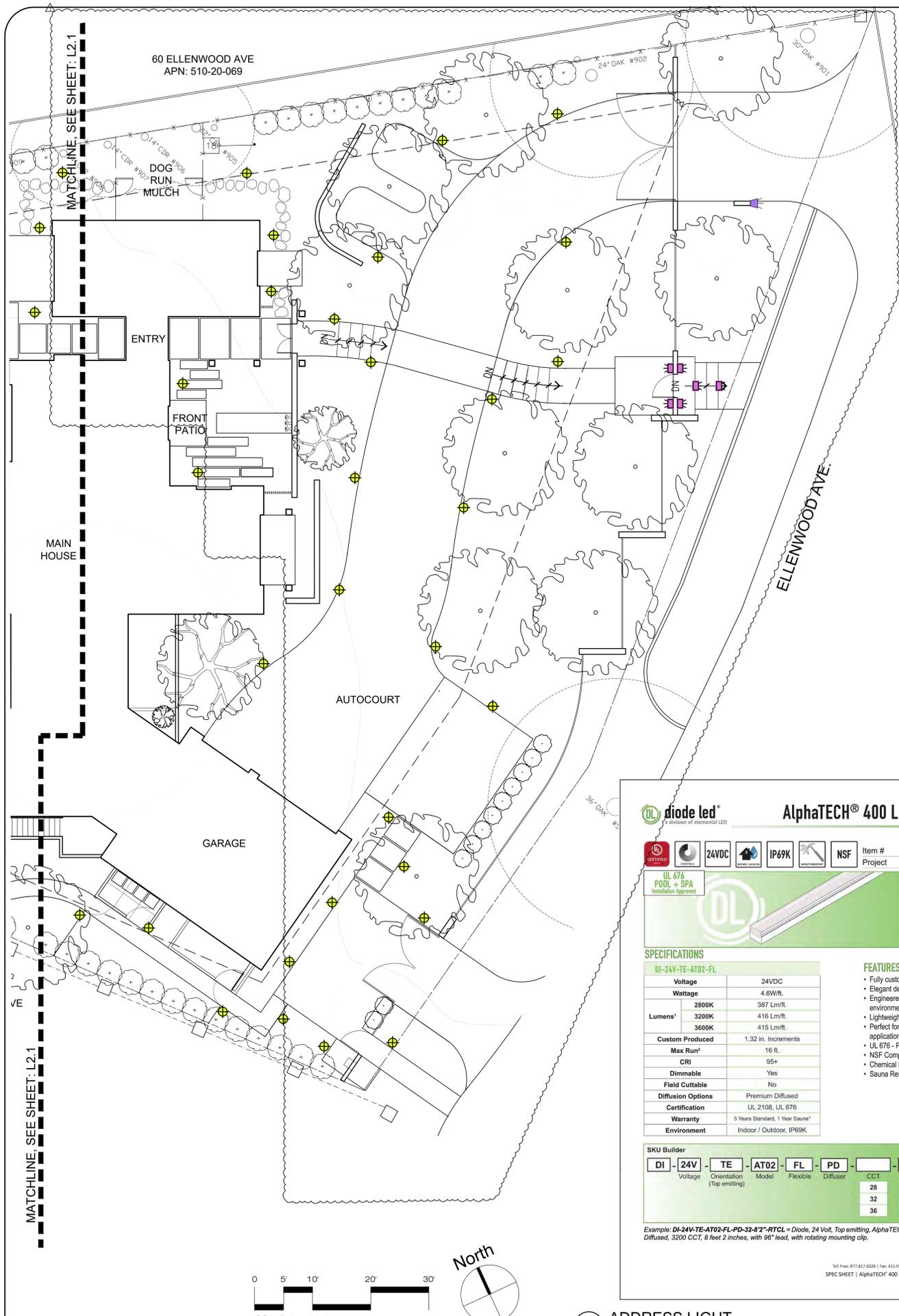
Date: 04.23.20 Issue: Technical Review
 08.18.20 T.R. Review
 Comments

MATERIAL CALLOUT PLAN

Drawn by: RP
 Checked by: JM

L1.1





- ### LIGHTING NOTES
- 1/L2.1: PATH LIGHT:
SPJ LIGHTING
Model #: SPJ-BG3-MBR-1.5W-125-2700K-8-15V
 - 2/L2.1: WALL/STEP LIGHT:
W.A.C. Lighting,
Model #: 4011-27-BK
 - 3/L2.1: STRIP LIGHT
DIODE LED ALPPHATECH 400 LED
STRIP LIGHT
MODEL: DI-24V-TE-AT02-FL-PD
- POOL LIGHT:
By Pool Contractor
 - 120 VOLT ELECTRICAL LINE IN
CONDUIT
 - NATURAL GAS LINE FROM
HOUSE
 - GFCI RECPTACLE - Wall mounted

- ### LIGHTING NOTES
- All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed

Forever Bright

Model: SPJ-BG3
Finish: Matte Bronze

Adjustable Below Grade Path Lighting

DESCRIPTION
Model#: SPJ-BG3
Material: Solid Brass
Electrical: 8-15V
Engine: FB-01CK
Lumens: 125
Color Temp: 2700K
Mounting: SPJ19-03-RBBG Incl.
LED: Nichia
Beam Spread: 180°

Option: Adjustable Below Grade Elser
Model: SPJ19-03-RBBG
Finish: Matte Bronze
Base: Solid brass top fits on our standard perme post with finish to match initial fixture at grade level and as the landscape grows adjust fixture height as needed.

ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-BG3	MBR	1.5W	125	2700K	8-15V

www.spjlighting.com

1 PATH LIGHT
Scale: NTS

AlphaTECH® 400 LED STRIP LIGHT

DL diode led
UL 676 POOL + SPA
24VDC IP69K NSF

SPECIFICATIONS

DI-24V-TE-AT02-FL	
Voltage	24VDC
Wattage	4.6W/ft.
Lumens ¹	3200K 387 Lm/ft. 3200K 416 Lm/ft. 3600K 415 Lm/ft.
Custom Produced	1.32 in. Increments
Max Run ²	16 ft.
CRI	95+
Dimmable	Yes
Field Cuttable	No
Diffusion Options	Premium Diffused
Certification	UL 2108, UL 676
Warranty	5 Years Standard, 1 Year Sauna ³
Environment	Indoor / Outdoor, IP69K

FEATURES

- Fully customizable
- Elegant design
- Engineered for rugged environments
- Lightweight, durable, and flexible
- Perfect for both indoor and outdoor applications
- UL 676 - Pool and Spa certified
- NSF Component Approved
- Chemical Resistant
- Sauna Resistant

SKU Builder

DI - 24V - TE - AT02 - FL - PD - [] - [] - []

CCT	Length	Mount
28	28	RTCL (Rotating Clip)
32	32	FLCL (Flat Clip)
36	36	MTCH (Chems)

Example: DI-24V-TE-AT02-FL-PD-32-8"-RTCL = Diode, 24 Volt, Top emitting, AlphaTECH® 400 Type 2, Flexible, Premium Diffused, 3200 CCT, 8 feet 2 inches, with 96" lead, with rotating mounting clip.

