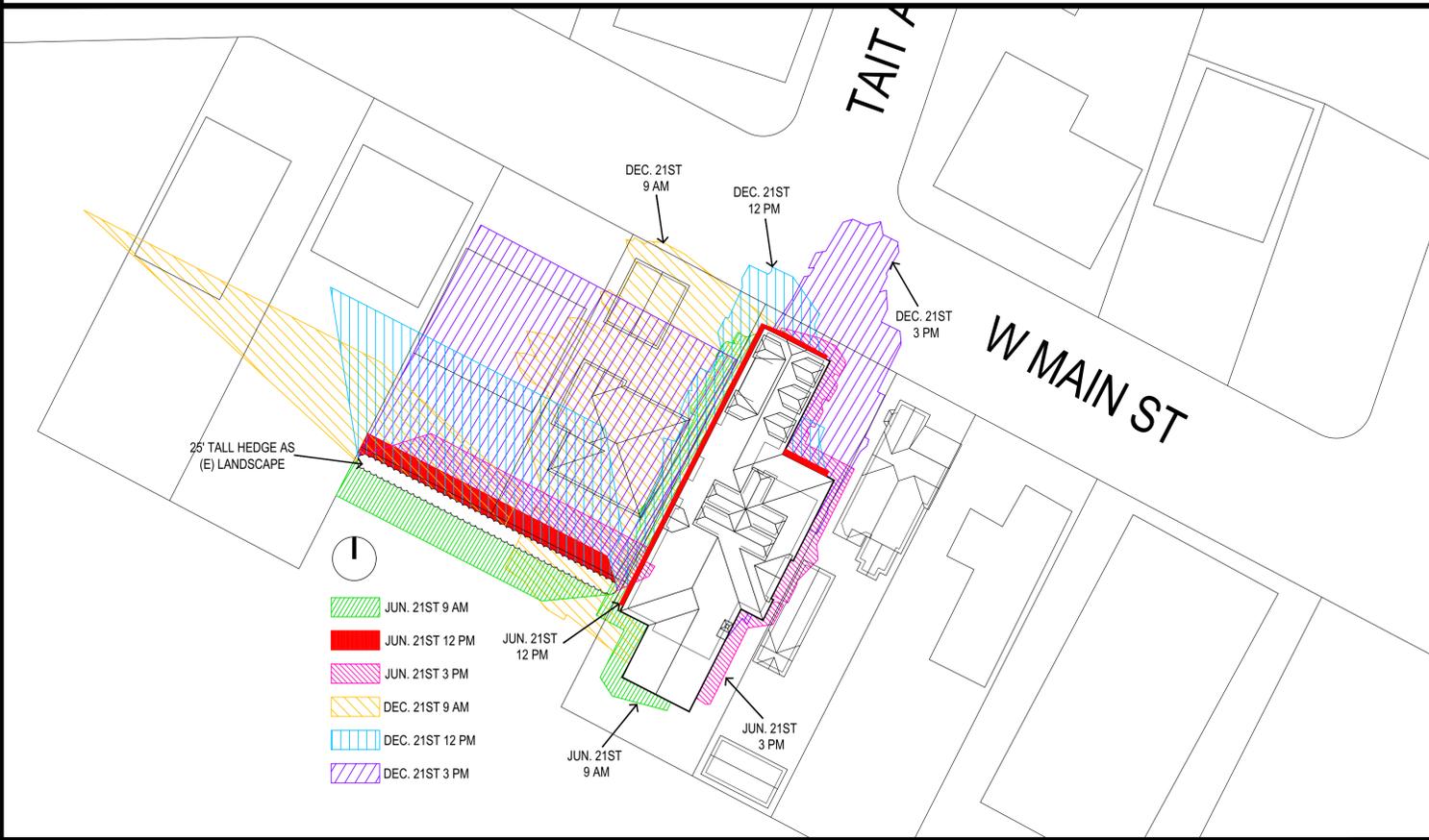
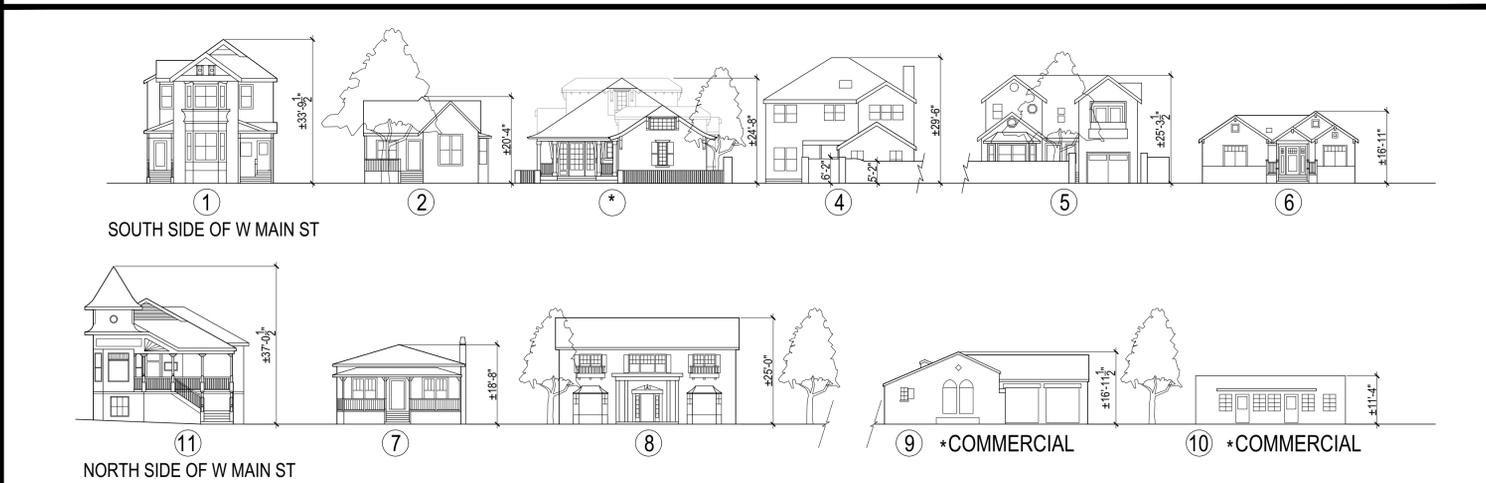


SHADOW STUDY

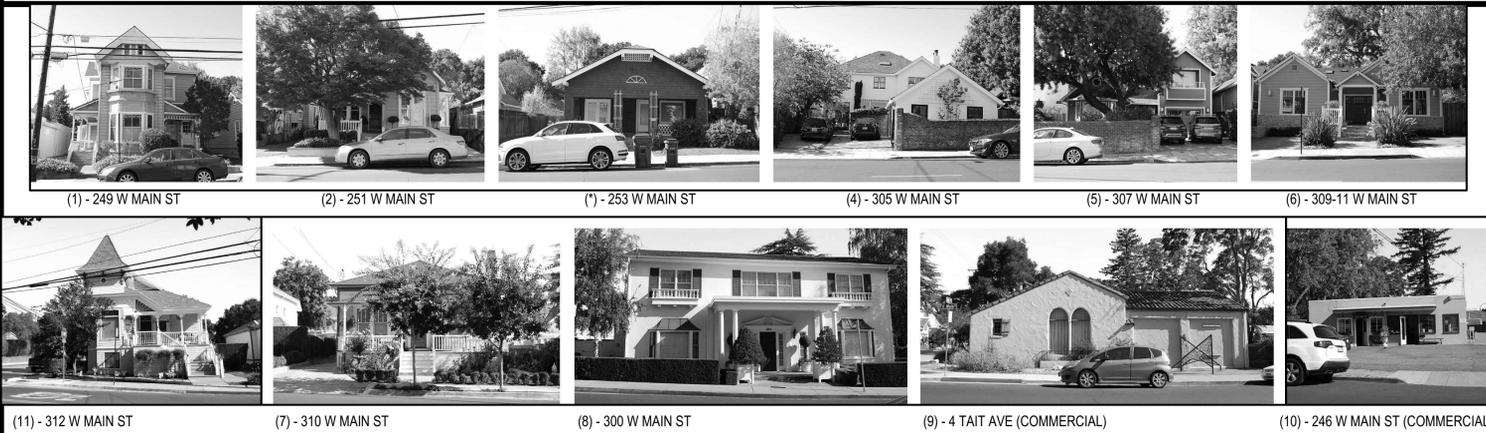


NEIGHBORHOOD STREETSCAPE

SCALE: 1" = 20'



STREETSCAPE PHOTOS



PROJECT DATA

**PROJECT ADDRESS:** 253 W. MAIN ST  
**A.P.N. :** 510-45-006  
**LOT AREA (FROM PARCEL MAP):** 7,500 SF  
**ZONING =** R-1D: LHP  
**OCCUPANCY=** R3 / U  
**CONSTRUCTION TYPE=** V-B  
**REQUIRED PARKING=** 2  
**FIRE SPRINKLERS=** YES  
**BUILT:** 1890  
**WUI=** YES

SETBACKS	ALLOWED	PROPOSED
FRONT:	8'-0" *	8'-0"
SIDE:	5'-0"	5'-0"
REAR:	20'-0"	20'-0"

\* Town code Section 29.40.050. Where a lot is situated between two (2) lots, each of which has a main building (within twenty-five (25) feet of its side lot lines), which lawfully projects into the required front yard, the front yard requirement on such lot may be the average of the front yards of the existing buildings.

BUILDING HEIGHT	ALLOWED	EXISTING	PROPOSED
MAIN RESIDENCE:	30'-0" (MAX)	± 18'-2 1/2"	24'- 8"
ADU:	15'-0" (MAX)	N/A	N/A

**FLOOR AREA RATIO (FAR) CALCULATION** Where A = 7,500 / 1000 OR 7.5

HOUSE =  $.35 - \frac{[(A - 5) \times .20]}{25} = .35 - \frac{(7.5 - 5) \times .20}{25} = .33$  or  $.33 \times 7,500 = 2,475$  SF

GARAGE =  $.10 - \frac{[(A - 5) \times .07]}{25} = .10 - \frac{(7.5 - 5) \times .07}{25} = 0.093$  or  $0.093 \times 7,500 = 697$  SF

ADU =  $.45 - \frac{[(A - 5) \times .20]}{25} = .45 - \frac{(7.5 - 5) \times .20}{25} = .43$  or  $.43 \times 7,500 = 3,225$  SF - 2,475 SF = 750 SF

SQUARE FOOTAGE	ALLOWED	EXISTING	PROPOSED
HABITABLE HOUSE	2,475 SF	1,064 SF	2,473 SF
ATTACHED GARAGE	697 SF	N/A	675 SF

BUILDING COVERAGE	ALLOWED	EXISTING	PROPOSED
HABITABLE HOUSE	2,473 SF	1,064 SF	2,473 SF
ATTACHED GARAGE	675 SF	N/A	675 SF
FRONT PORCH	122 SF	N/A	122 SF
BREEZEWAY	51 SF	N/A	51 SF
LANAI	351 SF	N/A	351 SF
TOTAL	3,672 SF (49%)	N/A	3,672 SF (49%)

INDEX

- A1.1 Cover Sheet
  - A1.1a Draft Conditions
  - C-1 Existing Conditions Plan
  - C-2 Demolition Plan
  - C-3 Site, Grading & Drainage Plan
  - C-4 Grading & Drainage Plan
  - C-5 Erosion Control Plan
  - C-6 Details
  - A1.2 Proposed Site Plan
  - A1.3 3D Model Renderings
  - BG-1 GreenPoint Checklist
  - A2.1 Existing Floor Plan + Existing Roof Plan
  - A2.2 Proposed Floor Plan
  - A2.3 Proposed Floor Plan
  - A2.4 Proposed Roof Plan
  - A2.5 Proposed Roof Plan
  - A3.1 Existing Exterior Elevations
  - A3.2 Proposed Exterior Elevations
  - A3.3 Proposed Exterior Elevations
  - A3.4 Proposed Exterior Elevations
  - A4.1 Building Sections
  - A4.2 Building Sections
  - A4.3 Building Sections
- CODES USED**
- The following codes are currently in effect:
- 2019 California Building Code
  - 2019 California Residential Code
  - 2019 California Electrical Code
  - 2019 California Mechanical Code
  - 2019 California Plumbing Code
  - 2019 California Energy Code
  - 2019 California Fire Code
  - 2019 California Existing Building Code
  - 2018 International Existing Building Code
  - 2019 California Green Building Standards Code

PROJECT INFO.

**Owner:**  
Kim & Mike Wasserman  
253 W. Main St.  
Los Gatos, CA 95030

**Designer:**  
Studio 3 Design  
Contact: Bess Wiersema  
bess@studio-three.com  
638 University Ave.  
Los Gatos, California 95032  
ph: (408) 292-3252  
fax: (253) 399-1125

**Civil Engineer:**  
TS Civil Engineering, Inc  
Contact: Terence J Szczywick  
terry@tscivil.com  
1776 Technology Dr.  
San Jose, California 95110  
ph: (408) 452-9300  
fax: (408) 837-7550

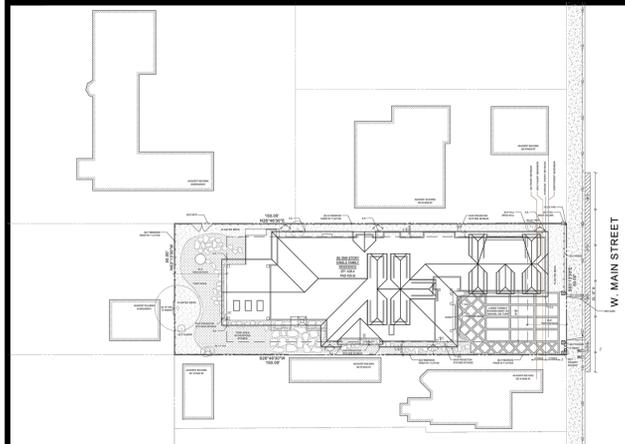


INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

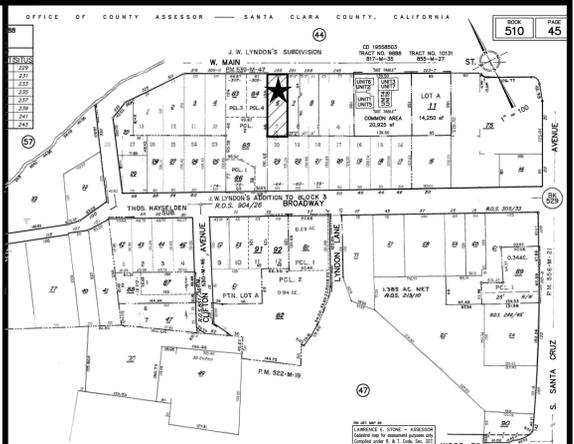
638 UNIVERSITY AVE.  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

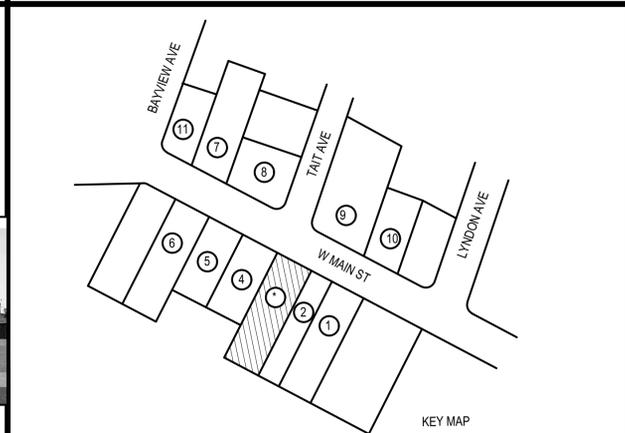
SITE PLAN



PARCEL MAP



KEY MAP



VICINITY MAP



WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

- 26 FEBRUARY 2020
- 22 JUNE 2020  
PLANNING SUBMITTAL
- 04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I
- 18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II
- 26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: AS NOTED

COVER SHEET

**DRAFT CONDITIONS:**  
TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:  
(Building Division)

- PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing single- family residence. A separate Building Permit is required for the construction of the new single- family residence and attached garage.
- APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
- CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
- BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
- SIZE OF PLANS: Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
- REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
- SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
- SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall conform to the Cal/OSHA regulations.
- FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
  - Building pad elevation
  - Finish floor elevation
  - Foundation corner locations
  - Retaining wall(s) locations and elevations
- TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
- TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
  - Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
  - All passage doors shall be at least 32-inch wide doors on the accessible floor level.
  - The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18- inch clearance at interior strike edge.
  - A door buzzer, bell or chime shall be hard wired at primary entrance.
- BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
- HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
- WILDLAND-URBAN INTERFACE: This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2019 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
- PROVIDE DEFENSIBLE SPACE/FIRE BREAK LANDSCAPING PLAN: Prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
- PRIOR TO FINAL INSPECTION: Provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
- SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
- BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
- APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
  - Community Development – Planning Division: (408) 354-6874
  - Engineering/Parks & Public Works Department: (408) 399-5771
  - Santa Clara County Fire Department: (408) 378-4010
  - West Valley Sanitation District: (408) 378-2407
  - Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

**DRAFT CONDITIONS:**  
TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:  
(Engineering Division)

- GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner and/or Applicant's expense.
- APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
- ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
- RESTORATION OF PUBLIC IMPROVEMENTS: The Owner and/or Applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner and/or Applicant or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner and/or Applicant or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
- INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits.
- DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner and/or Applicant's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any studies imposed by the Planning Commission or Town Council shall be funded by the Owner and/or Applicant.
- GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
- DRIVEWAY: The driveway conform to existing pavement on W. Main Street shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
- DRAINAGE IMPROVEMENT: Prior to the issuance of any permits, the Owner and/or Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
- PRECONSTRUCTION MEETING: Prior to the commencement of any site work, the general contractor shall:
  - Along with the Owner and/or Applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
- SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Owner and/or Applicant's engineer(s), and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner and/or Applicant.

- WATER METER: The existing water meter, currently located within the W. Main Street right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner and/or Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the W. Main Street right-of-way, shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner and/or Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Owner and/or Applicant. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, before the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
  - W. Main Street: new curb and sidewalk along the entire property frontage, a Town- standard residential driveway, and a 2" overlay from the centerline to the southern lip of gutter, or alternative pavement restoration measure as approved by the Town Engineer.
- CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- FRONTAGE IMPROVEMENTS: The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), pavement, etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- UTILITIES: The Owner and/or Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner and/or Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- DRIVEWAY APPROACH: The Owner and/or Applicant shall install one (1) Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
- CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of- way will only be allowed if it does not cause access or safety problems as determined by the Town.
- TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
  - Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.
  - Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
  - Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
- CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
- HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Cover all trucks hauling soil, sand and other loose debris.
- CONSTRUCTION HOURS: All construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner and/or Applicant shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
- CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty- five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty- five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse location(s). Please refer to the Town's Construction Management Plan Guidelines document for additional information.
- WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
- SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
- BEST MANAGEMENT PRACTICES (BMPs): The Owner and/or Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such

- measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
- SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
    - Protect sensitive areas and minimize changes to the natural topography.
    - Minimize impervious surface areas.
    - Direct roof downspouts to vegetated areas.
    - Use porous or pervious pavement surfaces on the driveway, at a minimum.
    - Use landscaping to treat stormwater.
  - EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
  - DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
  - AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)- recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
    - All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
    - All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
    - All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
    - As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
    - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
    - All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
    - All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
    - Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
    - All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
    - Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
  - DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
  - CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
  - SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property. [http://www.scurvppp-w2k.com/nd\\_wp.shtml?zoom\\_highlight=BIOTREATMENT+SOIL](http://www.scurvppp-w2k.com/nd_wp.shtml?zoom_highlight=BIOTREATMENT+SOIL).
  - SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
  - GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner and/or Applicant's expense.
  - PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
  - COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE.  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

26 FEBRUARY 2020

22 JUNE 2020  
PLANNING SUBMITTAL

04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I

18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II

26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: N/A

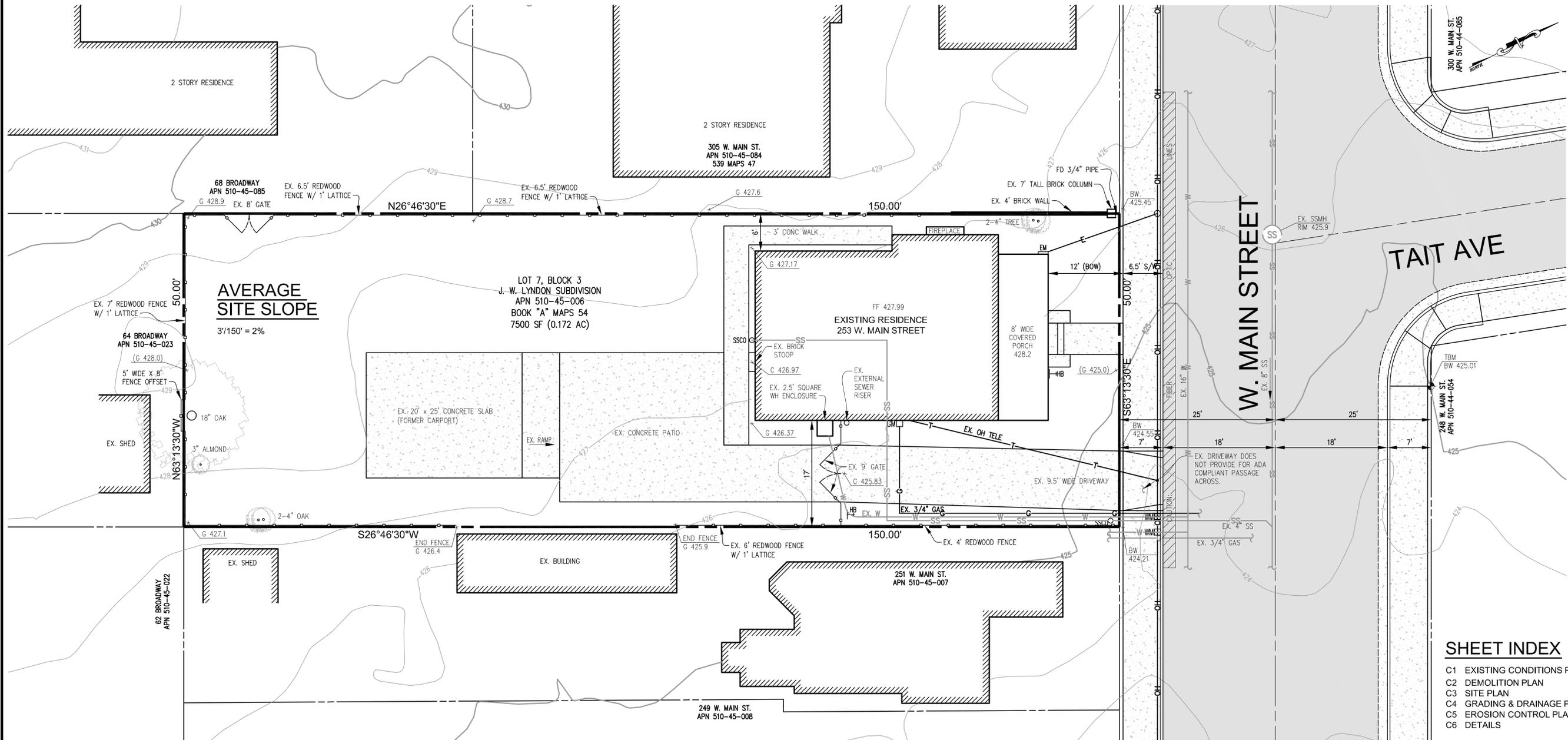
DRAFT CONDITIONS

A 1.1a

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**LEGEND**

	PROPERTY LINE		EX. AC BERM
	ADJACENT PROPERTY LINE		EX. TOP OF BANK
	STREET CENTER LINE		EX. TOE OF BANK
	BUILDING SETBACK LINES		EX. CREEK FLOWLINE
	EX. EASEMENT		EX. WIRE FENCE
	EX. DIRT ROAD		EX. CHAIN LINK FENCE
	EX. ROAD/PAVEMENT		EX. WOOD FENCE
	EX. CURB		EX. SANITARY SEWER LINE
	EX. CURB AND GUTTER		EX. PERFORATED SEPTIC LINE
	EX. CONCRETE		EX. ELECTRIC LINE
	EX. CONTOUR MAJOR		EX. GAS LINE
	EX. CONTOUR MINOR		EX. STORM DRAIN LINE
	EX. BLOCK RETAINING WALL		EX. WATER LINE
	EX. ROCK RETAINING WALL		EX. OVERHEAD WIRE
	EX. DRIVEWAY		
	EX. BUILDING		



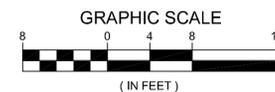
**SHEET INDEX**

- C1 EXISTING CONDITIONS PLAN
- C2 DEMOLITION PLAN
- C3 SITE PLAN
- C4 GRADING & DRAINAGE PLAN
- C5 EROSION CONTROL PLAN
- C6 DETAILS

**EXISTING CONDITIONS PLAN**  
 253 W MAIN STREET  
 LOS GATOS, CA 95030-6818  
 APN 510-45-006

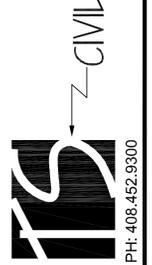
NO.	REVISIONS	DATE
6		
5		
4		
3		
2		
1		

DESIGNED UNDER THE SUPERVISION OF:  
  
 TERENCE J. SZEWCZY  
 NO. 35527  
 EXP. 9-30-21  
 STATE OF CALIFORNIA  
 10-25-20  
 EXPIRATION DATE: 09/30/2021



SHEET NO.  
**C1**  
 OF 6 SHEETS  
 JOB NO.  
**19-242**

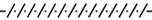
TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300  
 FAX: 408.837.7550



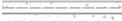
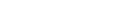
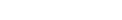
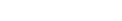
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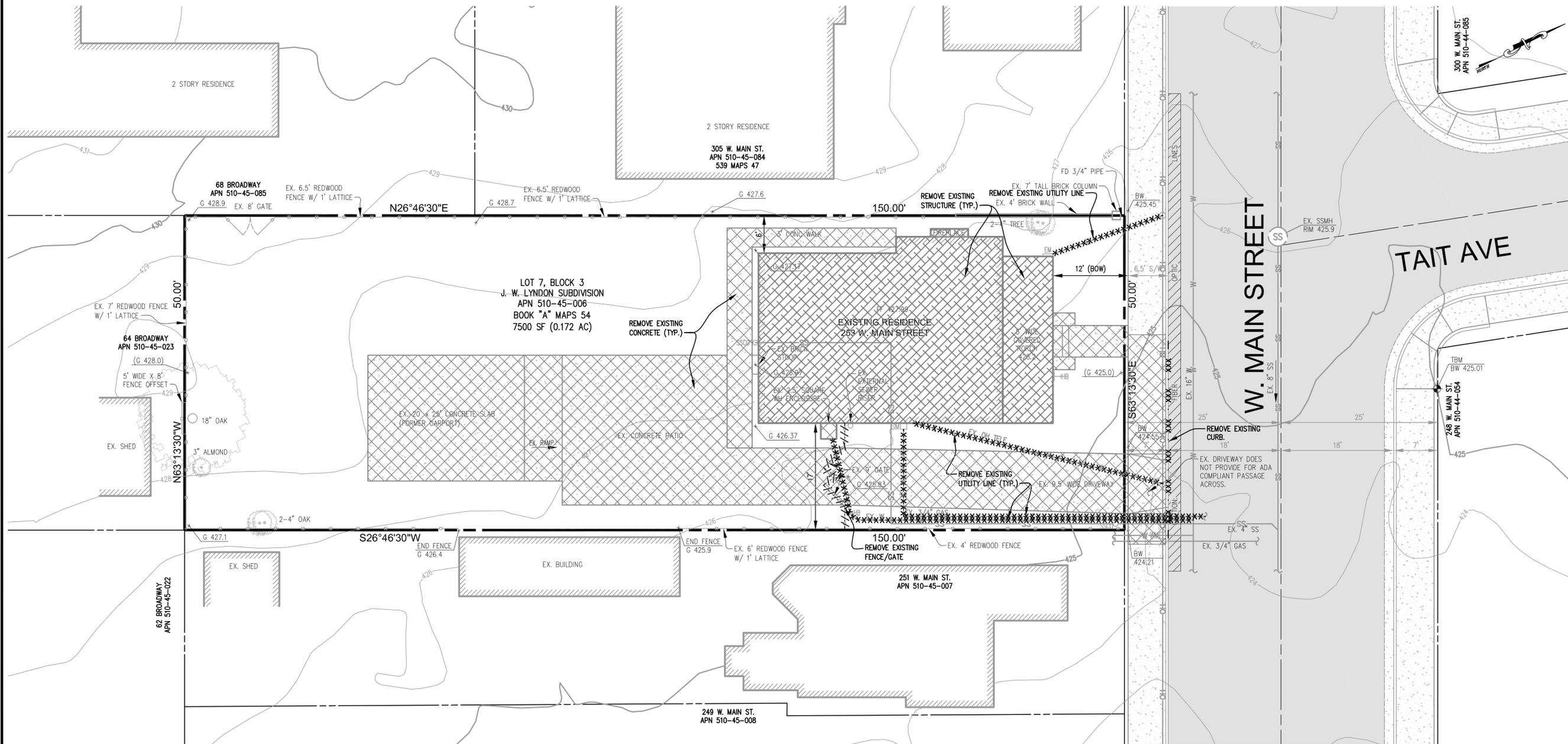
### DEMOLITION LEGEND

-  REMOVE EX. BUILDING INCLUDING CONCRETE FOUNDATION AND ANY ASSOCIATED REBAR AND BASE ROCK.
-  REMOVE EX. CONCRETE INCLUDING ANY ASSOCIATED REBAR AND BASE ROCK. SAWCUT EX. CONCRETE AT CLOSEST SCORE JOINT WITH A CLEAN EDGE.
-  EX. FENCE TO BE REMOVED.
-  EXISTING UTILITY LINE TO BE REMOVED. CUT AND CAP LINE AT MAIN.
-  EXISTING CURB TO BE REMOVED