3 ADDRESS LIGHT
Scale: NTS

RECTANGLE STEP LIGHTS 12V

4011

WAC LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION
Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.
Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated. Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1688 Listed

SPECIFICATIONS

Color Temp.	CRI	Finish	Lumens
27	2700K	90 BBR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 BBR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 SS Cast Stainless Steel	23
		90 BBR Bronze on Brass	11
		90 BK Black on Aluminum	11
		90 BZ Bronze on Aluminum	11
		90 WT White on Aluminum	22
		90 SS Cast Stainless Steel	14

ORDERING NUMBER

4011-_____

Example: 4011-30BK

www.wacighting.com
Headquarters/Eastern Distribution Center: 44 Harbor Park Drive, Port Washington, NY 11050
Central Distribution Center: 1600 Distribution Ct, Lithia Springs, GA 30122
Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

2 WALL/STEP LIGHT
Scale: NTS

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Email: info@studiogreen.com

LICENSED LANDSCAPE ARCHITECT
LARRY HENRY WERTER, No. 217
SIGN HERE
5/22
RENEWAL DATE
08/18/20
DATE
STATE OF CALIFORNIA

SWENSEN RESIDENCE
62 Ellenwood Avenue
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LIGHTING SCHEDULE & PLAN
L2.0
Drawn by: RP
Checked by: JM



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LIGHTING PLAN

Drawn by: RP
 Checked by: JM
L2.1

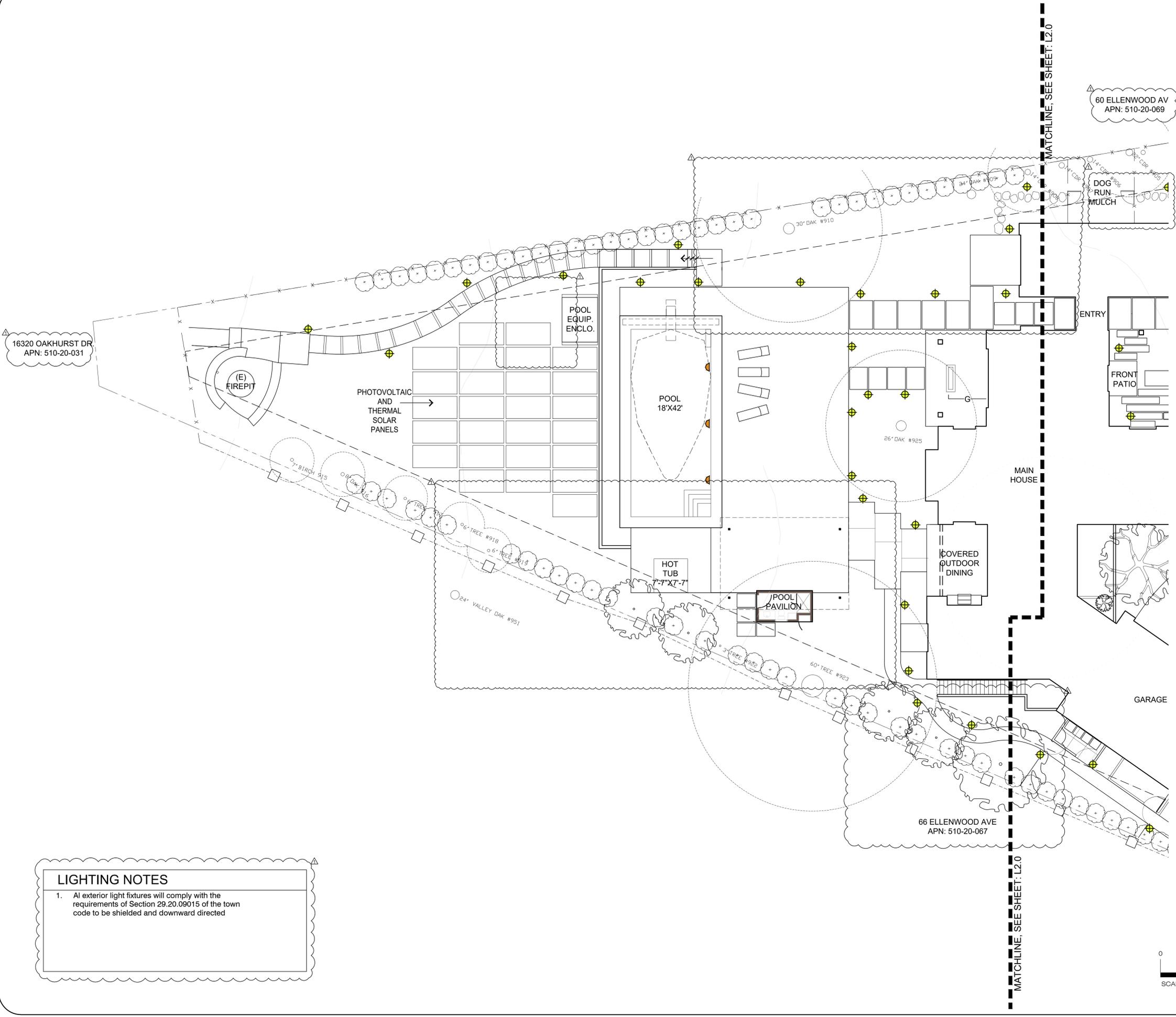
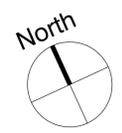
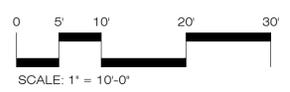
16320 OAKHURST DR
 APN: 510-20-031

60 ELLENWOOD AV
 APN: 510-20-069

66 ELLENWOOD AVE
 APN: 510-20-067

LIGHTING NOTES

1. All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed



TREES



ACE PAL
JAPANESE MAPLE



CAR BET
COMMON HORNBEAM



CER CAN
EASTERN REDBUD



LAU STD
SARATOGA LAUREL (STANDARD)



OLE EUR
SWALL HILL OLIVE



QUE AGR
COAST LIVE OAK

LARGE SHRUBS



LAU SAR
SARATOGA LAUREL (MULTI)



PRU LAU
ENGLISH LAUREL



RHU INT
LEMONADE BERRY



THU EME
EMERALD GREEN ARBORVITAE

SHRUBS & PERENNIALS



BAC PIL
COYOTE BUSH



CAR DIV
BERKELEY SEDGE



CEA GRI
YANKEE POINT CEANOTHUS



COP KIR
CREEPING COPROSMA



LAV GRO
GROSSO LAVENDER



OLEA EUR
DWARF LITTLE OLLIE



LOM LON
DWARF MAT RUSH



MUH RIG
DEER GRASS



RHA CAL
COFFEEBERRY



SAL CLE
CLEVELAND SAGE

SCREENING LEGEND							
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT PLANTED	MATURE SIZE/PLAN TYPE	TYPE	WUCOLS
TREES							
ACE PAL	ACER PALMATUM	JAPANESE MAPLE	24" BOX	6' TALL	10' TALL	DECIDUOUS	M
CAR BET	CARPINUS BETULUS	COMMON HORNBEAM	36" BOX	6'-8' TALL	16' TALL	DECIDUOUS	M
CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	36" BOX	6'-8' TALL	14' TALL	DECIDUOUS	M
LAU STD	LAURUS 'SARATOGA'	SARATOGA LAUREL (STANDARD)	36" BOX	12' TALL	20' TALL	EVERGREEN	L
OLE SWA	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	36" BOX	8'-10' TALL	18'-20' TALL	EVERGREEN	L
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	12' TALL	15'-25' TALL	EVERGREEN	L
LARGE SHRUBS							
LAU SAR	LAURUS 'SARATOGA'	SARATOGA LAUREL (MULTI)	24" BOX	6' TALL	8' TALL	EVERGREEN	L
PRU LAU	PRUNUS LAUROCERASUS	ENGLISH LAUREL	B&B	5' TALL	8' TALL	EVERGREEN	M
RHU INT	RHUS INTEGRIFOLIA	LEMONADE BERRY	24" BOX	3' TALL	4' TALL	EVERGREEN	L
THU EME	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	15 GAL	3' TALL	4' TALL	EVERGREEN	L
SHRUB & PERENNIALS							
BAC PIL	BACCHARIS PILULARIS 'PIGEON POINT'	COYOTE BUSH	1 GAL	>1' TALL	2' TALL	EVERGREEN	L
CAR DIV	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	1' TALL	2' TALL	EVERGREEN	M
CEA GRI	CEANOTHUS GRISEUS 'HORIZONTALIS'	CARMEL CREEPER	1 GAL	1' TALL	1' TALL	EVERGREEN	L
COP KIR	COPROSMA KIRKII	KIRK'S COPROSMA	1 GAL	1' TALL	1' TALL	EVERGREEN	L
LAV GRO	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	1 GAL	2' TALL	3' TALL	EVERGREEN	L
LIT OLE	OLEA EUROPAEA 'MONTRA'	DWARF LITTLE OLLIE	15 GAL	2' TALL	4' TALL	EVERGREEN	L
LOM LON	LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	15 GAL	2' TALL	4' TALL	EVERGREEN	L
SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L