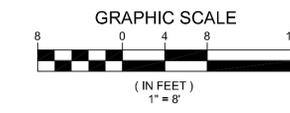
### LEGEND

-  PROPERTY LINE
-  ADJACENT PROPERTY LINE
-  STREET CENTER LINE
-  BUILDING SETBACK LINES
-  EX. EASEMENT
-  EX. DIRT ROAD
-  EX. ROAD/PAVEMENT
-  EX. CURB
-  EX. CURB AND GUTTER
-  EX. CONCRETE
-  EX. CONTOUR MAJOR
-  EX. CONTOUR MINOR
-  EX. BLOCK RETAINING WALL
-  EX. ROCK RETAINING WALL
-  EX. DRIVEWAY
-  EX. BUILDING

-  EX. AC BERM
-  EX. TOP OF BANK
-  EX. TOE OF BANK
-  EX. CREEK FLOWLINE
-  EX. WIRE FENCE
-  EX. CHAIN LINK FENCE
-  EX. WOOD FENCE
-  EX. SANITARY SEWER LINE
-  EX. PERFORATED SEPTIC LINE
-  EX. ELECTRIC LINE
-  EX. GAS LINE
-  EX. STORM DRAIN LINE
-  EX. WATER LINE
-  EX. OVERHEAD WIRE



DESIGNED UNDER THE SUPERVISION OF:  
  
 TERENCE J. SZEWCZY  
 NO. 35527  
 EXP. 9-30-21  
 STATE OF CALIFORNIA  
 10-25-20  
 EXPIRATION DATE: 09/30/21



TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
**TS** CIVIL ENGINEERING  
 PH: 408.452.9300  
 FAX: 408.837.7550

**DEMOLITION PLAN**  
 253 W MAIN STREET  
 LOS GATOS, CA 95030-6818  
 APN 510-45-006

NO.	REVISIONS	DATE
6		
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4		
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1		

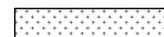
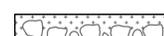
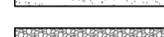
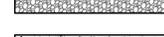
DATE: 10-25-20  
 SCALE: 1"=8'  
 DRAWN BY: DKH  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO.  
**C2**  
 OF 6 SHEETS  
 JOB NO.  
**19-242**

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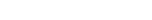
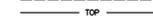
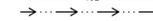
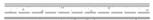
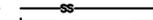
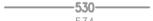
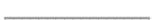
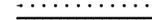
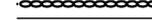
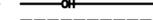
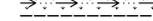
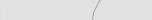
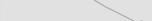
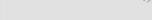
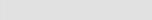
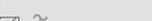
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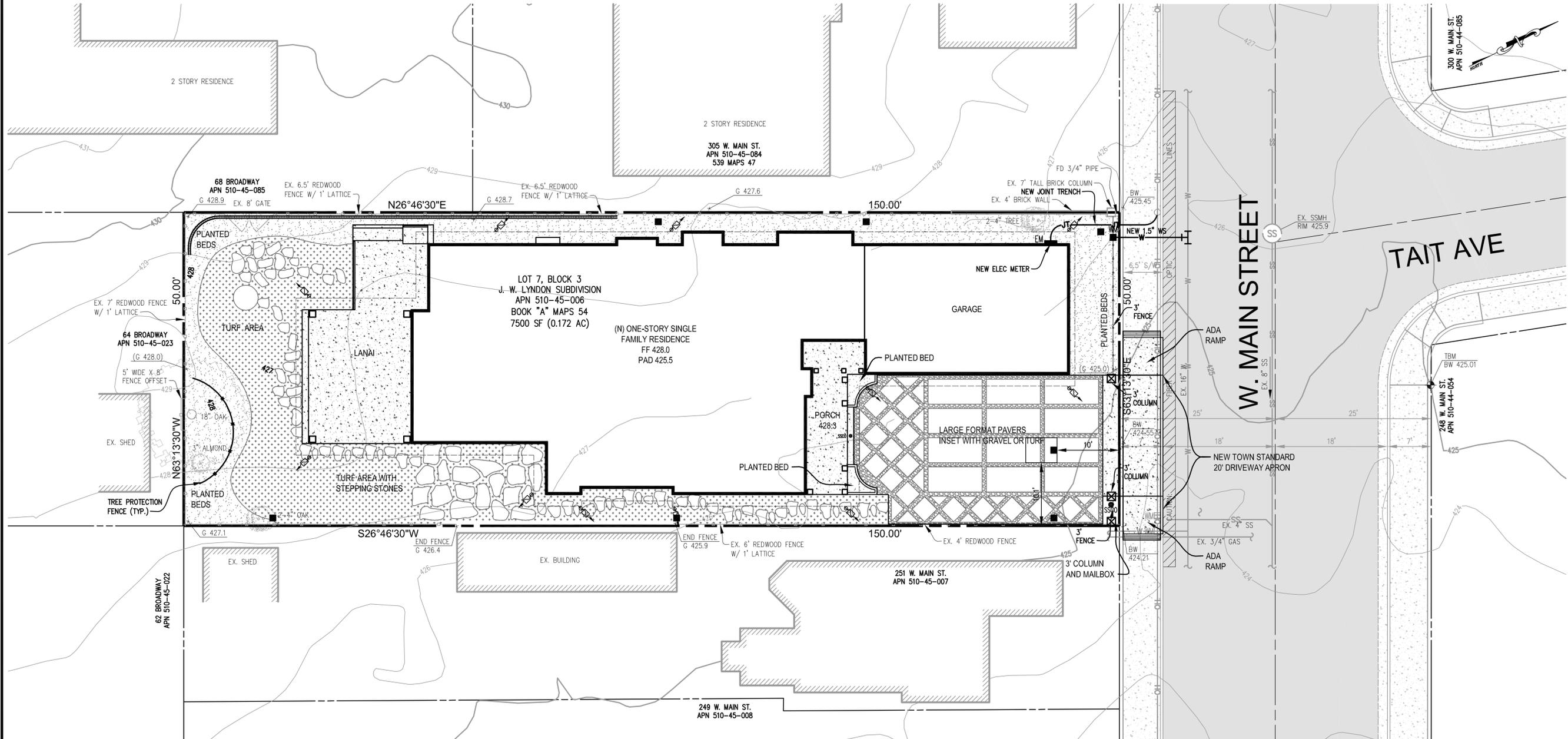
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		REPLACED	NEW	
RESIDENCE	1,105	1,105	1,405	2,510
GARAGE	0	0	684	684
DRIVEWAY	548	548	417	965
PORCH	212	173	0	173
PATIO	1,283	537	0	537
WALKWAY	289	289	42	331
TOTAL	3,437	2,652	2,548	5,200

### SURFACE IMPROVEMENT LEGEND

-  TURF AREA
-  TURF AREA WITH STEPPING STONES
-  PLANTED BEDS
-  GRAVEL OR TURF BETWEEN LARGE FORMAT PAVERS
-  CONCRETE

### LEGEND

- | DESCRIPTION            | EXISTING  | PROPOSED  | DESCRIPTION                     | EXISTING  | PROPOSED  |
|------------------------|---|---|---------------------------------|---|---|
| PROPERTY LINE          |  |  | TREE PROTECTION                 |  |  |
| ADJACENT PROPERTY LINE |  |  | AC BERM                         |  |  |
| STREET CENTER LINE     |  |  | TOP OF BANK                     |  |  |
| BUILDING SETBACK LINES |  |  | TOE OF BANK                     |  |  |
| EASEMENT               |  |  | CREEK FLOWLINE                  |  |  |
| DIRT ROAD              |  |  | WIRE FENCE                      |  |  |
| ROAD/PAVEMENT          |  |  | CHAIN LINK FENCE                |  |  |
| CURB                   |  |  | WOOD FENCE                      |  |  |
| CURB AND GUTTER        |  |  | SANITARY SEWER LINE             |  |  |
| CONCRETE               |  |  | PERFORATED SEPTIC LINE          |  |  |
| CONTOUR MAJOR          |  |  | ELECTRIC LINE                   |  |  |
| CONTOUR MINOR          |  |  | GAS LINE                        |  |  |
| DAYLIGHT LINE          |  |  | STORM DRAIN LINE                |  |  |
| BLOCK RETAINING WALL   |  |  | WATER LINE                      |  |  |
| ROCK RETAINING WALL    |  |  | OVERHEAD WIRE                   |  |  |
| DRIVEWAY               |  |  | PROP. GRASSY SWALE              |  |  |
| BUILDING               |  |  | PROP. DOWNSPOUT AND SPLASHBLOCK |  |  |
| BUILDING 2nd FLOOR     |  |  |                                 |   |   |
| ROOF LINE              |  |  |                                 |   |   |



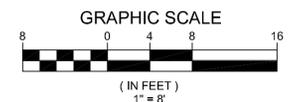
TS/CIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

**TS** CIVIL ENGINEERING  
SITE, GRADING AND DRAINAGE PLAN  
253 W MAIN STREET  
LOS GATOS, CA 95030-6818  
APN 510-45-006

NO.	DATE	REVISIONS	BY
6			
5			
4			
3			
2			
1			

DATE: 10-25-20  
SCALE: 1"=8'  
DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS  
SHEET NO.  
**C3**  
OF 6 SHEETS  
JOB NO.  
19-242

DESIGNED UNDER THE SUPERVISION OF:  
TERENCE J. SZEWCZYK  
REGISTERED PROFESSIONAL ENGINEER  
NO. 35527  
EXP. 9-30-21  
STATE OF CALIFORNIA  
10-25-20  
EXPIRATION DATE: 09/30/2021



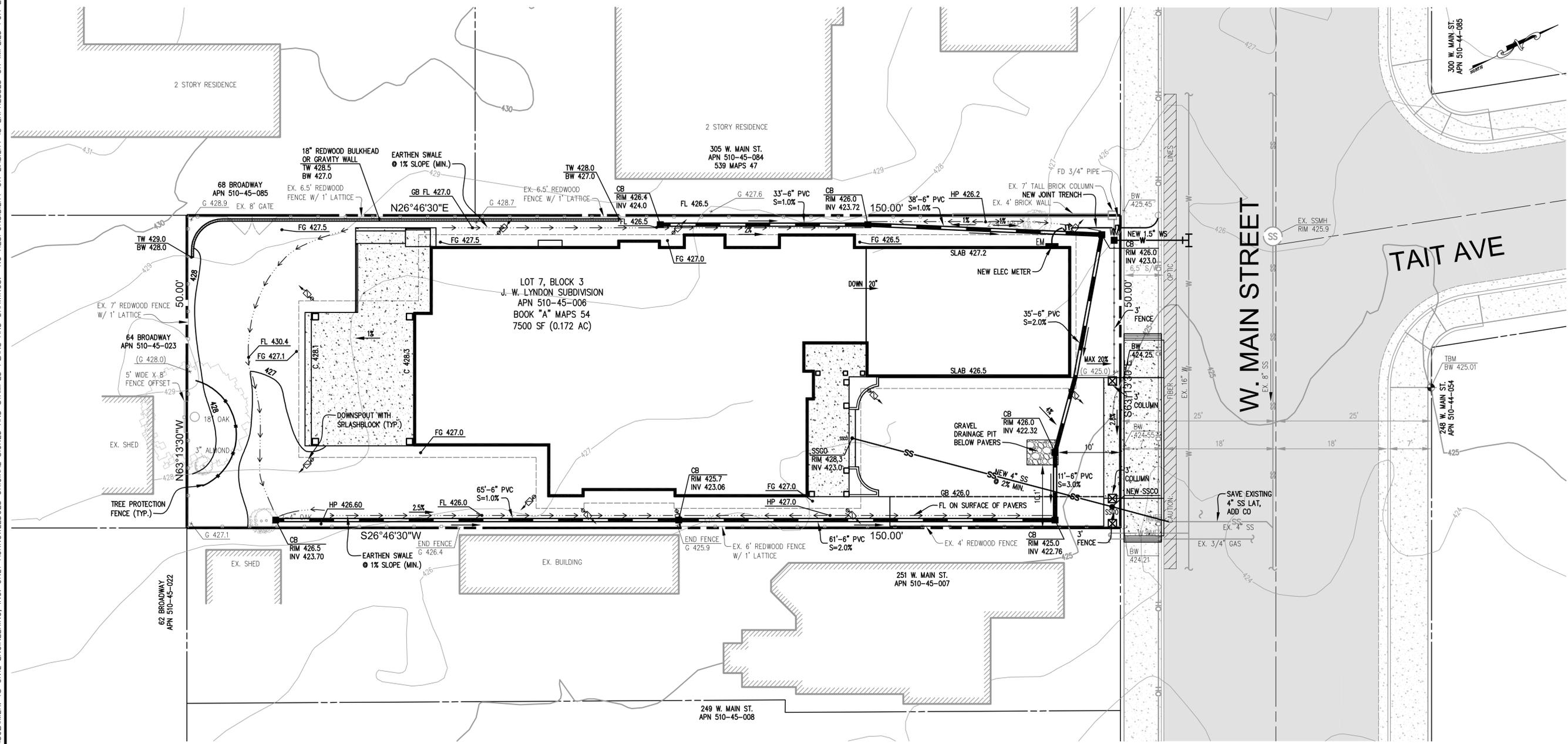
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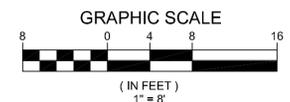
EARTHWORK SUMMARY		
	CUT (CY)	FILL (CY)
RESIDENCE	296	0
DRIVEWAY	21	0
REAR YARD	0	77
SIDE YARD	14	0
SIDE YARD	14	0
GARAGE	32	0
TOTAL	377	77

300 CY TO BE HAULED OFF SITE

LEGEND		EXISTING	PROPOSED	DESCRIPTION		EXISTING	PROPOSED
PROPERTY LINE		---	---	TREE PROTECTION	---	---	---
ADJACENT PROPERTY LINE		---	---	AC BERM	---	---	---
STREET CENTER LINE		---	---	TOP OF BANK	---	---	---
BUILDING SETBACK LINES		---	---	TOE OF BANK	---	---	---
EASEMENT		---	---	CREEK FLOWLINE	---	---	---
DIRT ROAD		---	---	WIRE FENCE	---	---	---
ROAD/PAVEMENT		---	---	CHAIN LINK FENCE	---	---	---
CURB		---	---	WOOD FENCE	---	---	---
CURB AND GUTTER		---	---	SANITARY SEWER LINE	---	---	---
CONCRETE		---	---	PERFORATED SEPTIC LINE	---	---	---
CONTOUR MAJOR		---	---	ELECTRIC LINE	---	---	---
CONTOUR MINOR		---	---	GAS LINE	---	---	---
DAYLIGHT LINE		---	---	STORM DRAIN LINE	---	---	---
BLOCK RETAINING WALL		---	---	WATER LINE	---	---	---
ROCK RETAINING WALL		---	---	OVERHEAD WIRE	---	---	---
DRIVEWAY		---	---	PROP. GRASSY SWALE	---	---	---
BUILDING		---	---	PROP. DOWNSPOUT AND SPLASHBLOCK	---	---	---
BUILDING 2nd FLOOR		---	---				
ROOF LINE		---	---				



DESIGNED UNDER THE SUPERVISION OF:  
 REGISTERED PROFESSIONAL ENGINEER  
 TERENCE J. SZEWCZYK  
 NO. 35527  
 EXP. 9-30-21  
 STATE OF CALIFORNIA  
 10-25-20  
 TERENCE J. SZEWCZYK  
 EXPIRATION DATE: 09/30/2021



**GRADING AND DRAINAGE PLAN**  
 253 W MAIN STREET  
 LOS GATOS, CA 95030-6818  
 APN 510-45-006

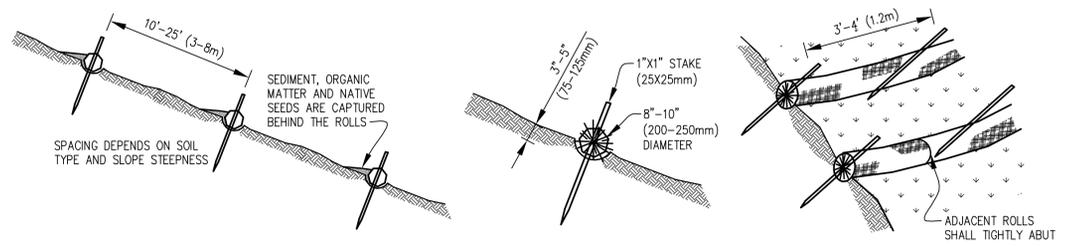
NO.	REVISIONS	DATE
6		
5		
4		
3		
2		
1		

DATE: 10-25-20  
 SCALE: 1"=8'  
 DRAWN BY: DKH  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO.  
**C4**  
 OF 6 SHEETS  
 JOB NO.  
 19-242

TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
**TS** CIVIL ENGINEERING  
 PH: 408.452.9300  
 FAX: 408.837.7550

10/25/2020 9:51am N:\2019 JOBS\19-242\DWG\19-242 C4 GRADING DRAINAGE PLAN.dwg - C4

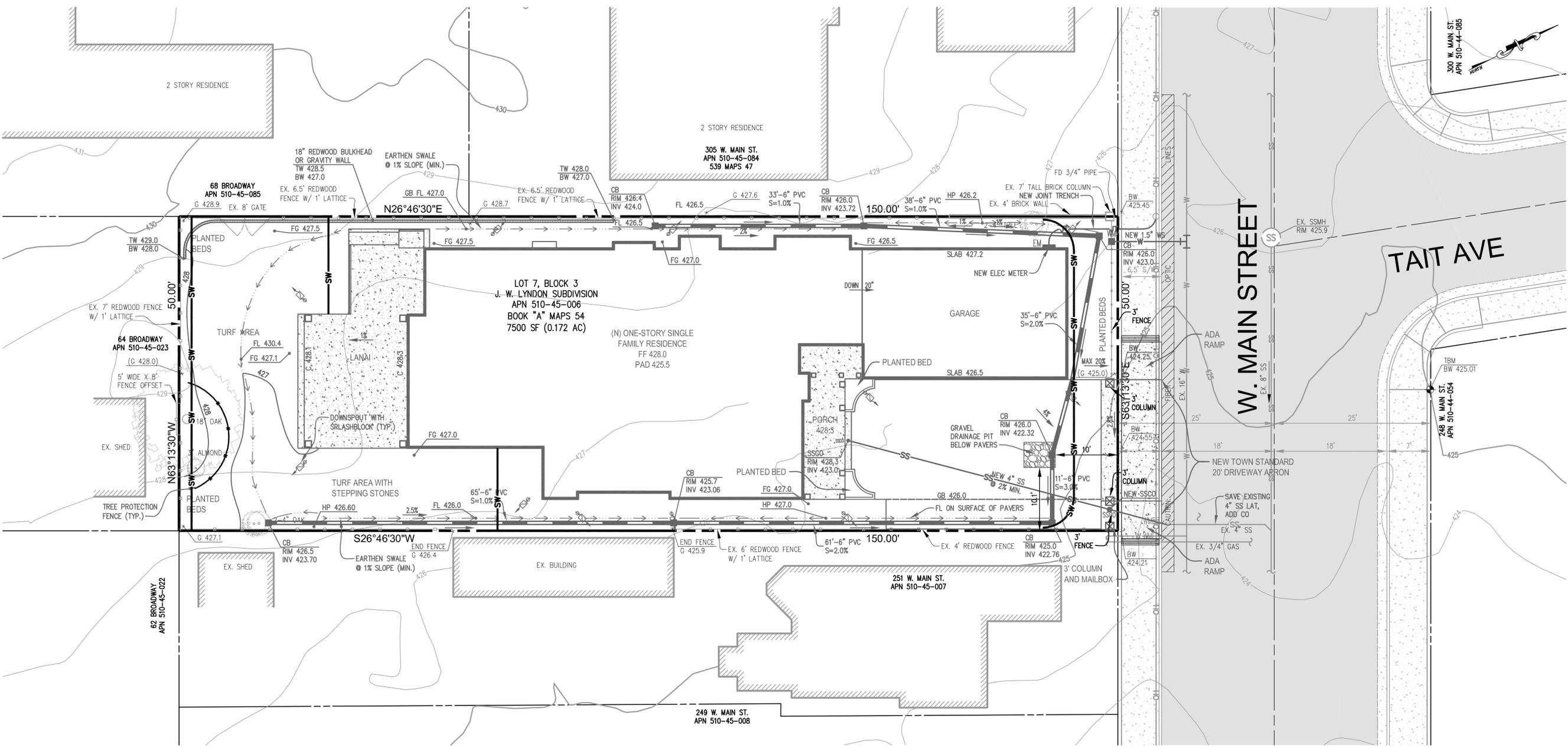
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STRAW WATTLES MUST BE PLACED ALONG SLOPE CONTOURS  
**STRAW WATTLE DETAIL**  
 NOT TO SCALE

**LEGEND**

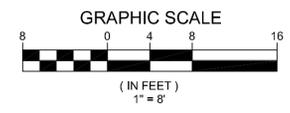
- GRAVEL CONSTRUCTION ENTRANCE
- CONCRETE TRUCK WASH-OUT BASIN
- STRAW BALES
- CONSTRUCTION FENCE
- SILT FENCE
- STRAW WATTLES
- INLET PROTECTION



DESIGNED UNDER THE SUPERVISION OF:



TERENCE J. SZEWCZY  
 EXPIRATION DATE: 09/30/21



TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
**TS** CIVIL ENGINEERING  
 PH: 408.452.9300 FAX: 408.837.7550

**EROSION CONTROL PLAN**  
 253 W MAIN STREET  
 LOS GATOS, CA 95030-6818  
 APN 510-45-006

NO.	REVISIONS	DATE
6		
5		
4		
3		
2		
1		

DATE: 10-25-20  
 SCALE: 1"=8'  
 DRAWN BY: DKH  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS

SHEET NO.  
**C5**  
 OF 6 SHEETS  
 JOB NO.  
**19-242**

10/25/2020 9:51am - N:\2019 JOBS\19-242\DWG\19-242 C5 EROSION CONTROL PLAN.dwg - C5

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- Etched polypropylene face
- Face anchored in concrete
- Ultra-violet inhibitor
- Exceeds ASTM-D1693 Standards for Environmental Stress Cracking Resistance

**Cast Iron Grate**  
ADA Compliant  
No. V09-71C 30  
lbs.

**Drain Box**  
No. B09 BOX  
90 lbs.

A curb type reinforced box for use in light drainage installations. Approximate dimensions and weight shown.

Oldcastle Ordering Code	Item	Approx. Shipping Weight	Description
B09BOX	BOX	90 lbs.	B09 Drain Box (10 1/4" x 16 3/4") - 28 per pallet
V09-71C	LID	30 lbs.	Cast Iron Grate - ADA Compliant
B09X12	EXTENSION	97 lbs.	12" Reinforced Concrete Box Extension - 28 per pallet
B09SL	SLAB	32 lbs.	Reinforced Concrete Slab (1 3/4" x 19 3/4")

**Oldcastle** Enclosure Solutions

Phone: (803) 735-5696 Fax: (803) 486-6908  
Copyright © 2017 Oldcastle, Inc.

**V09 BOX**

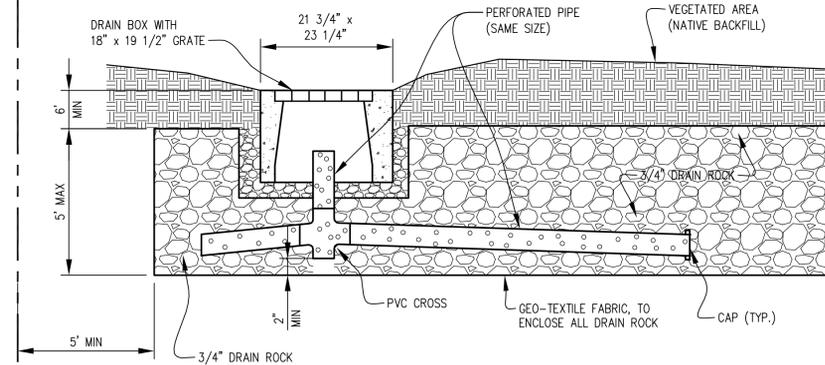
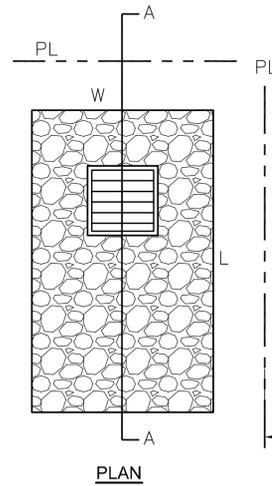
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ISSUE DATE: January, 2011

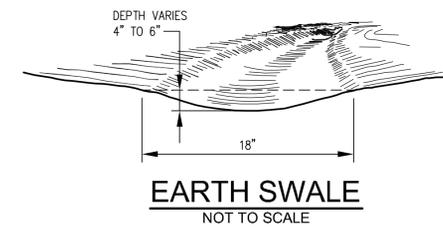
OldcastleEnclosures.com

**V09 DRAIN BOX**  
10-1/4" x 16-3/4"

**CHRISTY**



**GRAVEL BASIN DETAIL**  
NOT TO SCALE



DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWZYK  
NO. 35527  
EXP. 9-30-21  
STATE OF CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

10-25-20

TERENCE J. SZEWZYK  
EXPIRATION DATE: 09/30/21

NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

DATE: 10-25-20  
SCALE: AS NOTED  
DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS

SHEET NO.  
**C6**  
OF 6 SHEETS  
JOB NO.  
19-242

**DETAILS**  
253 W MAIN STREET  
LOS GATOS, CA 95030-6818  
APN 510-45-006

TS CIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110

PH: 408.452.9300  
FAX: 408.837.7550



INTERIORS  
 REMODELS +  
 ADDITIONS  
 NEW CONSTRUCTION

638 UNIVERSITY AVE.  
 LOS GATOS  
 CALIFORNIA  
 95032

T 408.292.3252  
 F 253.399.1125

WASSERMAN  
 253 W. MAIN STREET  
 LOS GATOS  
 CALIFORNIA  
 95030

A.P.N. 510-45-006

26 FEBRUARY 2020

22 JUNE 2020  
 PLANNING SUBMITTAL

04 SEPTEMBER 2020  
 PLANNING RESUBMITTAL I

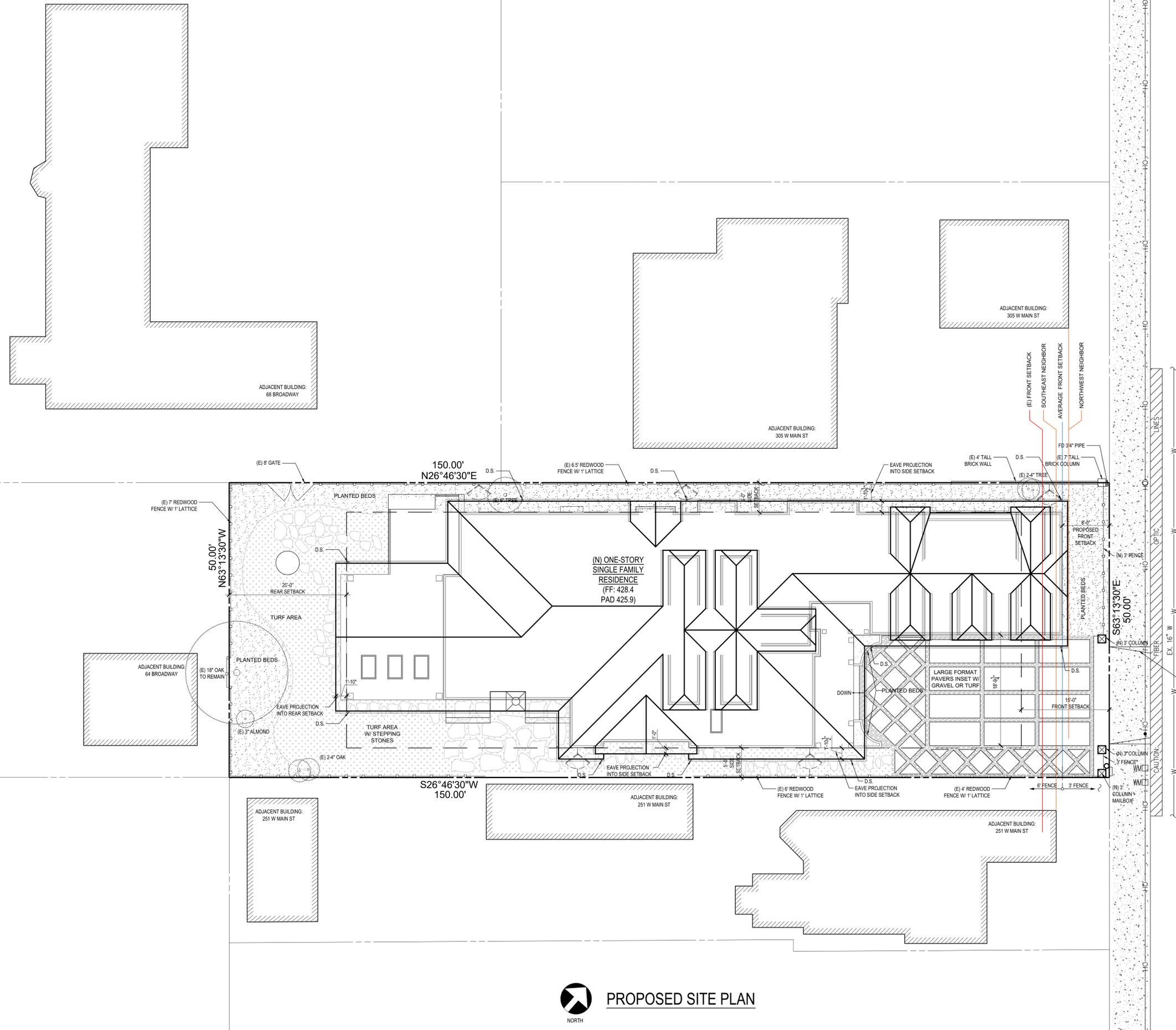
18 SEPTEMBER 2020  
 PLANNING RESUBMITTAL II

26 OCTOBER 2020  
 PLANNING RESUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED SITE PLAN

A1.2



PROPOSED SITE PLAN



STUDIO THREE DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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PLANNING RESUBMITTAL III

SCALE: 1/8" = 1'-0"

3D MODEL RENDERINGS

A1.3



Single Family GreenPoint Checklist

date \_\_\_\_\_



The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category. Energy (20), Indoor Air Quality (Health) (5), Resources (6), and Water (0). Please contact Build It Green for a list of qualified GreenPoint Raters. If you are interested in pursuing third-party verification, the green building practices listed below are described in the New Home Construction Green Building Guidelines, available at [www.builditgreen.org](http://www.builditgreen.org).