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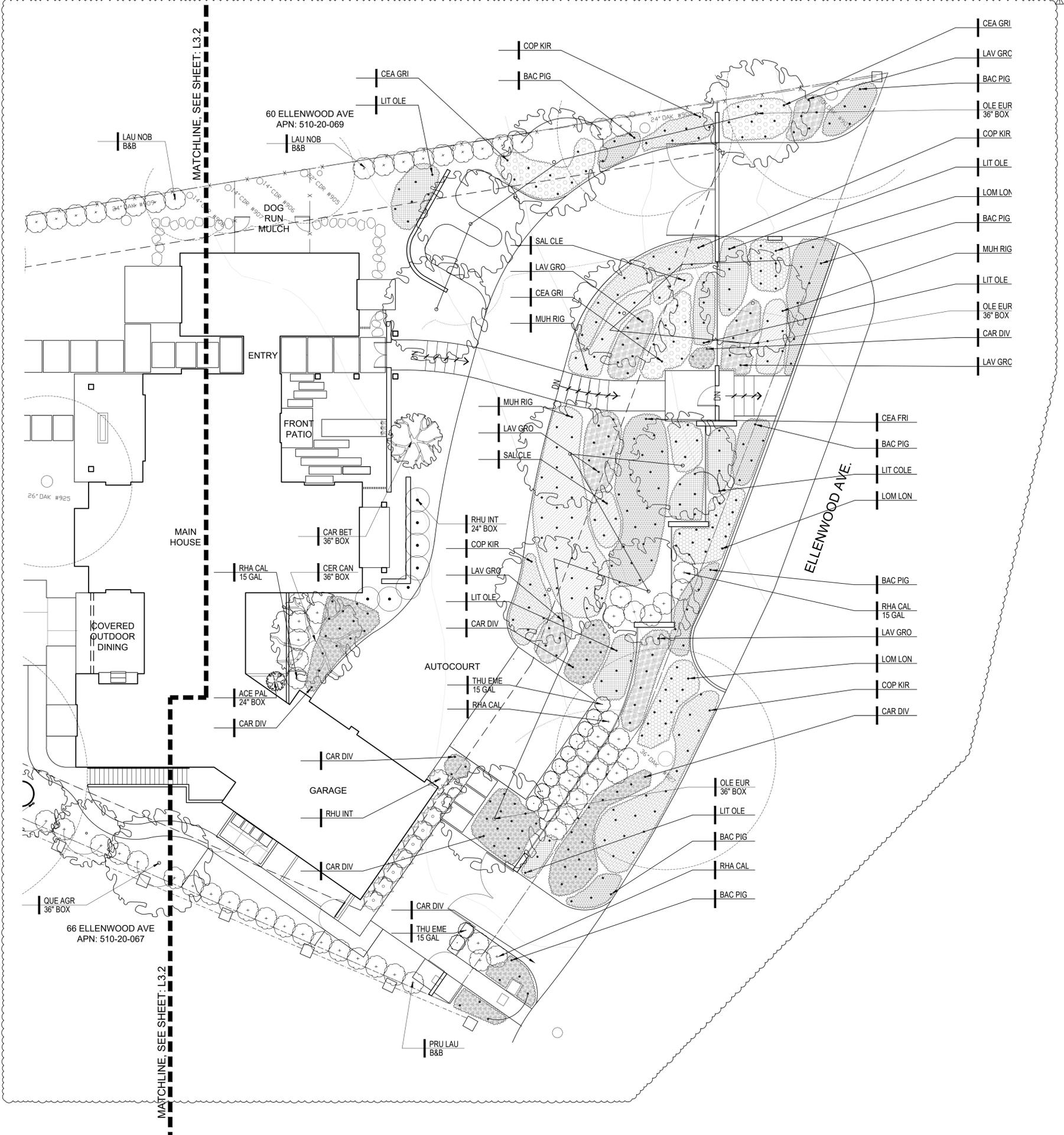


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PLANTING LEGEND

Drawn by: RP
Checked by: JM
L3.0



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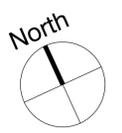
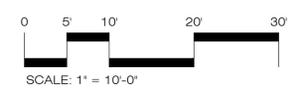


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PLANTING PLAN

Drawn by: RP
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L3.1



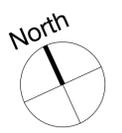
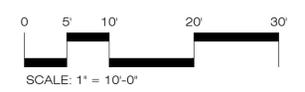
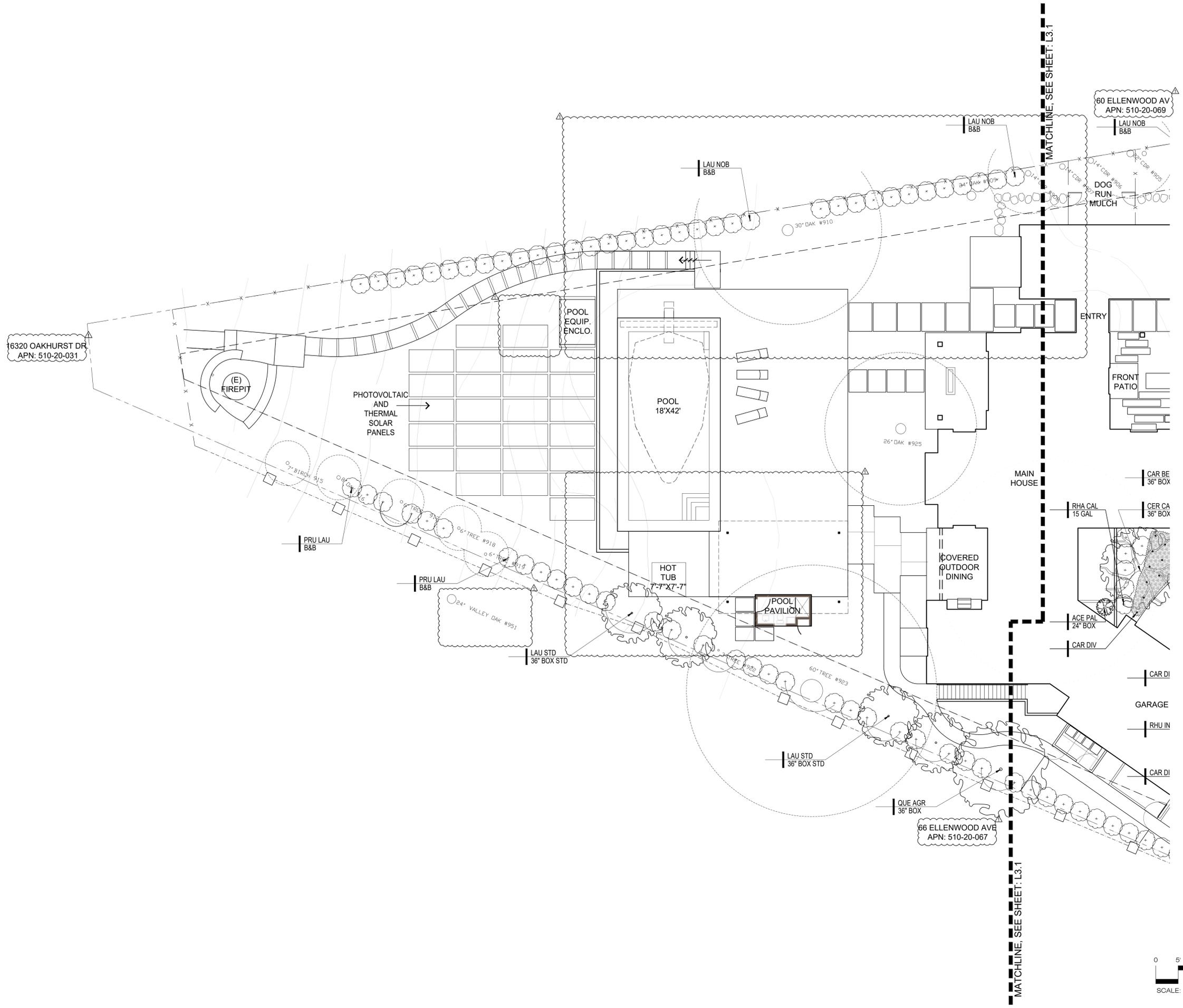