Points Achieved	Community	Energy	IAQ/Health	Resources	Water
42	12	12	12	12	12

Wasserman Residence

Points Achieved	Community	Energy	IAQ/Health	Resources	Water
76	2	42	12	8	12

**A. SITE**

1. Protect Topsoil and Minimize Disturbance of Existing Plants & Trees

2. Decommit Instead of Demolishing Existing Buildings On Site

3. Recycle on-site Construction Waste (excluding Green Waste)

4. Use Recycled Content Aggregate (Minimum 25%)

**B. FOUNDATION**

1. Replace Portland Cement in Concrete with Recycled Flyash or Slag

2. Use Frost-Protected Shallow Foundation in Cold Areas (C.E.C. Climate Zone 16)

4. Design and Build Structural Pier Controls

**C. LANDSCAPING**

1. Contract Resource-Efficient Landscapes

2. Use Pre-Sale Landscaping Techniques

3. Minimize Turf in Landscaping Installed by Builder

4. Plant Shade Trees

5. Group Plants by Water Needs (Hydrozoning)

6. Install High-Efficiency Irrigation Systems

7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil

8. Mutch All Planting Beds to the Greater of 2 Inches of Local Water Ordinance Requirement

9. Use 50% Salvaged or Recycled-Content Materials for 50% of Non-Plant Landscape Elements

10. Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward

**D. STRUCTURAL FRAME & BUILDING ENVELOPE**

1. Apply Optimal Value Engineering

2. Use Engineered Lumber

3. Use FSC-Certified Wood

4. Use Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Stick Frame Assembly)

5. Reduce Pollution Entering the Home from the Garage

Wasserman Residence

Points Achieved	Community	Energy	IAQ/Health	Resources	Water
30	0	1	1	0	0

**E. EXTERIOR FINISH**

1. Use Recycled Content (No Vinyl Plastics) or FSC-Certified Wood Decking

2. Install a Rain-Sewer Wall System

3. Use Durable and Noncombustible Siding Materials

4. Select Durable and Noncombustible Roofing Materials

**F. INSULATION**

1. Install Insulation with 75% Recycled Content

2. Install Insulation that is Low-Emitting (Certified Section 01350)

3. Inspect Quality of Insulation Installation before Applying Drywall

**G. PLUMBING**

1. Distribute Domestic Hot Water Efficiently (Maximum 7 Points)

2. Install High-Efficiency Toilets (Dual-Flush or 1.6 gpf)

**H. HEATING, VENTILATION & AIR CONDITIONING**

1. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations

2. Install Sealed Combustion Units

3. Install Zone, Hydronic Radiant Heating with Sub-Slab Insulation

4. Install High-Efficiency Air Conditioning with Environmentally Responsible Refrigerants

5. Design and Install Effective Ductwork

6. Install High-Efficiency HVAC Filter (MERV 8)

7. Don't Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less Than 60% using CSA Standards

8. Install Effective Exhaust Systems in Bathrooms and Kitchens

9. Install Mechanical Ventilation System for Cooling (Maximum 4 Points)

10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)

11. Install Carbon Monoxide Alarm(s)

**I. RENEWABLE ENERGY**

1. Pre-Plan for Solar Hot Water Heating

2. Install Solar Water Heating System

3. Install Photovoltaic (PV) Panels

**J. BUILDING PERFORMANCE**

1. Diagnostic Evaluations

Wasserman Residence

Points Achieved	Community	Energy	IAQ/Health	Resources	Water
30	230	0	0	0	0

**K. FINISHES**

1. Design Entrances to Reduce Tracked in Contaminants

2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)

3. Use Low-VOC, Water-Based Wood Finishes (50% VOC)

4. Use Low-VOC Caulk and Construction Adhesives (450 gpl VOC) for All Adhesives

5. Use Recycled Content Paint

6. Use Environmentally Preferable Materials for Interior Finish: A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Proven-Jointed

7. Reduce Formaldehyde in Interior Finish (CA Section 01350)

8. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb

**L. FLOORING**

1. Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Engineered Concrete, Flooring Adhesive Must Have <50 gpl VOCs

2. Thermal Mass Floors: Floor Covering Other than Carpet on 50% or More of Concrete Floors

3. Flooring Meets Section 01550 or CRI Green Label Plus Requirements (50% Minimum)

**M. APPLIANCES AND LIGHTING**

1. Install Water and Energy Efficient Dishwasher

2. Install ENERGY STAR Qualified 4 x 20 Cubic Feet Capacity

3. Install ENERGY STAR Refrigerator

4. Install Built-In Recycling Center

**N. OTHER**

1. Incorporate GreenPoint Rated Checklist in Blueprints - Required

2. Develop Homeowner Manual of Green Features/Benefits

3. Community Design Measures & Local Priorities: See the Community Planning & Design section in Chapter 4 of the New Home Guidelines for measures. Maximum of 20 points for suggested measures. Local requirements may also be listed here.

4. Innovations: List innovative measures that meet the green building objectives of the Guidelines. Enter up to a maximum combined total of 20 pts. See Innovation Checklist for suggested measures, using the link to the right.

**Build It Green Checklists and Guidelines**

Innovation in Community: Enter description here, and enter points available for measure in appropriate categories to the right.

Innovation in Energy: Enter description here, and enter points available for measure in appropriate categories to the right.

Innovation in IAQ/Health: Enter description here, and enter points available for measure in appropriate categories to the right.

Innovation in Resources: Enter description here, and enter points available for measure in appropriate categories to the right.

Innovation in Water: Enter description here, and enter points available for measure in appropriate categories to the right.

**Summary**

Total Available Points in Specific Categories\* 4+ 96+ 42+ 66+ 43+

Minimum Points Required in Specific Categories 0 30 5 6 9

Total Points Achieved 76 2 42 12 8 12

Wasserman Residence

Points Achieved	Community	Energy	IAQ/Health	Resources	Water
76	2	42	12	8	12

Project has not yet met the following recommended minimum requirements:

\* Total Project Score of At Least 50 Points



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE.  
LOS GATOS  
CALIFORNIA  
95032

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WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

- 26 FEBRUARY 2020
- 22 JUNE 2020  
PLANNING SUBMITTAL
- 04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I
- 18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II
- 26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: N/A

GREENPOINT CHECKLIST





STUDIO THREE DESIGN

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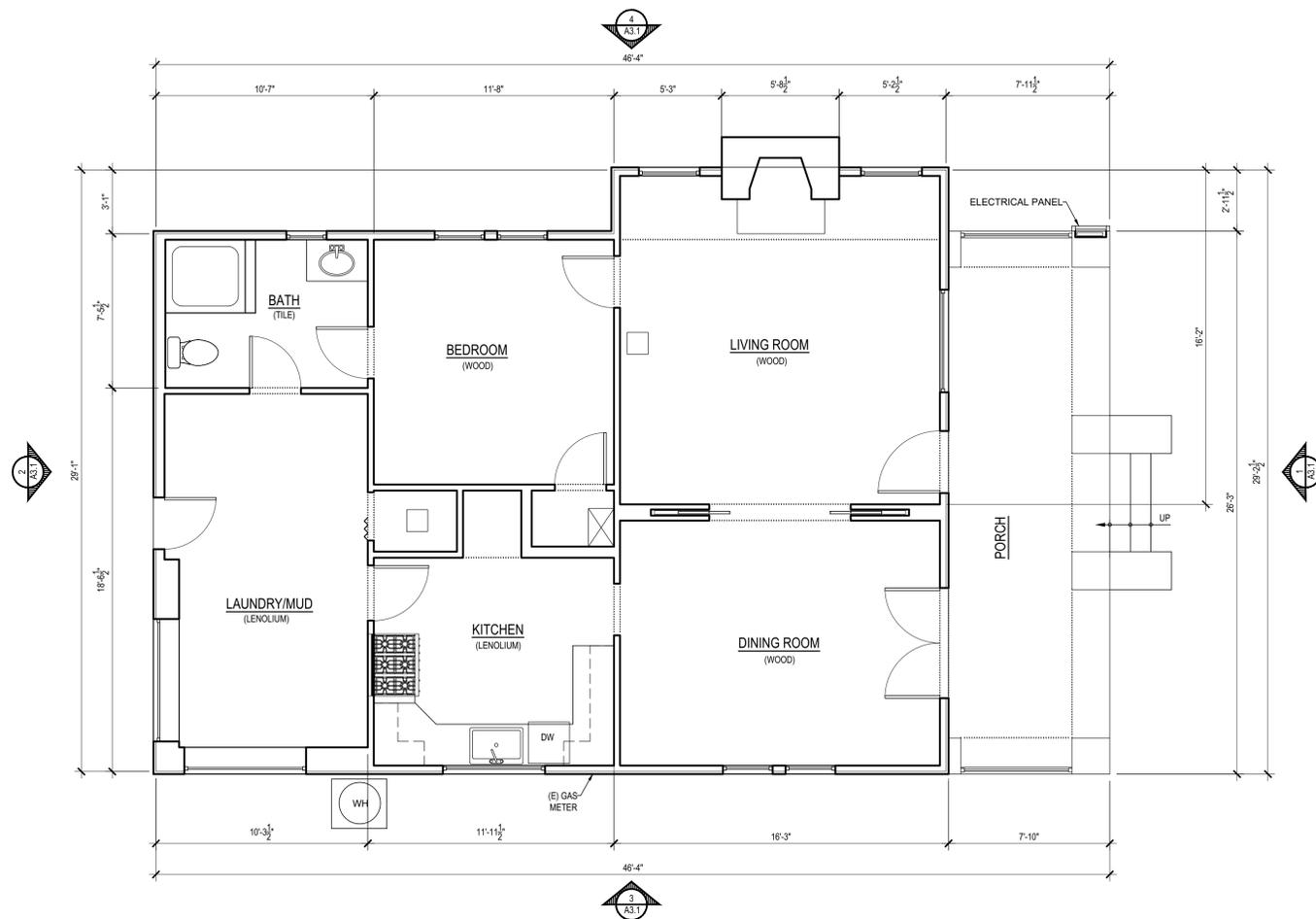
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PLANNING RESUBMITTAL III

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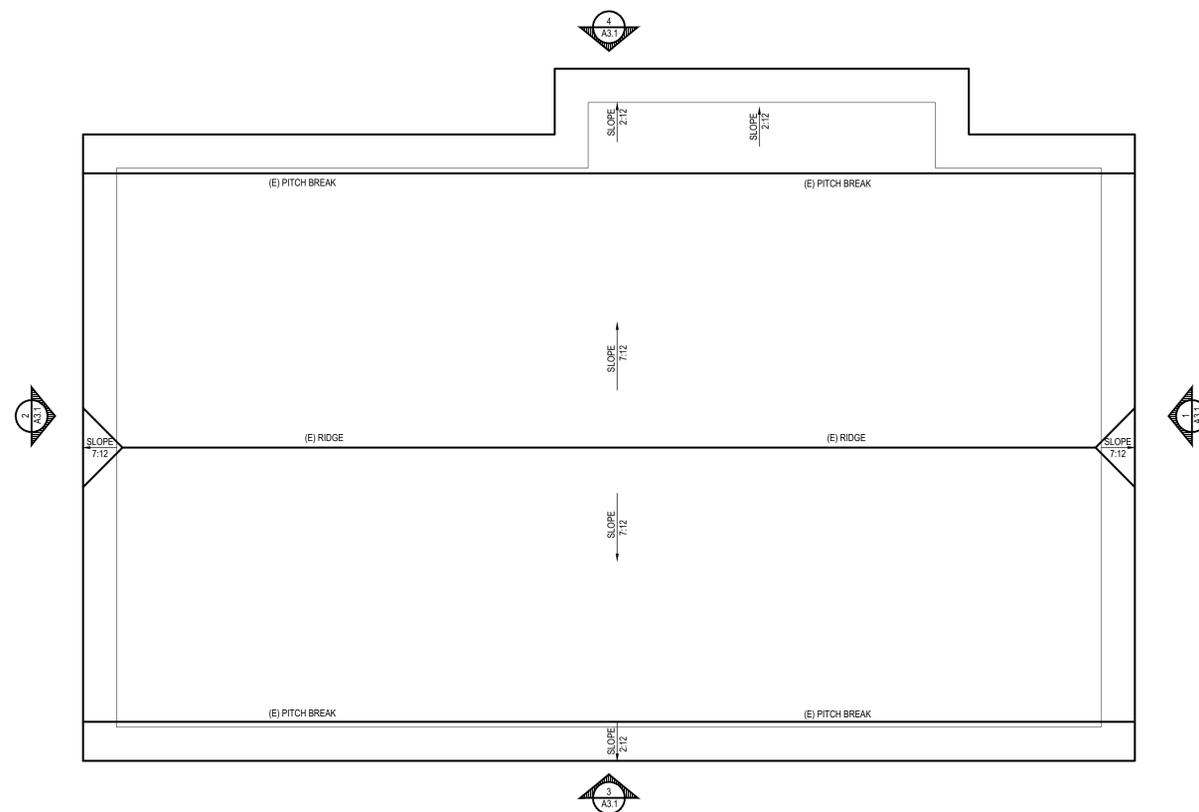
EXISTING FLOOR PLAN +  
EXISTING ROOF PLAN