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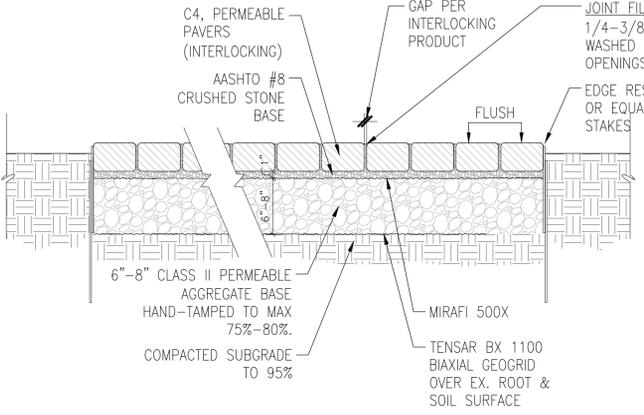
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PLANTING PLAN

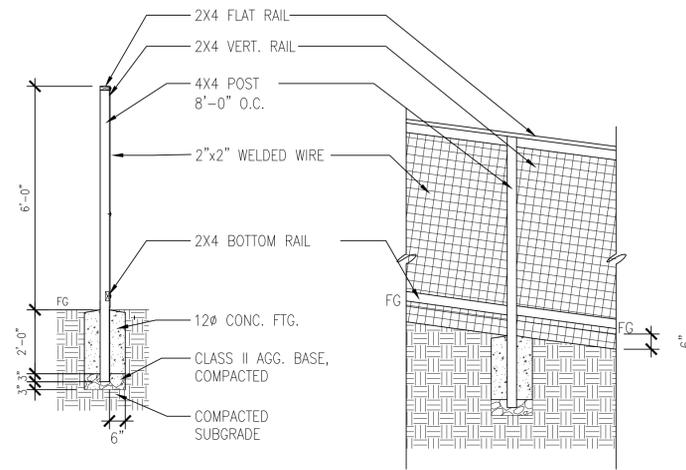
Drawn by: RP
 Checked by: JM
L3.2



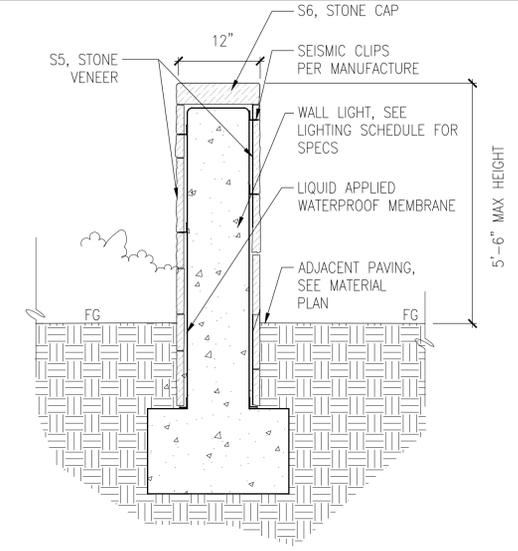
- NOTES:
 1. LAYOUT OF SUBGRADE CONCRETE CURB IN THE FIELD WITH THE LANDSCAPE ARCHITECT IN ORDER TO OBTAIN ALIGNMENT WITH PAVING GRID PATTERN
 2. ALL BASE ROCK TO BE CLEAN WASHED, PERMEABLE AND COMPACTED. PROTECT FROM CONTAMINATION OF FINES.



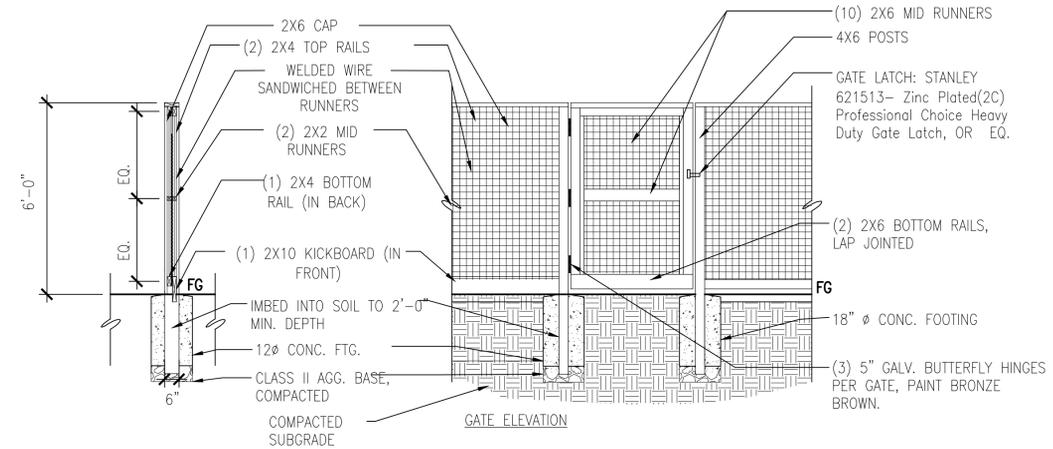
7 PERMEABLE PAVER
 Scale: 1"=1'-0"



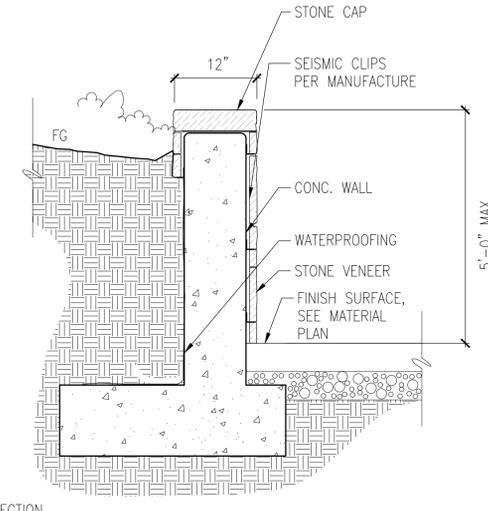
4 WIRE FENCE
 Scale: 3/8"=1'-0"



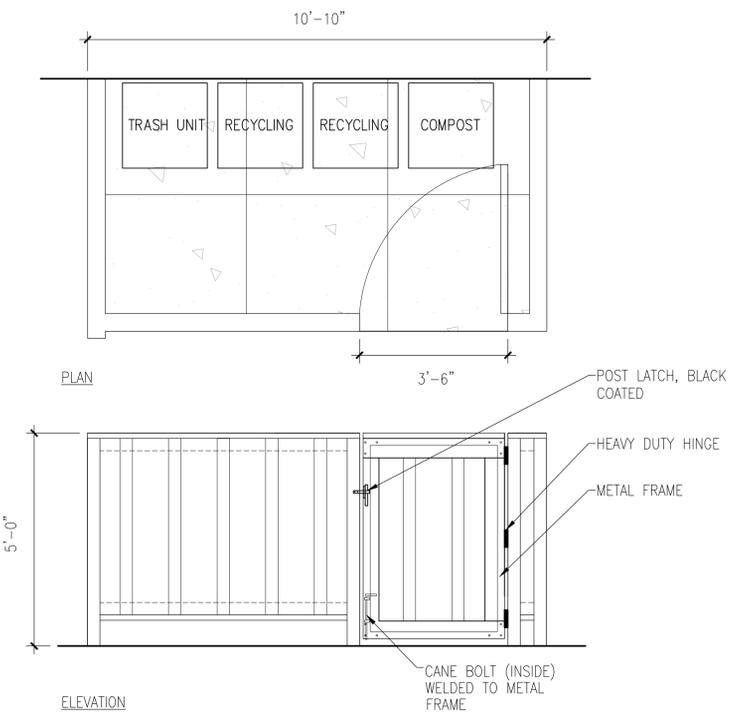
1 STONE FREE STANDING WALL
 Scale: 1"=1'-0"