A2.1

 EXISTING FLOOR PLAN  
NORTH



 EXISTING ROOF PLAN  
NORTH

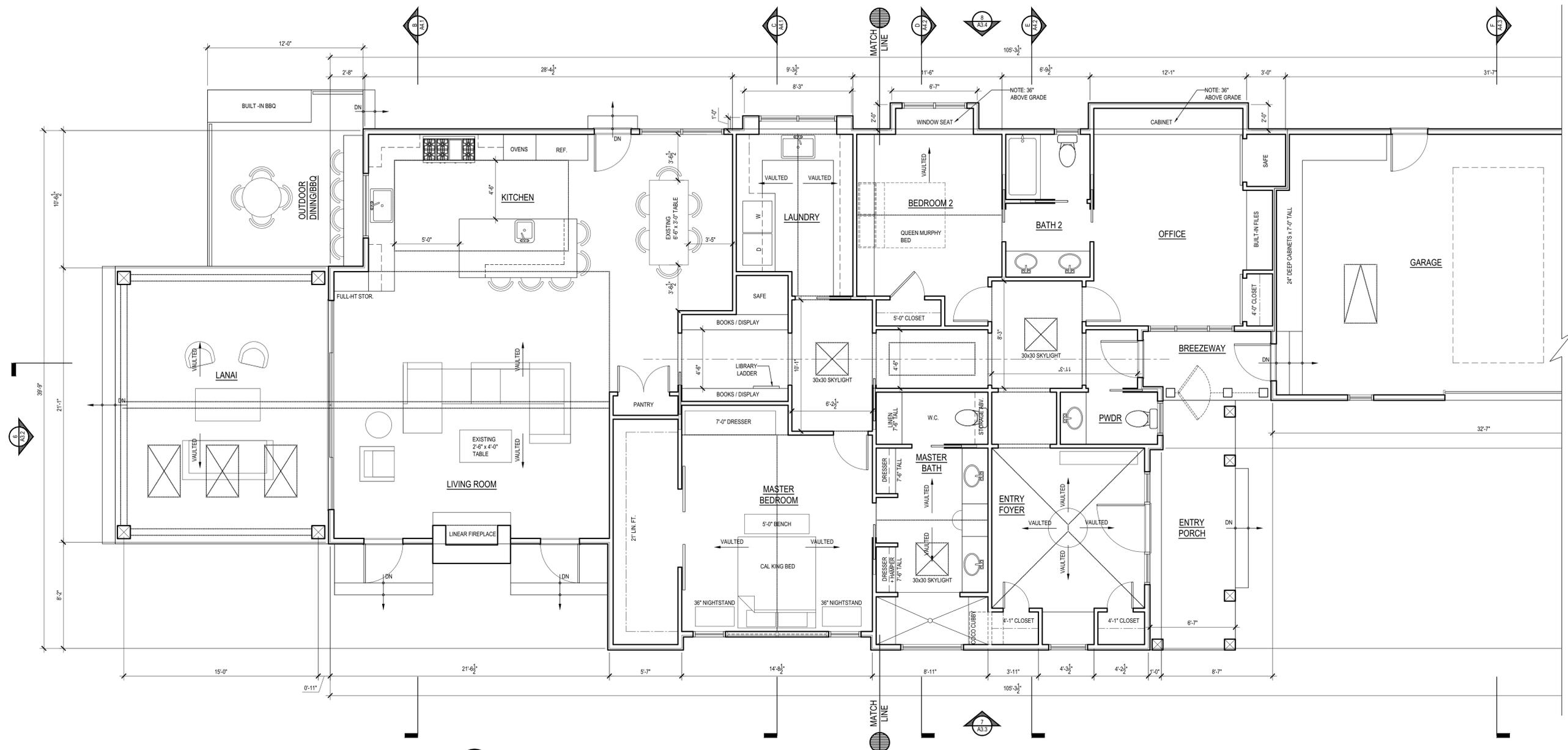




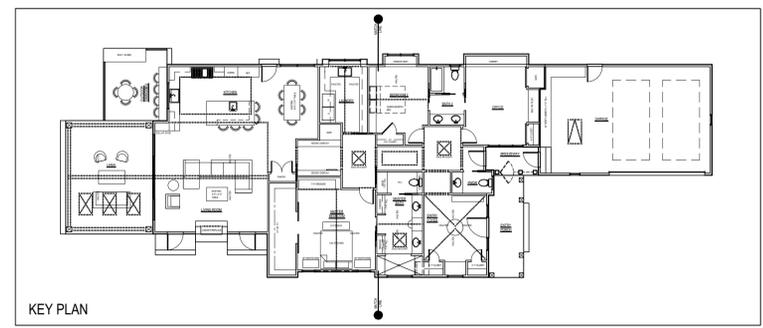
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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95032

T 408.292.3252  
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 **PROPOSED FLOOR PLAN**  
NORTH



WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

- 26 FEBRUARY 2020
- 22 JUNE 2020
- 04 SEPTEMBER 2020
- 18 SEPTEMBER 2020
- 26 OCTOBER 2020

SCALE: 1/8" = 1'-0"

PROPOSED FLOOR PLAN





INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I

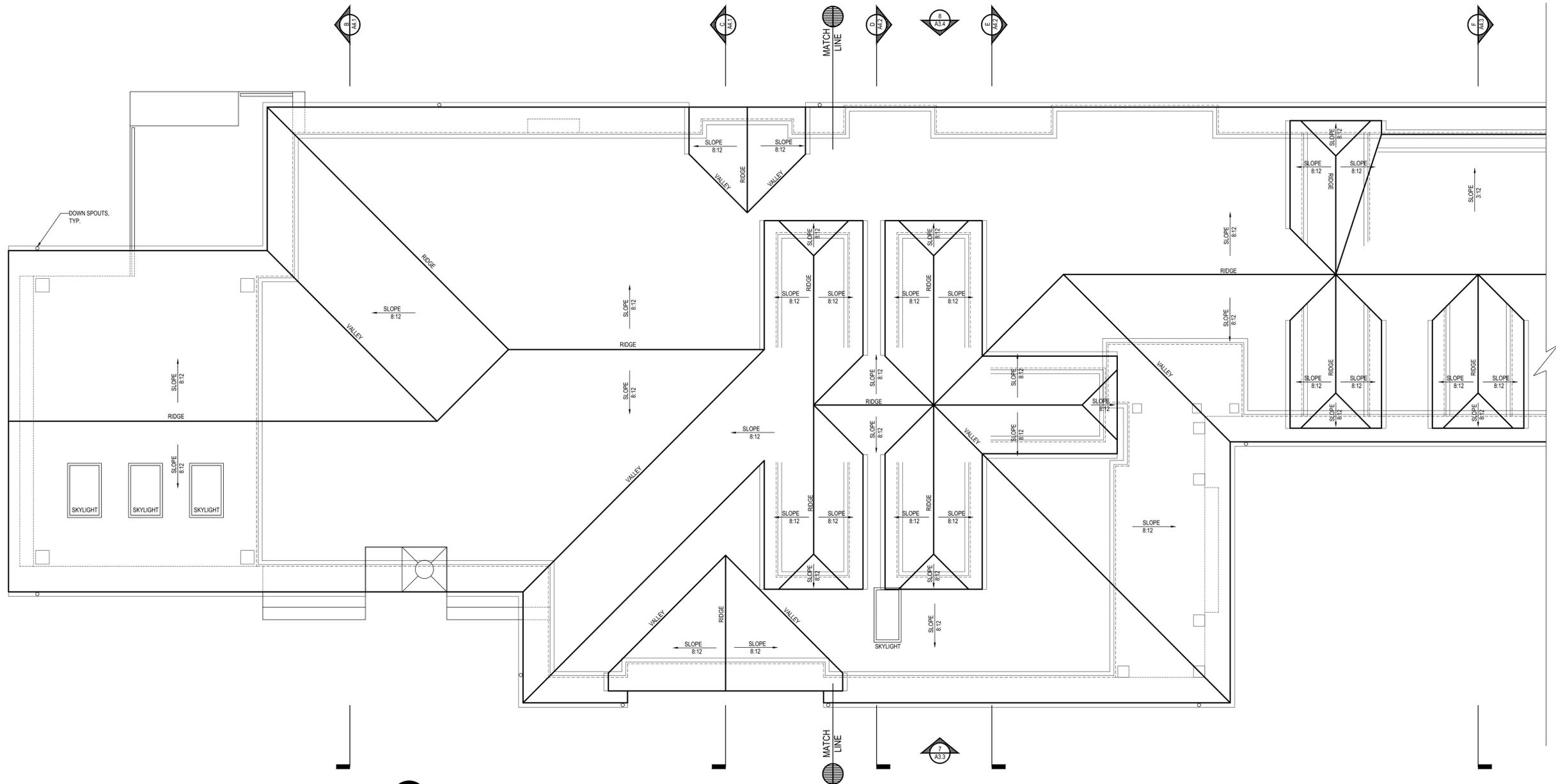
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26 OCTOBER 2020  
PLANNING RESUBMITTAL III

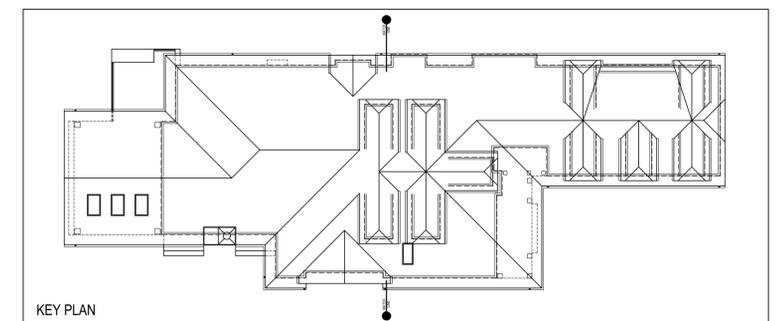
SCALE: 1/8" = 1'-0"

PROPOSED ROOF PLAN

A2.4



 PROPOSED ROOF PLAN  
NORTH



KEY PLAN



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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WASSERMAN  
253 W. MAIN STREET  
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95030

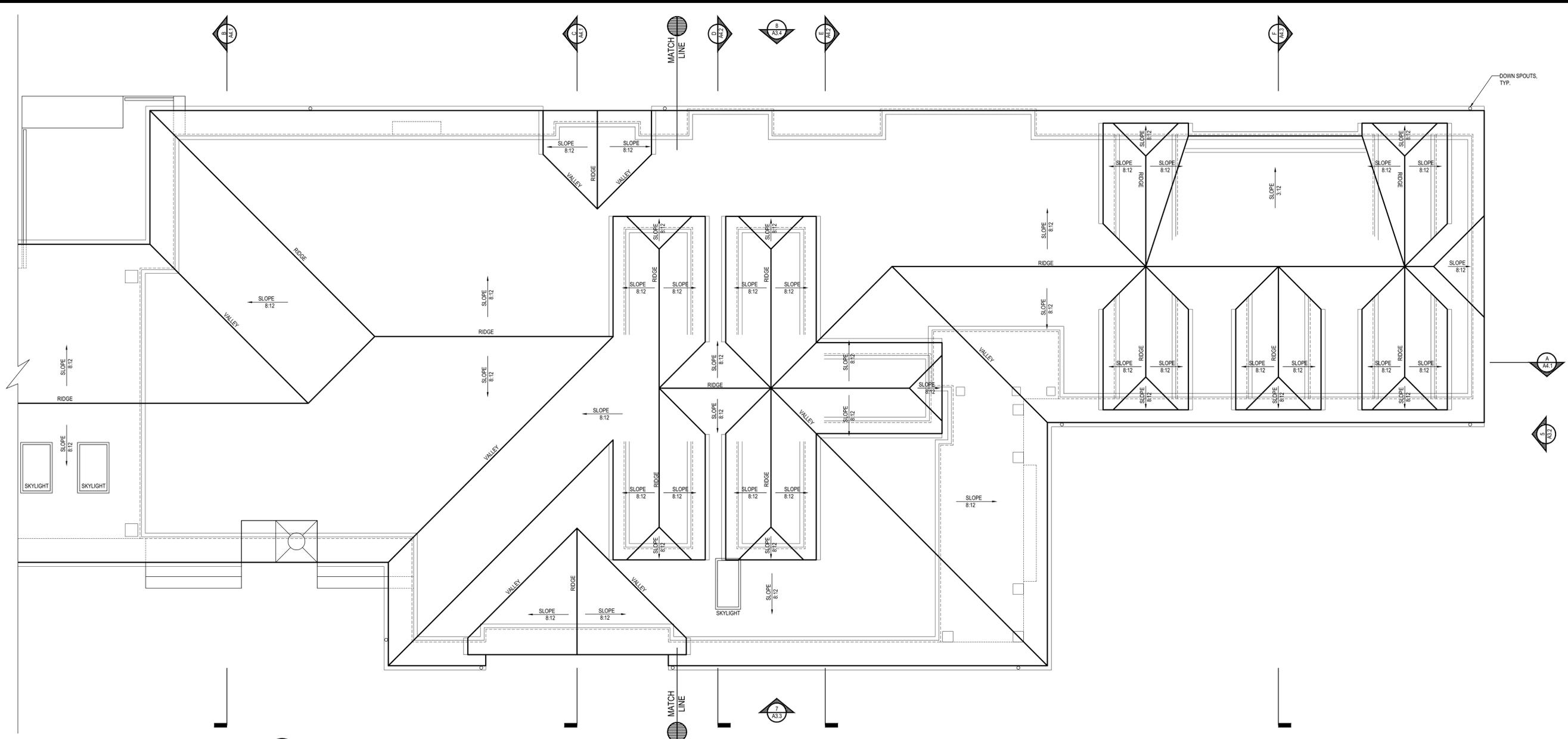
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PLANNING RESUBMITTAL I
- 18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II
- 26 OCTOBER 2020  
PLANNING RESUBMITTAL III

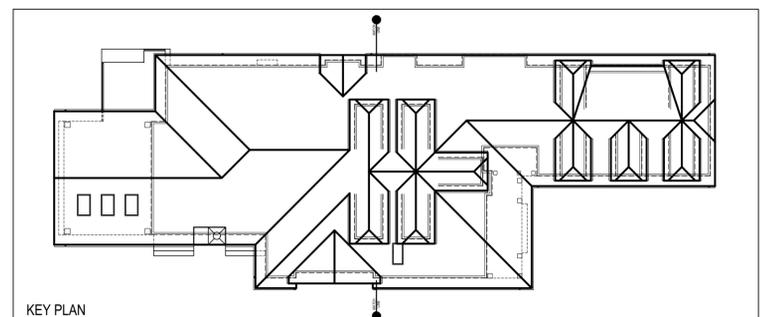
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PROPOSED ROOF PLAN

**A2.5**



 **PROPOSED ROOF PLAN**  
NORTH



KEY PLAN



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION  
638 UNIVERSITY AVE.  
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CALIFORNIA  
95032  
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CALIFORNIA  
95030