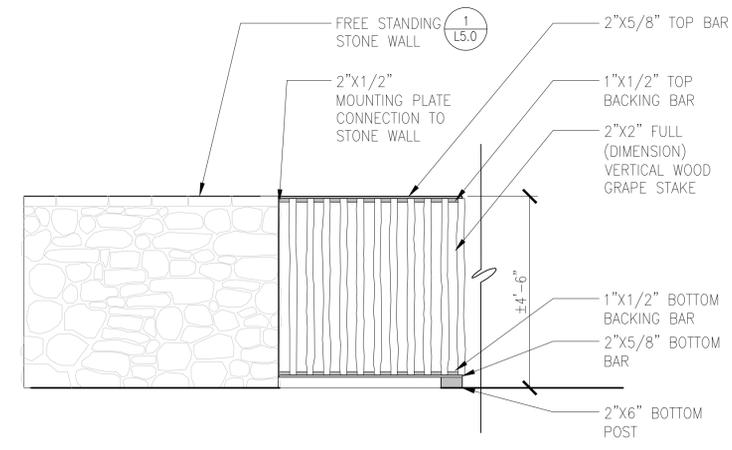
5 WIRE GATE
 Scale: 3/8"=1'-0"



2 STONE RETAINING WALL
 Scale: 1"=1'-0"



6 TRASH ENCLOSURE
 Scale: 1/2"=1'-0"



3 VERTICAL PICKET FENCE
 Scale: 1/2"=1'-0"

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SWENSEN RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

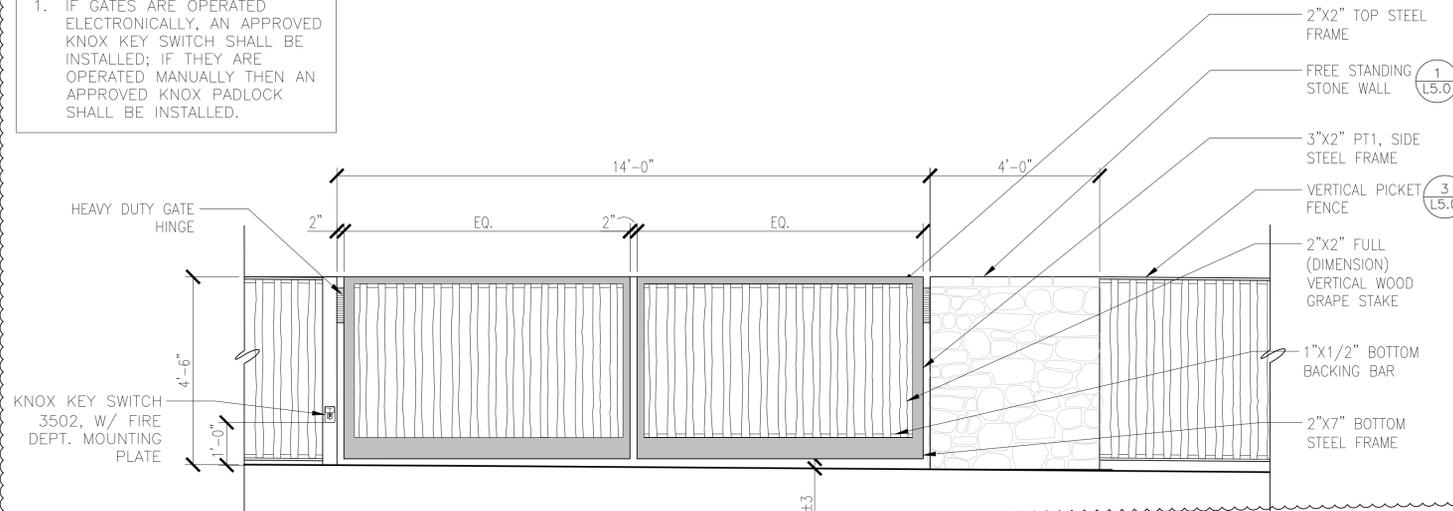
Date: 04.23.20 Issue: Technical Review
 08.18.20 T.R. Comments

DETAILS

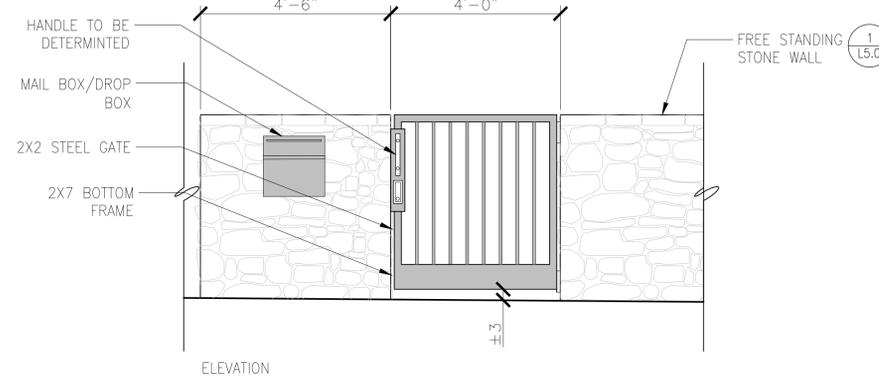
Drawn by: RP
 Checked by: JM

L5.0

NOTE:
1. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.

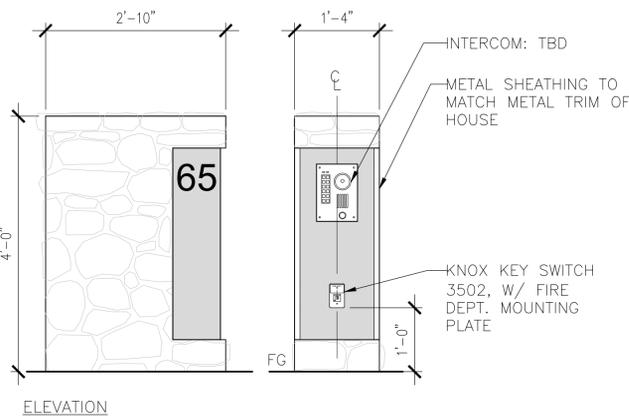


4 VEHICLE GATE @ GARAGE
Scale: 1/2"=1'-0"



1 PEDESTRIAN GATE/DROP-BOX
Scale: 1/2"=1'-0"

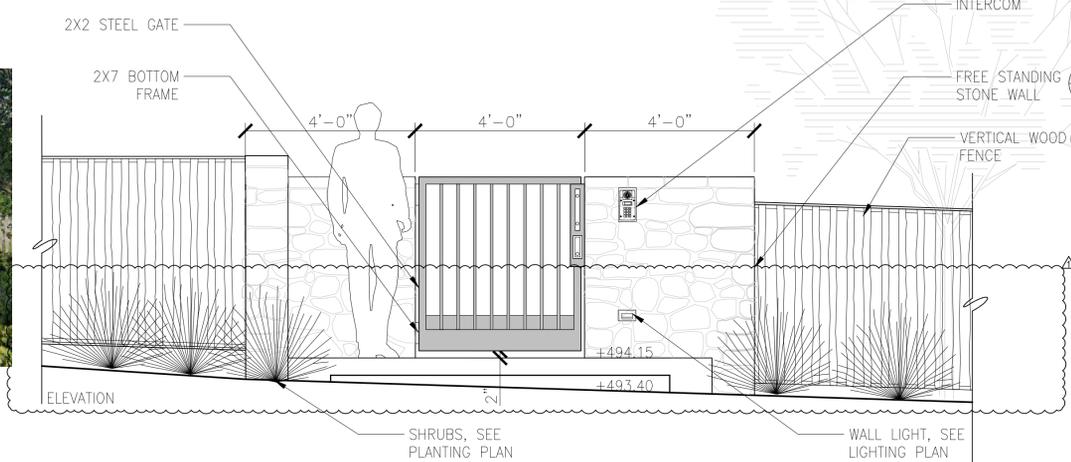
NOTE:
1. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH AND A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC 505.1.
2. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.



5 VEHICLE GATE INTERCOM
Scale: 3/4"=1'-0"



PERSPECTIVE

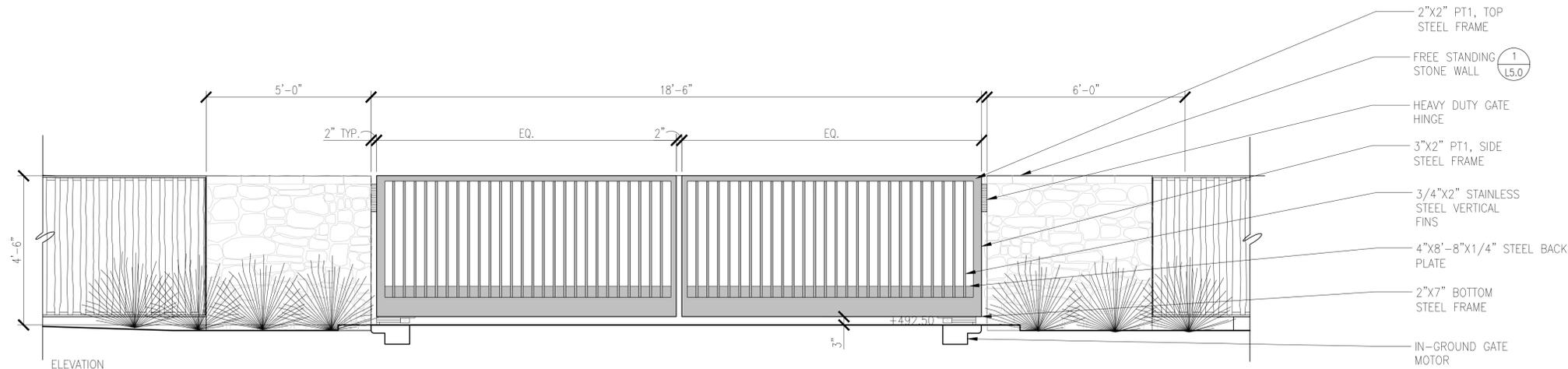


2 PEDESTRIAN GATE @ MAIN ENTRY
Scale: 1/2"=1'-0"

NOTE:
1. LGTC SEC 29.40.0315 (C) 3 REQUIRES A MINIMUM SET BACK OF 18' FROM THE EDGE OF THE STREET TO THE GATE.
2. SEE 5/L5.1 FOR APPROVED KNOX BOX KEY SWITCH LOCATION



PERSPECTIVE

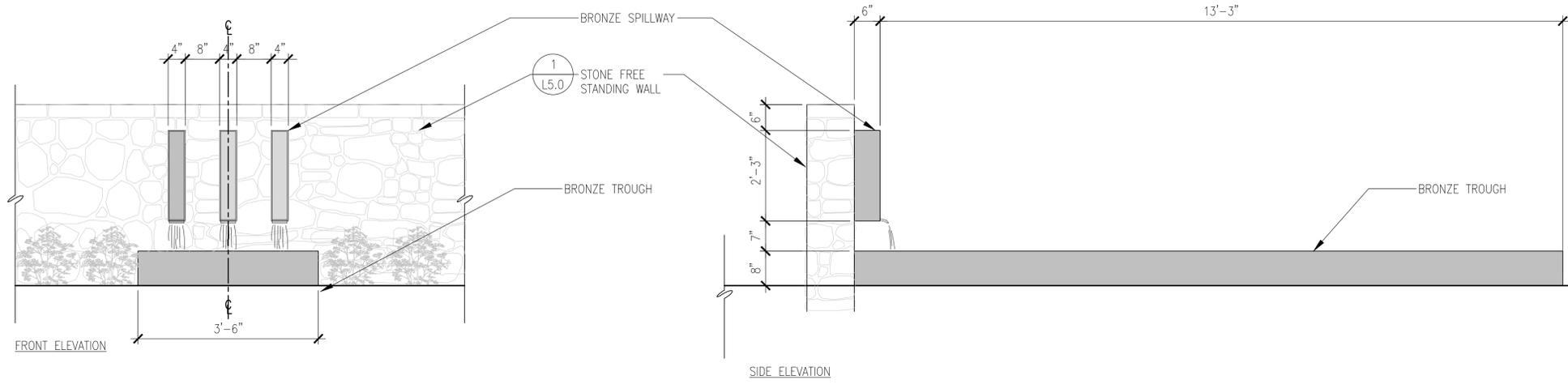


3 VEHICLE GATE
Scale: 1/2"=1'-0"

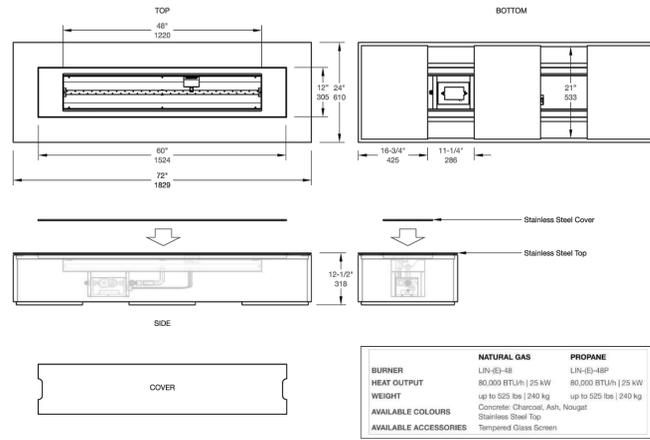




PERSPECTIVE



1 WATER FEATURE
Scale: 3/4"=1'-0"



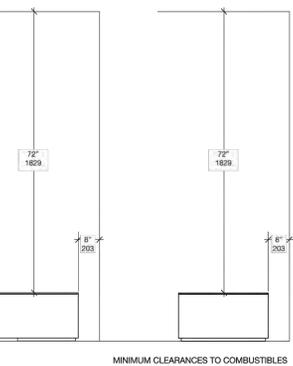
sales@paloform.com | paloform.com ROBATATA 72 CONCRETE - ELECTRONIC P-FIR-ROB72-E SCALE 3/4" = 1' 2016-12-12