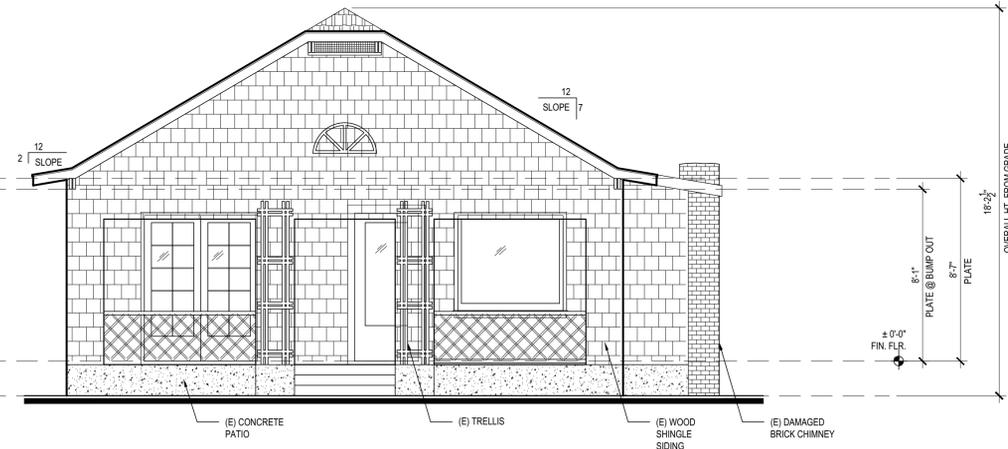
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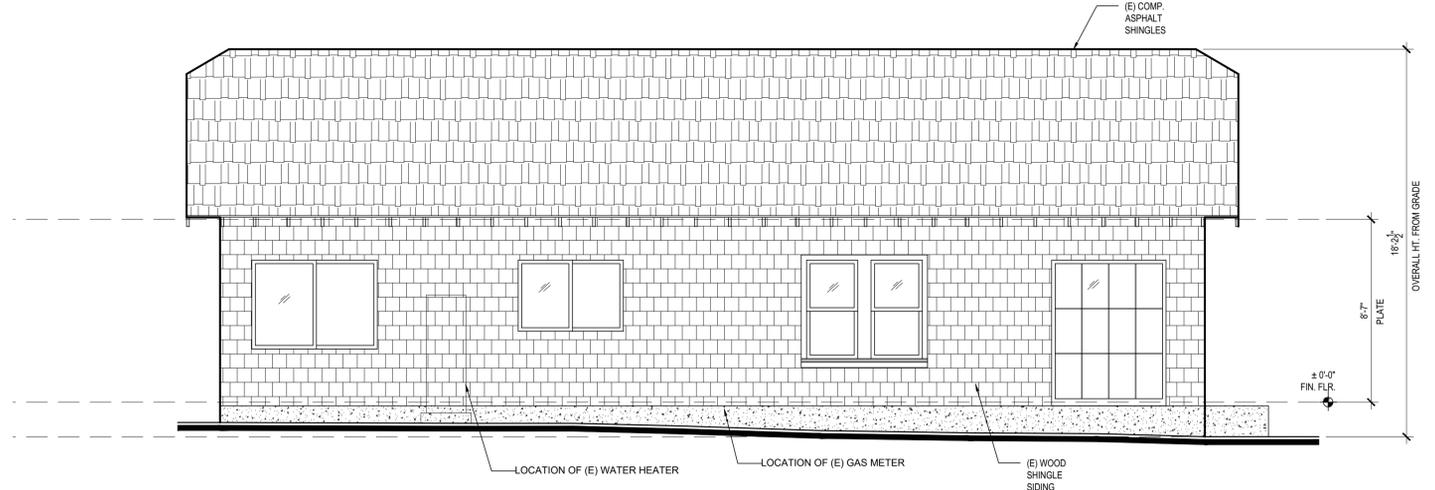
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EXISTING EXTERIOR  
ELEVATIONS

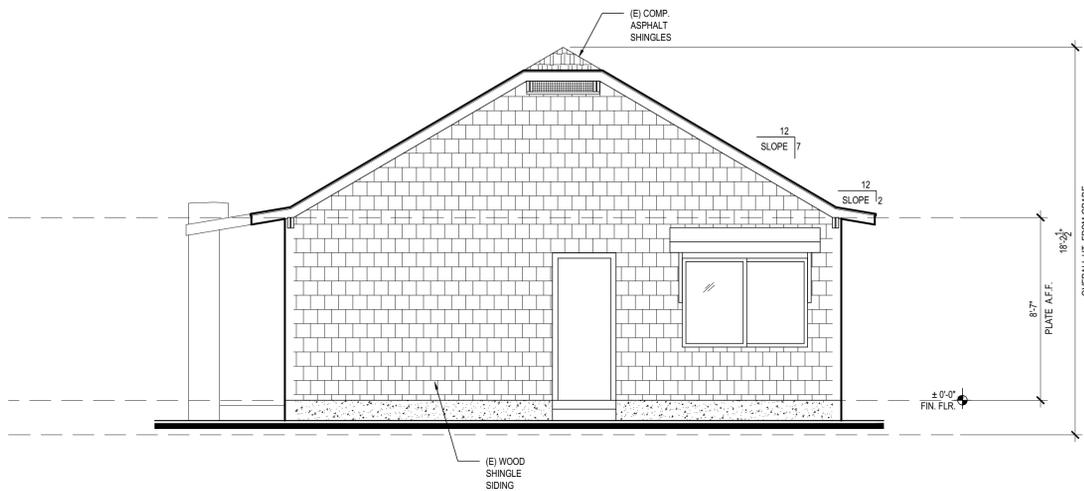
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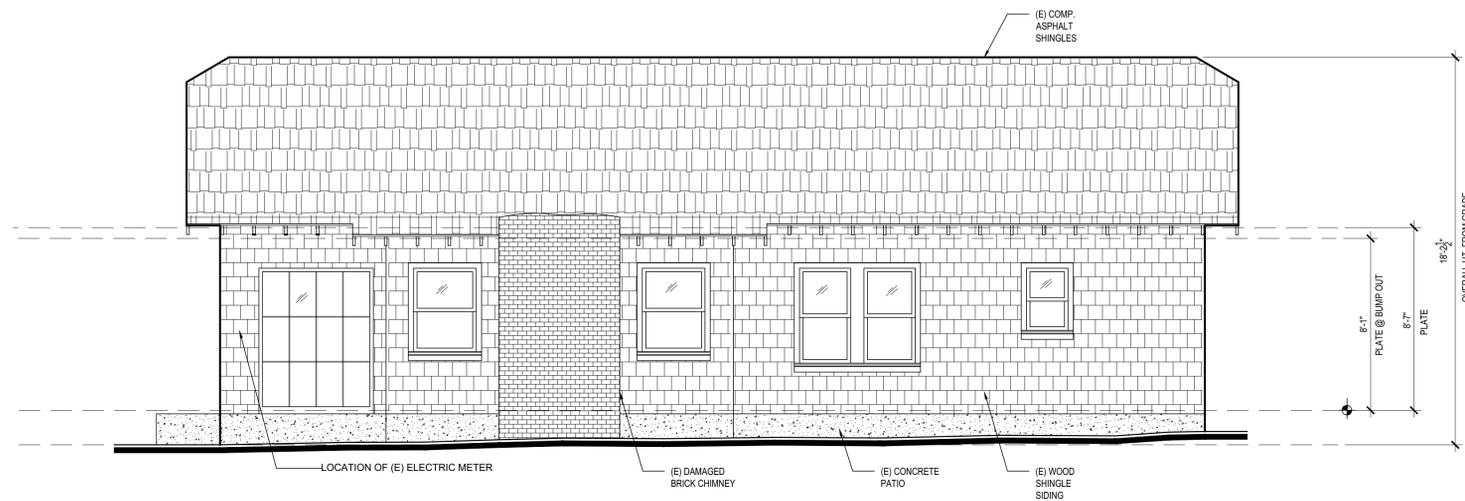
1 - EXISTING NORTHEAST ELEVATION



3 - EXISTING SOUTHEAST ELEVATION



2 - EXISTING SOUTHWEST ELEVATION



4 - EXISTING NORTHWEST ELEVATION



STUDIO THREE DESIGN

INTERIORS  
REMODELS +  
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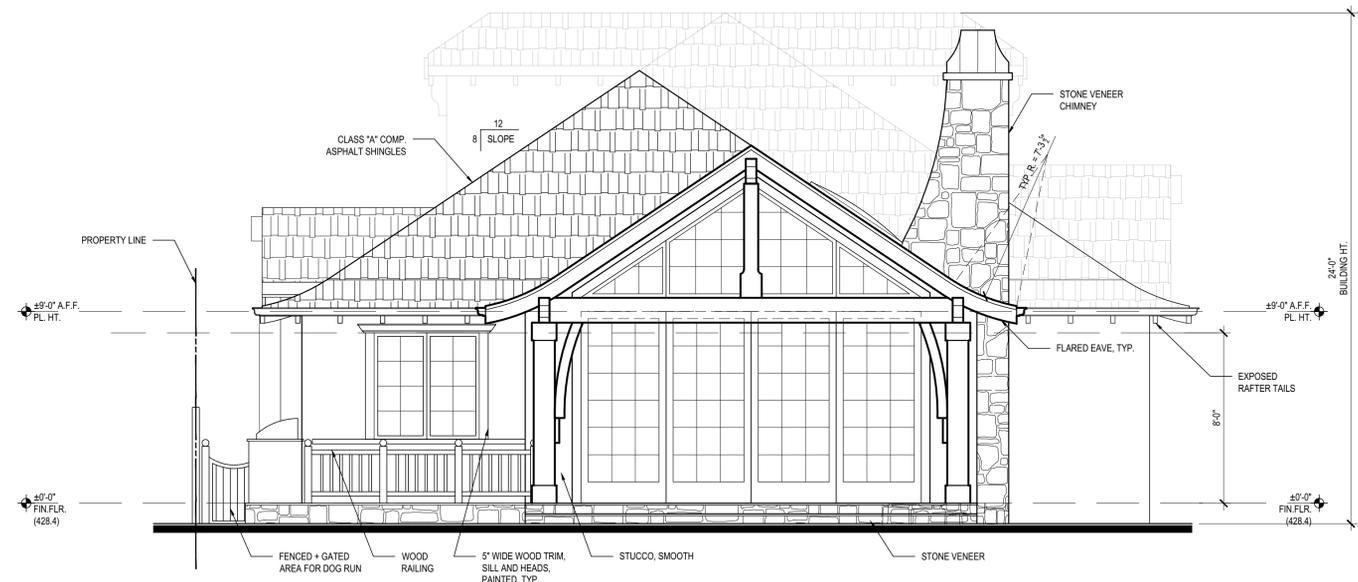


5 - PROPOSED NORTHEAST ELEVATION

GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

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6 - PROPOSED SOUTHWEST ELEVATION

GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

26 FEBRUARY 2020

22 JUNE 2020  
PLANNING SUBMITTAL

04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I

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PLANNING RESUBMITTAL II

26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

A3.2



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION  
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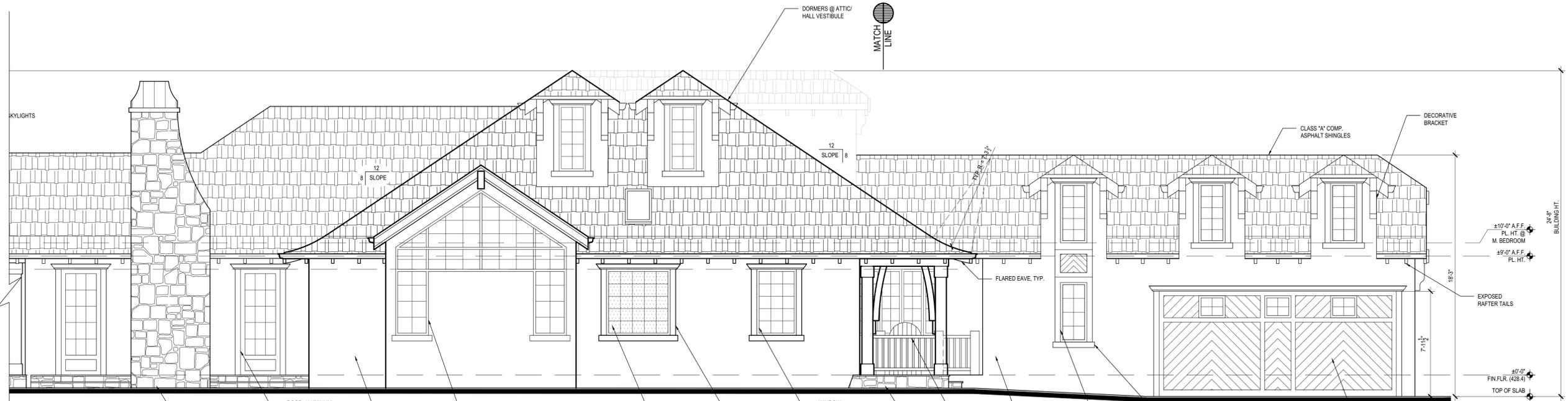
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26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: 1/2" = 1'-0"

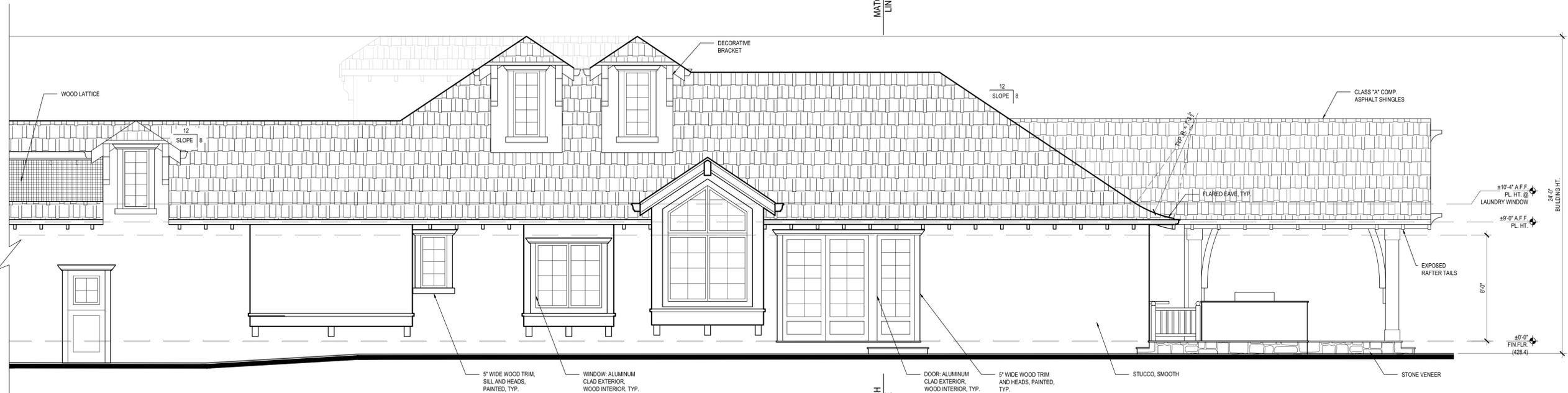
PROPOSED EXTERIOR  
ELEVATIONS

A3.3



7 - PROPOSED NORTHWEST ELEVATION

GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.



8 - PROPOSED SOUTHEAST ELEVATION

GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.





7 - PROPOSED NORTHWEST ELEVATION



GENERAL NOTES:  
 DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.