PALOFORM

SPECIFICATIONS & CLEARANCES

ROBATATA 72/54 CONCRETE FIRE | Installation & Owner's Manual 6

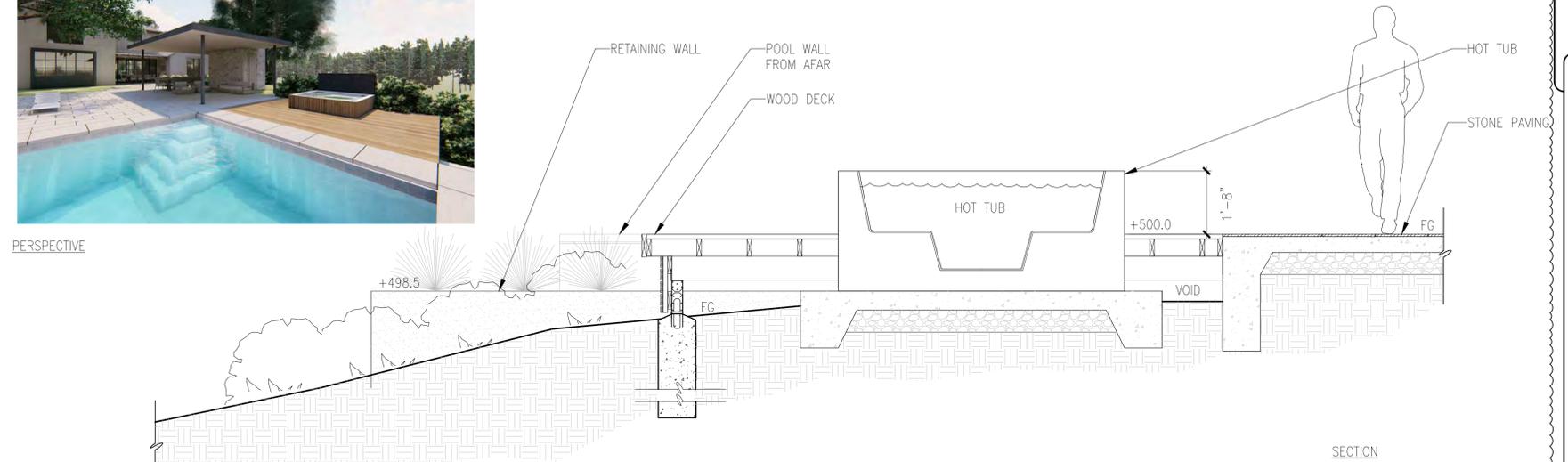
	ROBATATA 54 NATURAL GAS	ROBATATA 54 PROPANE	ROBATATA 72 NATURAL GAS	ROBATATA 72 PROPANE
Burner Model #	LIN-35	LIN-35P	LIN-48	LIN-48P
Max Heat Input	60,000 BTU/h	57,000 BTU/h	80,000 BTU/h	77,000 BTU/h
Inlet Pressure - Min.	4.5" W.C.	11.0" W.C.	4.5" W.C.	11.0" W.C.
Inlet Pressure - Max.	10.5" W.C.	13.0" W.C.	10.5" W.C.	13.0" W.C.
Orifice Size	26	43	18	37
Burner Ports	35	35	47	47
Port Size	1/8"	1/8"	1/8"	1/8"
Electrical	120V 15A Outdoor Receptacle - Dedicated Circuit with Wall Switch. Burner connects via an AC adapter. Must be installed and grounded in accordance with local codes.			



4 FIRE PIT
Scale: NTS



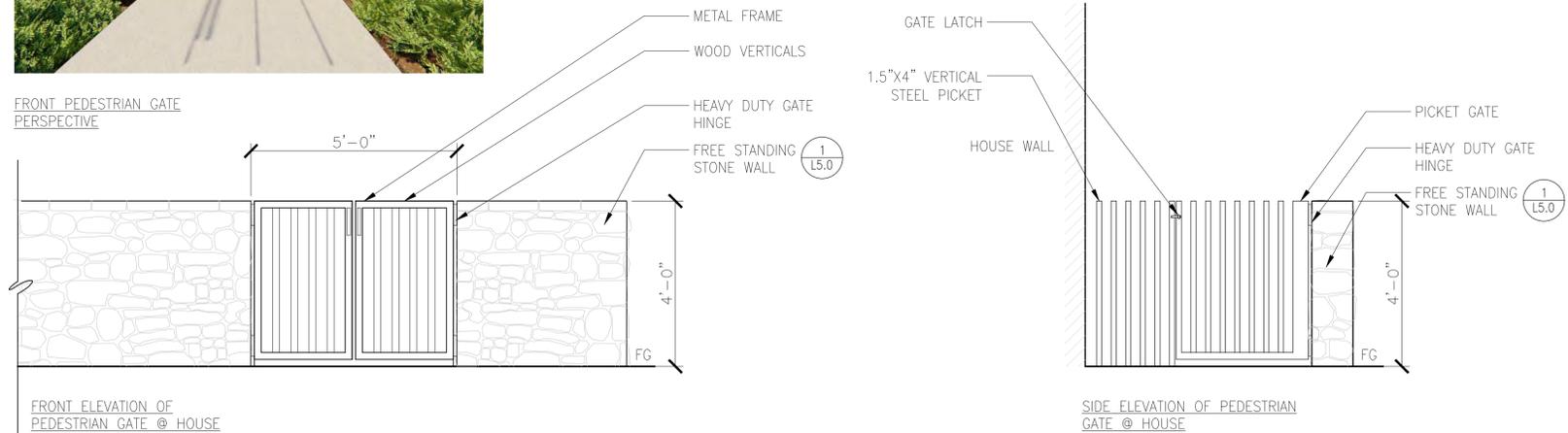
PERSPECTIVE



2 HOT TUB @ DECK
Scale: 1/2"=1'-0"



FRONT PEDESTRIAN GATE PERSPECTIVE



3 PEDESTRIAN GATES @ MAIN HOUSE
Scale: 1/2"=1'-0"



Date: 04.23.20 Issue: Technical Review
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DETAILS

Drawn by: RP
Checked by: JM

S.R. Smith
ASSEMBLY AND INSTALLATION INSTRUCTIONS
656/658 SUPREME FIBERGLASS JUMP STAND

CAUTION

ALL MINIMUM WATER ENVELOPE DIMENSIONS FOR RESIDENTIAL INGROUND SWIMMING POOLS MUST MEET THE AMERICAN NATIONAL STANDARD FOR RESIDENTIAL INGROUND SWIMMING POOLS REFERENCED THROUGHOUT THESE ASSEMBLY AND INSTALLATION INSTRUCTIONS. ALL DIMENSIONS AND RELATED EQUIPMENT ARE MANUFACTURED TO MEET THESE STANDARDS. THE U.S. 656/658 SUPREME FIBERGLASS JUMP STANDS ARE DESIGNED TO BE EASILY TRANSPORTED AND INSTALLED. FOLLOW ALL INSTRUCTIONS CAREFULLY AND INSPECT CLOSELY TO ENSURE PROPER AND SAFE INSTALLATION. PROPER INSTALLATION CANNOT BE OVERSTATED. IMPROPER INSTALLATION VOIDS S.R. SMITH'S WARRANTY AND MAY AFFECT THE SAFETY OF THE USER.

CORPORATE HEADQUARTERS
ANSI WESTERN SALES AND MANUFACTURING PLANT
 P.O. Box 400 • 617 SW Gang Parkway
 Canby, Oregon 97013
 (503) 266-2231 • Fax (503) 266-4334
 www.srsmith.com

ATTENTION! THESE INSTRUCTIONS MUST REMAIN WITH STAND OWNER.

06-336 MAY05

ANSI/APSP/ICC-5 2011

Figure 3 Minimum diving board envelope

Minimum Water Surface Slope - Plan View
 NOTE: 1/4" equals to 1 foot and 1/2 inch.

Minimum Water Depth - Section A-A

Minimum Water Depth - Section B-B

Minimum Water Depth - Section C-C

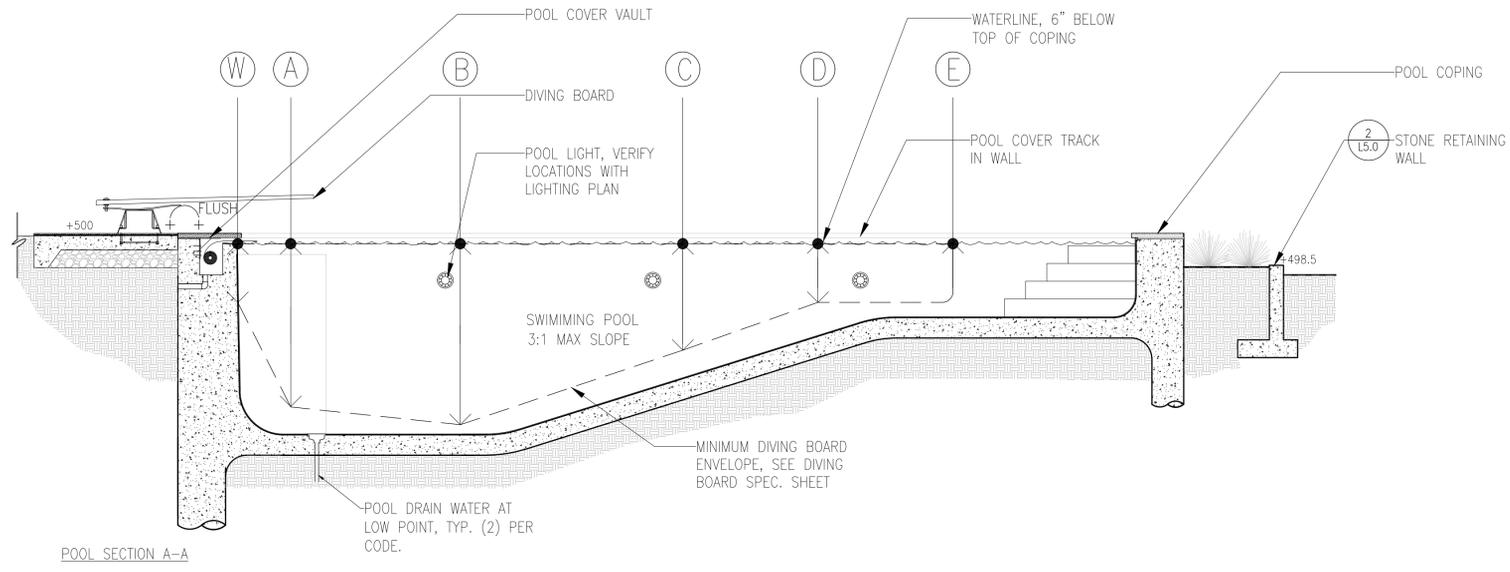
Minimum Water Depth - Section D-D

Minimum Water Depth - Section E-E

Table 3. Minimum diving board envelope for permitting public designated types 1-4

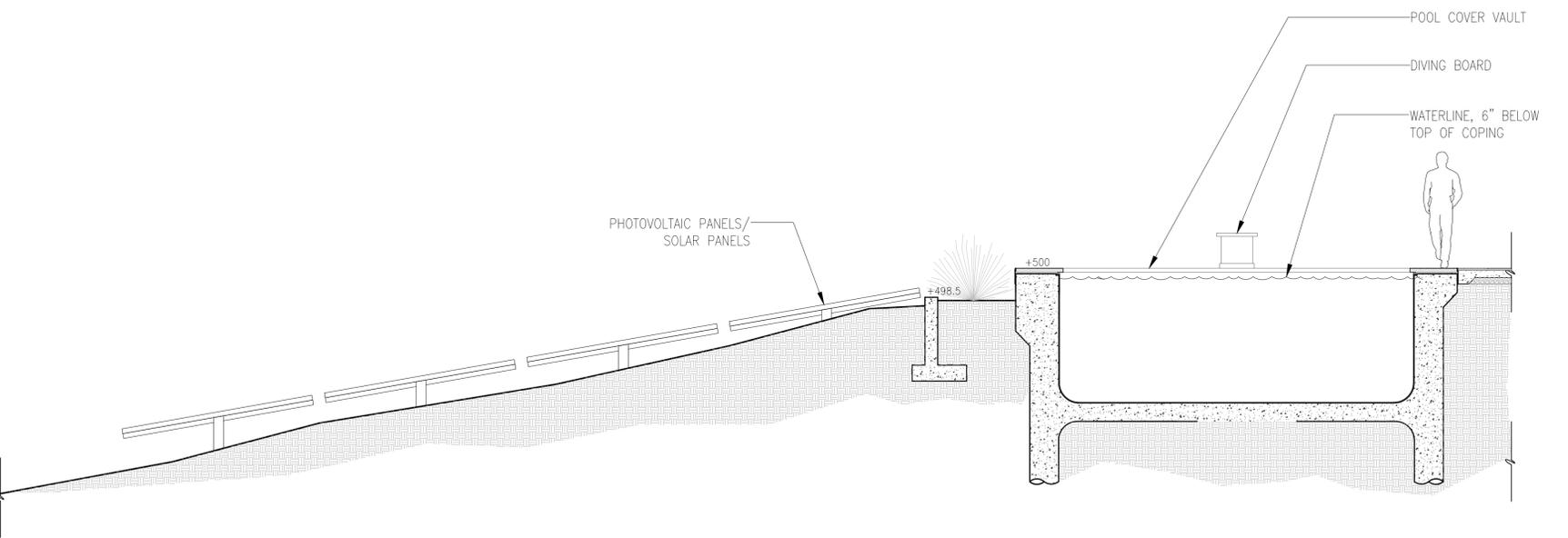
Pool Type	Minimum Depth at Point				Minimum Width at Point				Horizontal diving envelope (permitted)														
	A	B	C	D	A	B	C	D	1	2	3	4	5	6	7	8	9	10	11	12	13	14	
1	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
2	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
3	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
4	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"

NOTES:
 1. Minimum depth between points CD (high light) and between points DE (low light) shall be as shown between gates points.
 2. Slope shall be 1/4" to 1/2".
 3. Horizontal dimension between points 1-12 shall be as shown. The distance between any two adjacent points shall be 1/2".
 4. Pool type designations between water envelope areas are as specified in the following table.

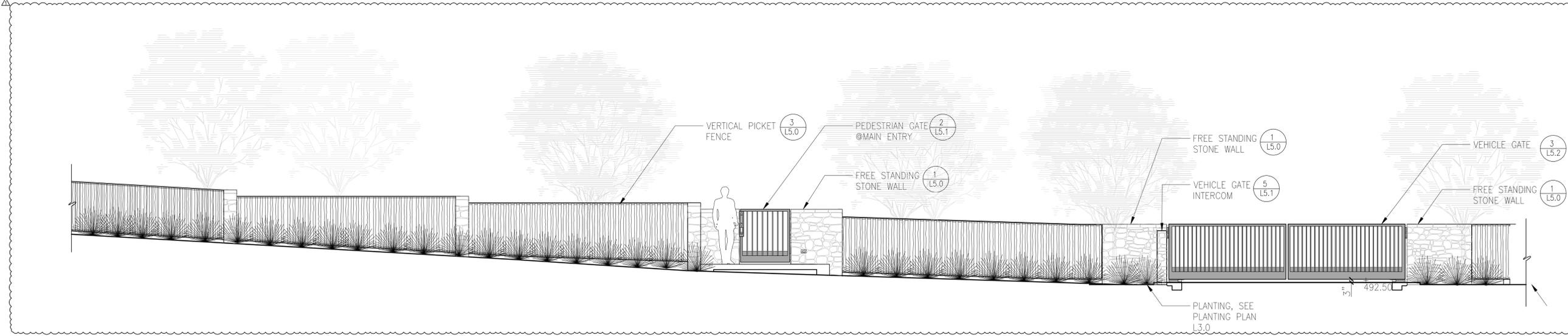


1 SECTION A-A
 Scale: 1/4"=1'-0"

2 SECTION B-B
 Scale: 1/4"=1'-0"



3 ELEVATION C-C
 Scale: 1/4"=1'-0"



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LICENSED LANDSCAPE ARCHITECT
 JOHN MERTEN NO. 1117
 SIGN HERE
 RENEWAL DATE
 DATE

SWENSEN RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

Date: 04.23.20 Issue: Technical Review
 08.18.20 T.R. Comments

SECTION/
 ELEVATIONS

Drawn by: RP
 Checked by: JM
L5.3