8 - PROPOSED SOUTHEAST ELEVATION



GENERAL NOTES:  
 DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

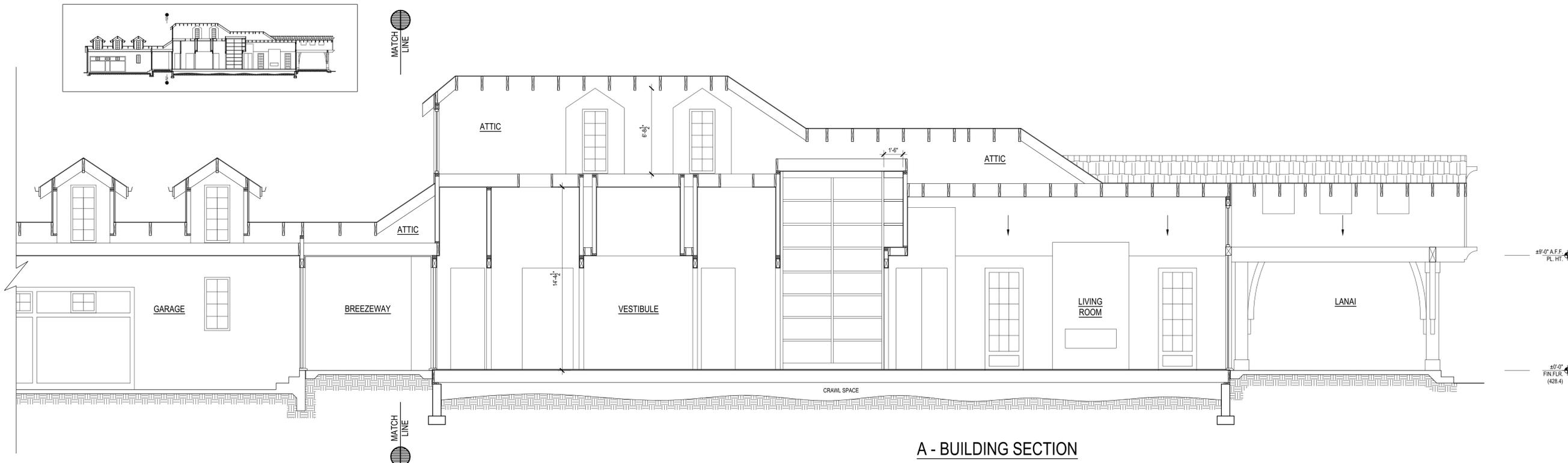


STUDIO THREE DESIGN

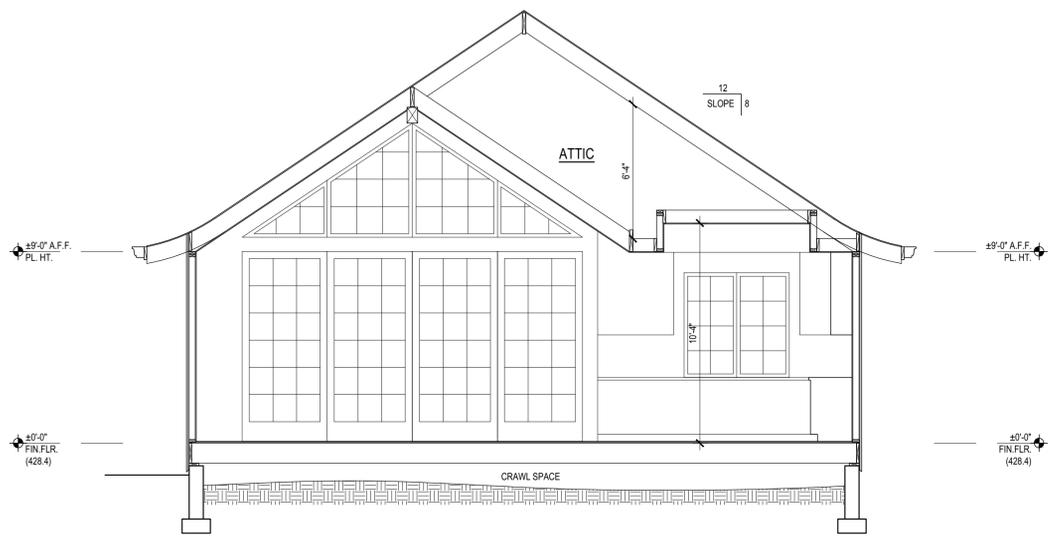
INTERIORS  
REMODELS +  
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CALIFORNIA  
95032

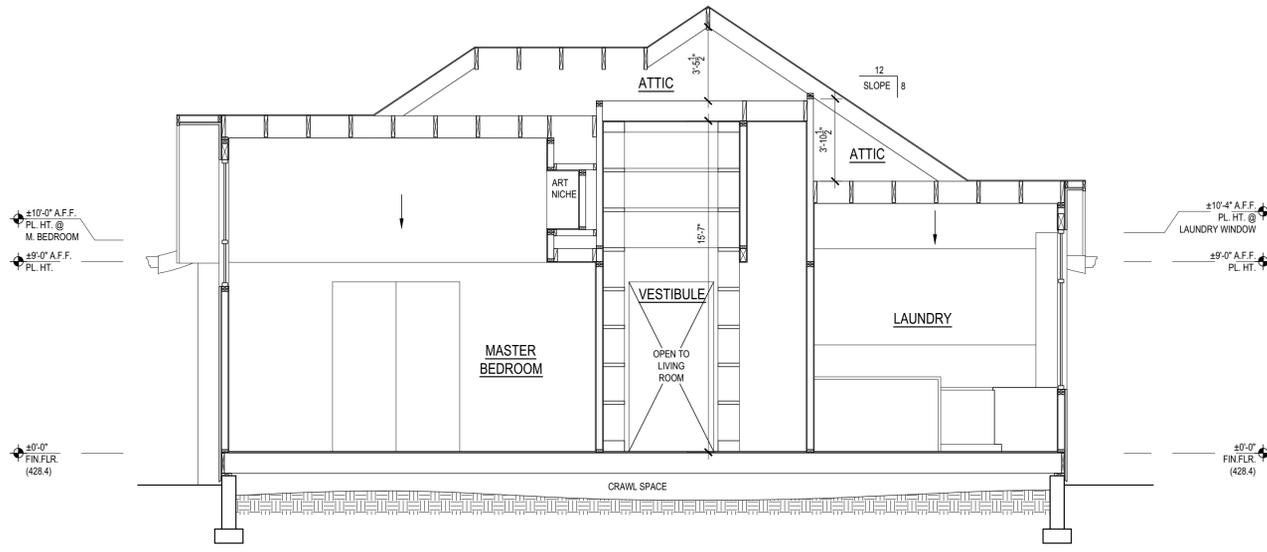
T 408.292.3252  
F 253.399.1125



A - BUILDING SECTION



B - BUILDING SECTION



C - BUILDING SECTION

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

26 FEBRUARY 2020

22 JUNE 2020  
PLANNING SUBMITTAL

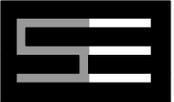
04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I

18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II

26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

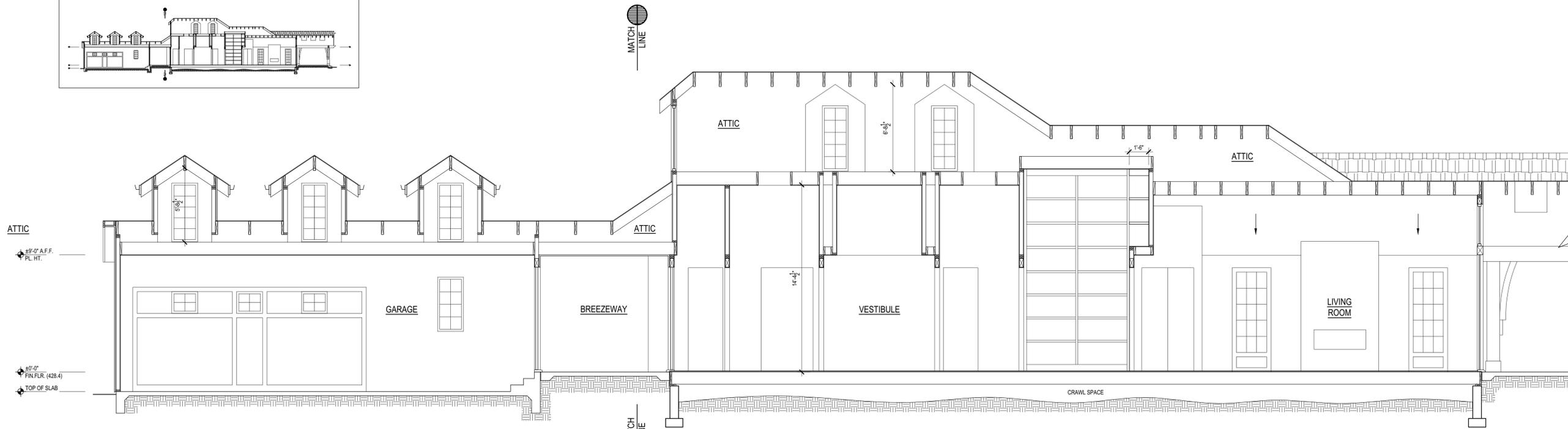
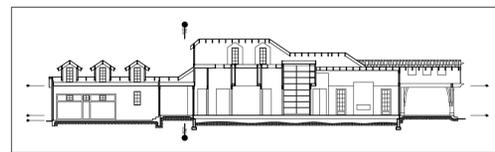


STUDIO THREE DESIGN

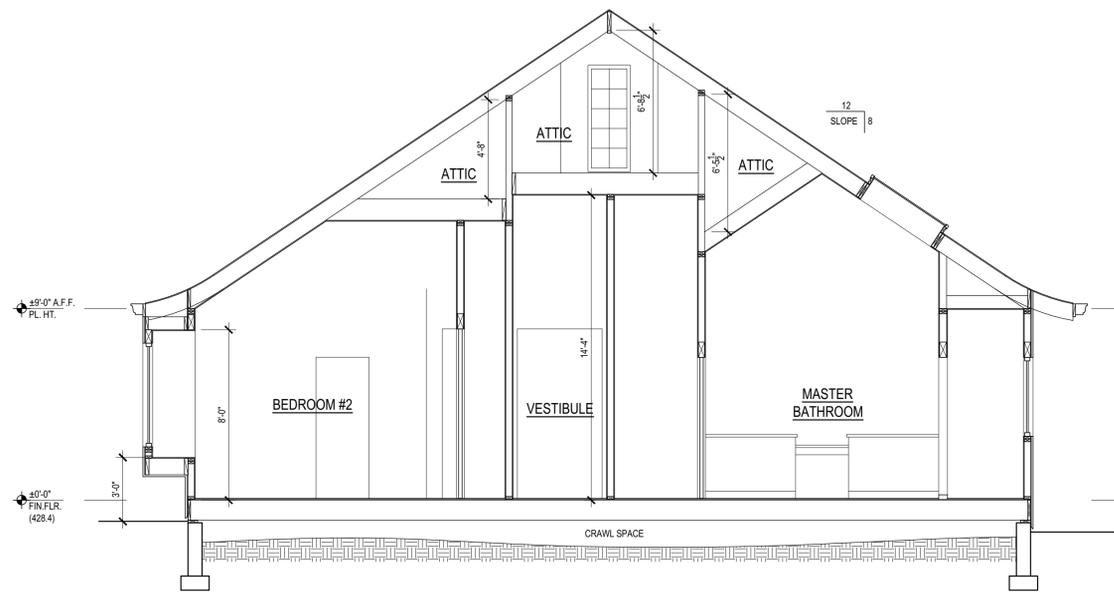
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE.  
LOS GATOS  
CALIFORNIA  
95032

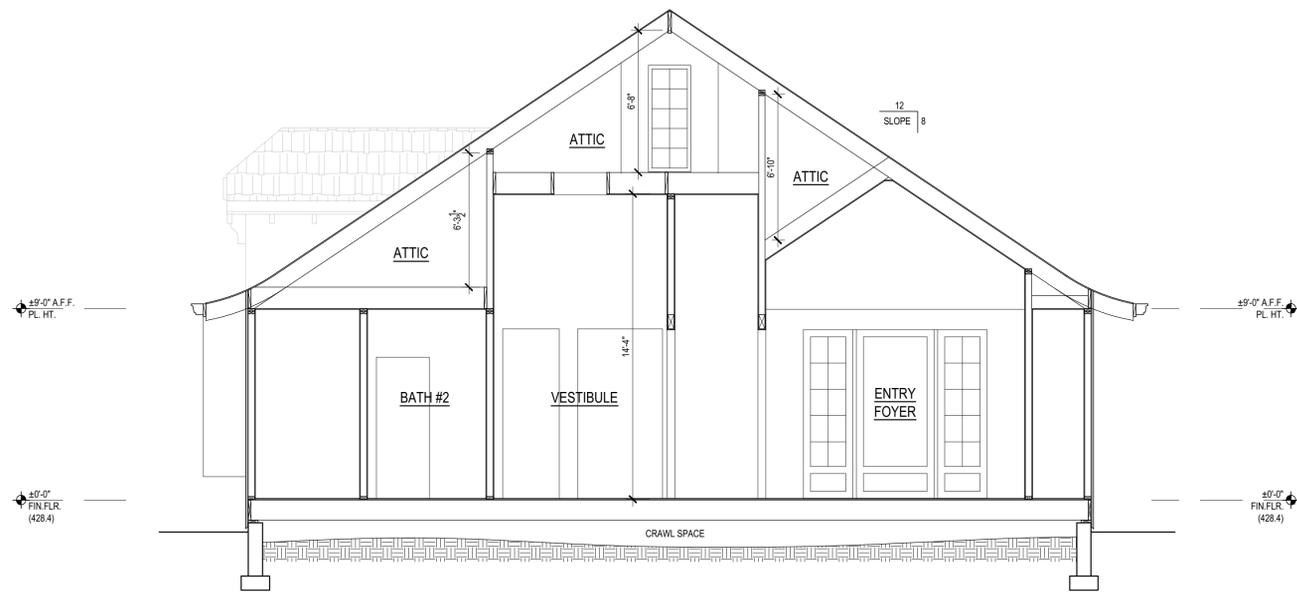
T 408.292.3252  
F 253.399.1125



**A - BUILDING SECTION**



**D - BUILDING SECTION**



**E - BUILDING SECTION**

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

26 FEBRUARY 2020

22 JUNE 2020  
PLANNING SUBMITTAL

04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I

18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II

26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: 1/2" = 1'-0"

BUILDING SECTIONS

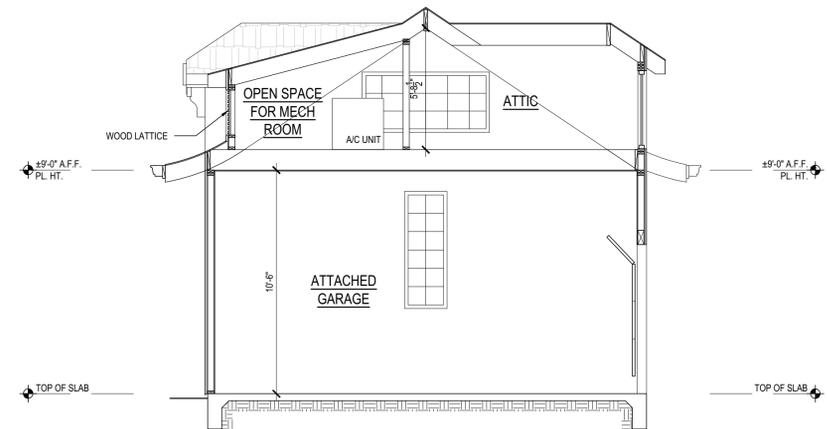


STUDIO THREE DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE.  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



F - BUILDING SECTION

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

26 FEBRUARY 2020

22 JUNE 2020  
PLANNING SUBMITTAL

04 SEPTEMBER 2020  
PLANNING RESUBMITTAL I

18 SEPTEMBER 2020  
PLANNING RESUBMITTAL II

26 OCTOBER 2020  
PLANNING RESUBMITTAL III

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS