



**METRO
DESIGN
GROUP**

ARCHITECTURE-PLANNING-INTERIORS

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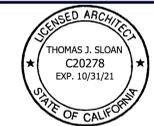
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PROJECT NAME
**SHANNON ROAD
RESIDENCE**
15977 SHANNON ROAD
LOS GATOS, CA 95032

| REVISIONS | |
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| GENERAL NOTES | CONSULTANT DIRECTORY | AREA TABULATIONS | PROJECT INFORMATION | VICINITY MAP | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <p>1. CODES AND REGULATIONS ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2019 CALIFORNIA BUILDING CODE (C.B.C.), 2019 CALIFORNIA RESIDENTIAL CODE (C.R.C.), 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.), 2019 CALIFORNIA PLUMBING CODE (C.P.C.), 2019 CALIFORNIA MECHANICAL CODE (C.M.C.), 2019 CALIFORNIA FIRE CODE (C.F.C.), 2019 CALIFORNIA ENERGY CODE (C.E.C.), 2019 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.</p> <p>2. SITE VERIFICATION GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.</p> <p>3. MEASUREMENTS CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.</p> <p>4. DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.</p> <p>5. DISCREPANCIES MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p> <p>6. MANUFACTURER'S SPECIFICATIONS CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL. ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURER'S FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.</p> <p>7. WINDOWS AND DOORS CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p> <p>8. CALGREEN STANDARDS ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. PER CGBC SEC. 4.504.2.4 PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SECTION 4.504.</p> | <p>ARCHITECT METRO DESIGN GROUP CONTACT :TOM SLOAN A.L.A. 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE</p> <p>TOPO SURVEY & BOUNDARIES ROGER E. DODGE, LS 3295 DODGE ASSOC. SURVEYING 20552 CHAPARRAL CIRCLE PENN VALLEY, CA 95946 (530)432-5212</p> | <p>1. SITE AREA - PER HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES</p> <table border="1"> <tr> <td>GROSS AREA:</td> <td>92,001 SF (2.112 AC.)</td> </tr> <tr> <td>NET AREA :</td> <td>90,131 SF (2.069 AC.)</td> </tr> <tr> <td>(EXCLUDES DRIVEWAY EASEMENT)</td> <td></td> </tr> <tr> <td>NET AREA AFTER 60% SLOPE REDUCTION:</td> <td>36,052 SF (0.827 AC.)</td> </tr> <tr> <td>AVERAGE SLOPE:</td> <td>GREATER THAN 30%.</td> </tr> <tr> <td>PERCENT OF NET LOT AREA TO BE DEDUCTED:</td> <td>60%.</td> </tr> <tr> <td>ALLOWABLE FLOOR AREA:</td> <td>6,000 SF</td> </tr> <tr> <td></td> <td>+400 SF (GARAGE ALLOWANCE)</td> </tr> <tr> <td>SLOPE AT LANDING AREAS:</td> <td>1% MIN. AWAY FROM THE STRUCTURE</td> </tr> <tr> <td>SLOPE AT PAVED AREAS:</td> <td>2% MIN. AWAY FROM THE STRUCTURE</td> </tr> <tr> <td>SLOPE AT LANDSCAPE AREAS:</td> <td>5% MIN. AWAY FROM THE STRUCTURE</td> </tr> </table> <p>2. FLOOR AREA</p> <table border="1"> <thead> <tr> <th>PROPOSED FLOOR AREA</th> <th>FLOOR AREA OF EXISTING BUILDINGS TO BE REMOVED</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR 5,393 SF</td> <td>BELOW GRADE 765 SF</td> </tr> <tr> <td>GARAGE 996 - 400 = 596 SF</td> <td>MAIN FLOOR 2,485 SF</td> </tr> <tr> <td>TOTAL AREA 5,989 SF</td> <td>UPPER FLOOR 1,465 SF</td> </tr> <tr> <td></td> <td>GARAGE 422 - 400 = 22 SF</td> </tr> <tr> <td></td> <td>TOTAL AREA 4,737 SF</td> </tr> </tbody> </table> <p>3. 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PARKING SPACE</p> <table border="1"> <thead> <tr> <th>PROPOSED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>3 COVERED AT GARAGE</td> <td>2 COVERED AT GARAGE</td> </tr> </tbody> </table> | GROSS AREA: | 92,001 SF (2.112 AC.) | NET AREA : | 90,131 SF (2.069 AC.) | (EXCLUDES DRIVEWAY EASEMENT) | | NET AREA AFTER 60% SLOPE REDUCTION: | 36,052 SF (0.827 AC.) | AVERAGE SLOPE: | GREATER THAN 30%. | PERCENT OF NET LOT AREA TO BE DEDUCTED: | 60%. | ALLOWABLE FLOOR AREA: | 6,000 SF | | +400 SF (GARAGE ALLOWANCE) | SLOPE AT LANDING AREAS: | 1% MIN. AWAY FROM THE STRUCTURE | SLOPE AT PAVED AREAS: | 2% MIN. AWAY FROM THE STRUCTURE | SLOPE AT LANDSCAPE AREAS: | 5% MIN. AWAY FROM THE STRUCTURE | PROPOSED FLOOR AREA | FLOOR AREA OF EXISTING BUILDINGS TO BE REMOVED | MAIN FLOOR 5,393 SF | BELOW GRADE 765 SF | GARAGE 996 - 400 = 596 SF | MAIN FLOOR 2,485 SF | TOTAL AREA 5,989 SF | UPPER FLOOR 1,465 SF | | GARAGE 422 - 400 = 22 SF | | TOTAL AREA 4,737 SF | MAXIMUM ALLOWABLE COVERAGE: | NO MAXIMUM | EXISTING | AREA | PROPOSED | EXISTING | RESIDENCE FOOTPRINT | 5,393 SF | 2,485 SF | GARAGE | 996 SF | 0 SF (BELOW FOOTPRINT) | ACCESSORY BUILDING | 0 SF | 321 SF | TOTAL | 6,389 SF (7.09 %) | 2,806 SF (3.11 %) | AREA | PROPOSED | EXISTING | BUILDING COVERAGE | 6,389 SF | 2,806 SF | WOOD DECKS | 0 SF | 1,816 SF | CONCRETE PATIOS, STEPS | 3,751 SF | 2,453 SF | POOL | 678 SF | 693 SF | DRIVEWAY 3,899 X 50% = 1,950 SF | 1,950 SF | 5,248 SF | TOTAL AREA | 12,768 SF (14.17 %) | 13,016 SF (14.44 %) | PROPOSED | EXISTING | 3 COVERED AT GARAGE | 2 COVERED AT GARAGE | <p>PROPERTY OWNERS JART, LLC</p> <p>PHONE (408) 674-6643</p> <p>MAILING ADDRESS 16255 MATILDA ROAD LOS GATOS, CA 95030</p> <p>PROJECT ADDRESS 15977 SHANNON ROAD LOS GATOS, CA 95032</p> <p>A.P.N. 527-01-002</p> <p>ZONING HR - 1</p> <p>LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA YES - STATE MANDATED LRA (VHFA)</p> <p>SETBACK REQUIREMENTS</p> <table border="1"> <thead> <tr> <th>REQUIRED</th> <th>30'-0"</th> </tr> </thead> <tbody> <tr> <td>FRONT:</td> <td>20'-0"</td> </tr> <tr> <td>SIDE:</td> <td>25'-0"</td> </tr> <tr> <td>REAR:</td> <td></td> </tr> </tbody> </table> <p>PROPOSED</p> <table border="1"> <thead> <tr> <th>FRONT:</th> <th>77'-5"</th> </tr> </thead> <tbody> <tr> <td>REAR:</td> <td>59'-4"</td> </tr> <tr> <td>LEFT SIDE:</td> <td>80'-7"</td> </tr> <tr> <td>RIGHT SIDE:</td> <td>70'-6"</td> </tr> </tbody> </table> <p>MAX HEIGHT</p> <table border="1"> <thead> <tr> <th>ALLOWABLE / PROPOSED</th> <th>ALLOWED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td></td> <td>18'-0"</td> <td>17'-10"</td> </tr> </tbody> </table> <p>STORIES 2 1</p> <p>CONSTRUCTION TYPE V-B</p> <p>OCCUPANCY R-3/U</p> <p>FIRE SPRINKLERS REQUIRED (NFPA-13D)</p> <p>EXISTING USE EXISTING 2 STORY RESIDENCE</p> | REQUIRED | 30'-0" | FRONT: | 20'-0" | SIDE: | 25'-0" | REAR: | | FRONT: | 77'-5" | REAR: | 59'-4" | LEFT SIDE: | 80'-7" | RIGHT SIDE: | 70'-6" | ALLOWABLE / PROPOSED | ALLOWED | PROPOSED | | 18'-0" | 17'-10" | |
| GROSS AREA: | 92,001 SF (2.112 AC.) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NET AREA : | 90,131 SF (2.069 AC.) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (EXCLUDES DRIVEWAY EASEMENT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NET AREA AFTER 60% SLOPE REDUCTION: | 36,052 SF (0.827 AC.) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AVERAGE SLOPE: | GREATER THAN 30%. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PERCENT OF NET LOT AREA TO BE DEDUCTED: | 60%. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ALLOWABLE FLOOR AREA: | 6,000 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | +400 SF (GARAGE ALLOWANCE) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SLOPE AT LANDING AREAS: | 1% MIN. AWAY FROM THE STRUCTURE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SLOPE AT PAVED AREAS: | 2% MIN. AWAY FROM THE STRUCTURE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SLOPE AT LANDSCAPE AREAS: | 5% MIN. AWAY FROM THE STRUCTURE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED FLOOR AREA | FLOOR AREA OF EXISTING BUILDINGS TO BE REMOVED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MAIN FLOOR 5,393 SF | BELOW GRADE 765 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GARAGE 996 - 400 = 596 SF | MAIN FLOOR 2,485 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL AREA 5,989 SF | UPPER FLOOR 1,465 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | GARAGE 422 - 400 = 22 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | TOTAL AREA 4,737 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MAXIMUM ALLOWABLE COVERAGE: | NO MAXIMUM | EXISTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AREA | PROPOSED | EXISTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RESIDENCE FOOTPRINT | 5,393 SF | 2,485 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GARAGE | 996 SF | 0 SF (BELOW FOOTPRINT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ACCESSORY BUILDING | 0 SF | 321 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | 6,389 SF (7.09 %) | 2,806 SF (3.11 %) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AREA | PROPOSED | EXISTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING COVERAGE | 6,389 SF | 2,806 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| WOOD DECKS | 0 SF | 1,816 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONCRETE PATIOS, STEPS | 3,751 SF | 2,453 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| POOL | 678 SF | 693 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRIVEWAY 3,899 X 50% = 1,950 SF | 1,950 SF | 5,248 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL AREA | 12,768 SF (14.17 %) | 13,016 SF (14.44 %) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED | EXISTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 COVERED AT GARAGE | 2 COVERED AT GARAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REQUIRED | 30'-0" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FRONT: | 20'-0" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SIDE: | 25'-0" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REAR: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FRONT: | 77'-5" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REAR: | 59'-4" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LEFT SIDE: | 80'-7" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RIGHT SIDE: | 70'-6" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ALLOWABLE / PROPOSED | ALLOWED | PROPOSED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 18'-0" | 17'-10" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | PROJECT DESCRIPTION | | | SHEET INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | <p>PROPOSED ONE STORY RESIDENCE WHICH INCLUDES 4 BEDROOMS, 4 1/2 BATHROOMS, LIVING ROOM, DINING AREA, KITCHEN, MEDIA ROOM, POOL BATH AND CHANGING AREA, WITH ATTACHED THREE CAR GARAGE, A SPORT COURT AND SWIMMING POOL. FIVE UP TO 10" DIAMETER TREES ARE PROPOSED TO BE REMOVED.</p> | | | <p>A-0 SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CONSULTANTS, GENERAL NOTES AND TABULATIONS</p> <p>A-0.1 BUILD IT GREEN CHECKLIST</p> <p>C-1.0 TOWN NOTES, PROJECT DATA AND LEGEND</p> <p>C-2.0 CONSTRUCTION BMP</p> <p>C-3.0 GRADING AND DRAINAGE PLAN</p> <p>C-3.1 DRIVEWAY PROFILE AND SITE SECTIONS</p> <p>C-4.0 EROSION CONTROL PLAN</p> <p>C-5.0 CONSTRUCTION DETAILS</p> <p>A-1.0 SITE PLAN</p> <p>A-1.1 SITE PLAN - SECOND SHEET</p> <p>A-1.2 NEIGHBORHOOD PLAN, SITE DIAGRAM, ADDRESS COLUMN DETAIL</p> <p>A-1.3 EXTERIOR LIGHTING PLAN</p> <p>A-2.0 EXISTING LOWER AND UPPER FLOOR PLANS</p> <p>A-2.1 EXISTING MAIN FLOOR PLAN</p> <p>A-2.2 EXISTING ELEVATIONS</p> <p>A-2.3 EXISTING ELEVATIONS</p> <p>A-3.0 PROPOSED FLOOR PLAN</p> <p>A-4.0 PROPOSED ROOF PLAN</p> <p>A-5.0 EXTERIOR ELEVATIONS</p> <p>A-5.1 EXTERIOR ELEVATIONS</p> <p>A-6.0 CROSS SECTIONS 'A', 'B' & 'C'</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



COVER SHEET

GENERAL NOTES
PROJECT INFORMATION
AREA TABULATIONS
PROJECT DESCRIPTION
VICINITY MAP
SHEET INDEX
CONSULTANT DIRECTORY

DATE : 6/25/2020

SCALE : AS-NOTED

DRAWN BY : T J S

CHECKED BY :

ARCHITECT : TOM SLOAN

PROJECT NO : 19677

SHEET NUMBER

A-0.0

TOWN OF LOS GATOS STANDARD NOTES

TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-1771 AT LEAST FORTY- EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:**
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS.
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USE (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNATIONS FOR RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.

SOILS ENGINEER: _____

REFERENCE REPORT NO. _____, DATED _____, 20____

LETTER NO. _____, DATED _____, 20____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/ LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT AS NECESSARY. ALL UNRESERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR: _____ PHONE: _____
- GRADING CONTRACTOR: _____ PHONE: _____
- CUT: _____ CY EXPORT: _____ CY FILL: _____ CY IMPORT: _____ CY
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------------|----------|----------|
| PROPERTY LINE | --- | --- |
| CENTER LINE | --- | --- |
| SECTION LINE | --- | --- |
| EDGE OF PAVEMENT | --- | --- |
| CURB AND GUTTER | --- | --- |
| DRAINAGE FLOW DIRECTION | --- | --- |
| FENCE (TYPE) | --- | --- |
| SPASH BLOCK/ ENERGY DISSIPATOR | --- | --- |
| STORM DRAIN LINE | --- | --- |
| SANITARY MANHOLE | --- | --- |
| STORM MANHOLE | --- | --- |
| STANDARD HOODED INLET | --- | --- |
| LARGE HOODED INLET | --- | --- |
| FLAT GRATE INLET | --- | --- |
| GAS LINE | --- | --- |
| WATER LINE | --- | --- |
| GRADE ELEVATION | --- | --- |
| TREE | --- | --- |
| EXISTING GAS LINE TO BE REMOVED | --- | --- |
| NEW WATER LINE | --- | --- |
| NEW ELECTRIC LINE | --- | --- |
| JOINT TRENCH | --- | --- |
| NEW SANITARY SEWER LINE | --- | --- |
| TREE PROTECTION FENCE | --- | --- |

ABBREVIATIONS

| | |
|----------|--------------------------------|
| A.B. | AGGREGATE BASE |
| A.C. | ASPHALT CONCRETE |
| B.C. | BOTTOM OF CURB |
| B.O. | BLOW OFF |
| B.V.C. | BEGINNING OF VERTICAL CURVE |
| C.B. | CATCH BASIN |
| C.L. | CENTERLINE |
| C.O. | CLEAN OUT |
| CONT. | CONTINUOUS |
| D.I.P. | DUCTILE IRON PIPE |
| D.S. | DOWN SPOUTS |
| D/W | DRIVEWAY |
| E.C. | END OF CURVE (HORIZONTAL) |
| ELEV. | ELEVATION |
| E. | EXISTING |
| E.V.C. | END OF VERTICAL CURVE |
| F.F. | FINISHED FLOOR ELEVATION |
| F.G. | FINISHED GRADE |
| F.H. | FIRE HYDRANT |
| F.C. | FACE OF CURB |
| F.L. | FLOW LINE |
| F.S. | FINISHED SURFACE |
| G.B. | GRADE BREAK |
| G.V. | GATE VALVE |
| H.P. | HIGH POINT |
| I.D. | INSIDE DIAMETER |
| INV. | INVERT |
| L.F. | LINEAR FEET |
| L.P. | LOW POINT |
| MAX. | MAXIMUM |
| M.H. | MANHOLE |
| MIN. | MINIMUM |
| MGN. | MONUMENT |
| M.V.C. | MIDDLE OF VERTICAL CURVE |
| N.T.S. | NOT TO SCALE |
| P. | PROPOSED |
| P.C.C. | PORTLAND CEMENT CONCRETE |
| P.C.R. | POINT ON CURB RETURN |
| P.V.C. | POLYVINYL CHLORIDE |
| P.V.I. | POINT OF VERTICAL INTERSECTION |
| R. | RADIUS |
| R.C.P. | REINFORCED CONCRETE PIPE |
| R/W | RIGHT OF WAY |
| S. | SLOPE |
| S.D. | STORM DRAIN |
| S.D.M.H. | STORM DRAIN MANHOLE |
| S.F. | SQUARE FEET |
| SHT. | SHEET |
| S.S. | SANITARY SEWER |
| S.S.M.H. | SANITARY SEWER MANHOLE |
| STD. | STANDARD |
| S/W | SIDEWALK |
| T.C. | TOP OF CURB |
| TW. | TOP OF RETAINING WALL |
| TYP. | TYPICAL |
| U.N.O. | UNLESS NOTED OTHERWISE |
| V.C. | VERTICAL CURVE |
| V.C.P. | VITRIFIED CLAY PIPE |
| W. | WATER |
| W.M. | WATER METER |
| W.V. | WATER VALVE |
| W.S. | WATER SERVICE |

VICINITY MAP



METRO DESIGN GROUP
ARCHITECTURE-PLANNING-INTERIORS

1475 S BASCOM AVE SUITE 208
CAMPELL, CA 95008
(408)871-1071 phone
(408)871-1072 fax
www.metroarchitects.com

PROJECT NAME
SHANNON ROAD RESIDENCE
15977 SHANNON ROAD
LOS GATOS, CA 95032

PROJECT DESCRIPTION

PROPOSED ONE STORY RESIDENCE WHICH INCLUDES 4 BEDROOMS, 4 1/2 BATHROOMS, LIVING ROOM, DINING AREA, KITCHEN, MEDIA ROOM, POOL BATH AND CHANGING AREA, WITH ATTACHED THREE CAR GARAGE, A SPORT COURT AND SWIMMING POOL . FIVE UP TO 10" DIAMETER TREES ARE PROPOSED TO BE REMOVED.

PROJECT INFORMATION

| | |
|--|---|
| PROPERTY OWNERS | JART, LLC |
| PHONE | (408) 674-6643 |
| MAILING ADDRESS | 16255 MATILIA ROAD LOS GATOS, CA 95030 |
| PROJECT ADDRESS | 15977 SHANNON ROAD LOS GATOS, CA 95032 |
| A.P.N. | 527-01-002 |
| ZONING | HR - 1 |
| LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA | YES - STATE MANDATED LRA (VHFA) |

SITE COVERAGE

| | | | |
|---|----------------------------|----------------------------|--|
| 1. SITE AREA - PER HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES | | | |
| GROSS AREA: | 92,001 SF (2.112 AC.) | | |
| NET AREA (EXCLUDES DRIVEWAY EASEMENT) | 90,131 SF (2.069 AC.) | | |
| NET AREA AFTER 60% SLOPE REDUCTION: | 36,052 SF (0.827 AC.) | | |
| AVERAGE SLOPE: | GREATER THAN 30%. | | |
| PERCENT OF NET LOT AREA TO BE DEDUCTED: | 60%. | | |
| 2. IMPERVIOUS COVERAGE | | | |
| AREA | | | |
| BUILDING COVERAGE | 6,389 SF | 2,806 SF | |
| WOOD DECKS | 0 SF | 1,816 SF | |
| CONCRETE PATIOS, STEPS | 3,751 SF | 2,463 SF | |
| SPORT COURT | 1,325 SF | 0 SF | |
| POOL | 678 SF | 693 SF | |
| DRIVEWAY | 3,899 X 50% = 1,950 SF | 5,248 SF | |
| TOTAL AREA | 14,093 SF (39.09 %) | 13,016 SF (36.10 %) | |

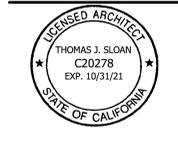
NOTE: GEOTECHNICAL FIELD INSPECTION

THE GEOTECHNICAL CONSULTANT SHALL INSPECT, TEST (AS NEEDED), AND APPROVE ALL GEOTECHNICAL ASPECTS OF THE PROJECT CONSTRUCTION. THE INSPECTIONS SHOULD INCLUDE, BUT NOT NECESSARILY BE LIMITED TO: SITE PREPARATION AND GRADING, SITE SURFACE AND SUBSURFACE DRAINAGE IMPROVEMENTS AND EXCAVATIONS FOR FOUNDATIONS AND RETAINING WALLS PRIOR TO THE PLACEMENT OF STEEL AND CONCRETE. THE CONSULTANT SHALL VERIFY THAT FILL MATERIALS PLACED ON SLOPING GROUND ARE PROPERLY KEYED AND BENCHED INTO SUPPORTIVE MATERIALS, AS NECESSARY.

| | | |
|--------------------------|--|--------------------------|
| TOPO SURVEY & BOUNDARIES | ROGER E. DODGE, LS 3295 DODGE ASSOC. SURVEYING 20652 CHAPARRAL CIRCLE PENN VALLEY, CA 95946 (530)432-5212 | GEOTECHNICAL ENGINEERING |
|--------------------------|--|--------------------------|

SHEET INDEX

- C-1.0 TOWN NOTES, PROJECT DATA AND LEGEND
- C-2.0 CONSTRUCTION BMP
- C-3.0 GRADING AND DRAINAGE PLAN
- C-3.1 DRIVEWAY PROFILE AND SITE SECTIONS
- C-4.0 EROSION CONTROL PLAN
- C-5.0 CONSTRUCTION DETAILS



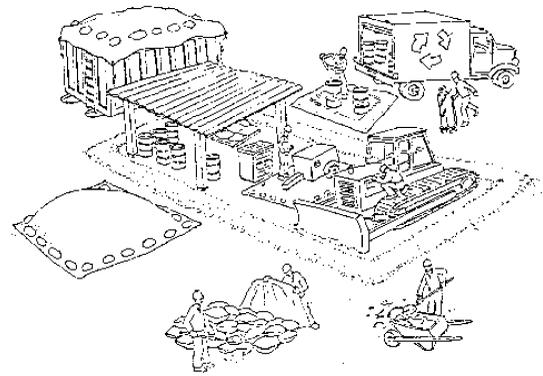
TITLE SHEET NOTES, PROJECT DATA AND LEGEND

DATE : 6/25/2020
SCALE : NO SCALE
DRAWN BY : T J S
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

SHEET NUMBER

C-1.0

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

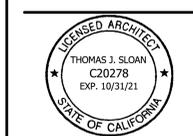
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Painting



- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

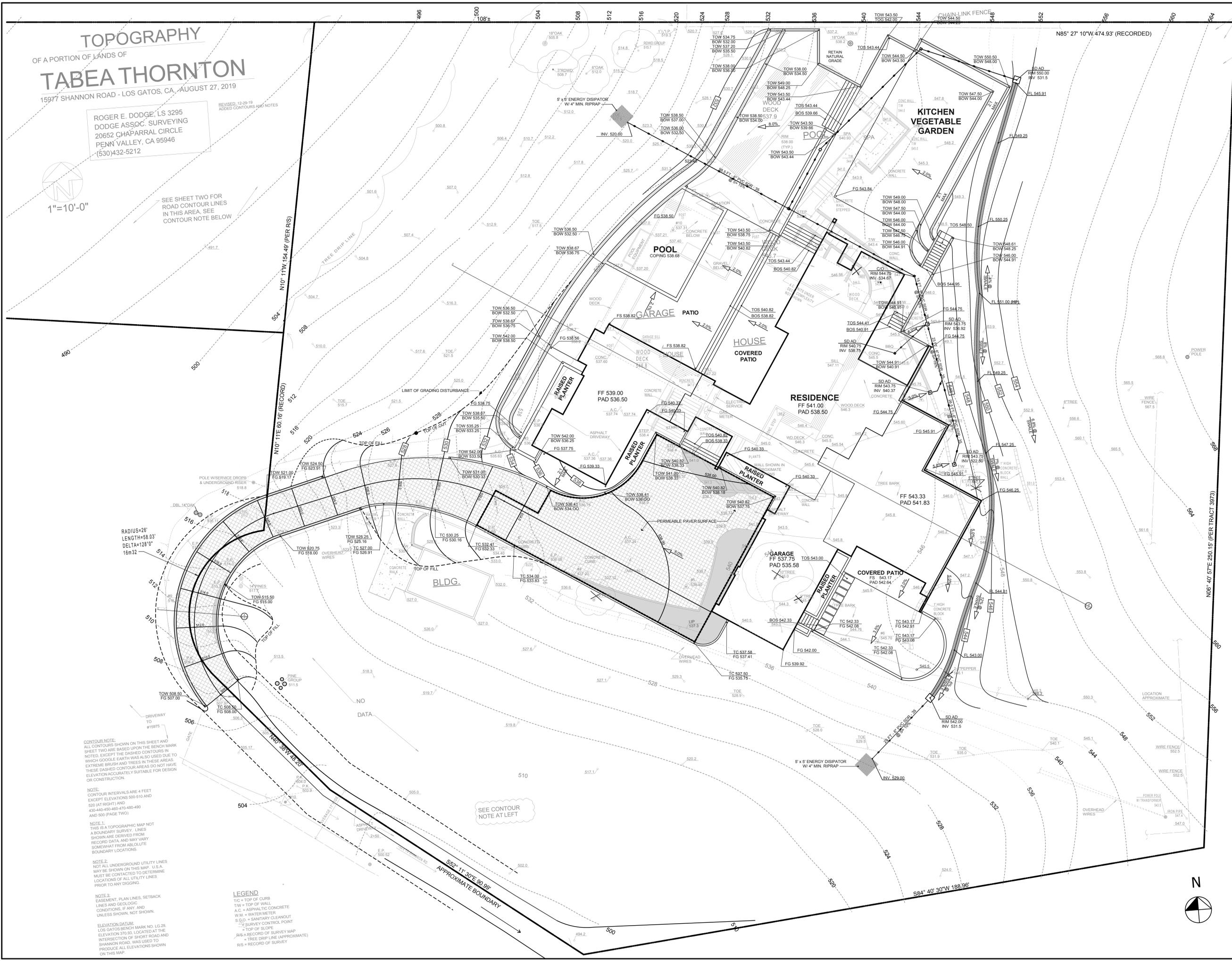
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GRADING & DRAINAGE PLAN

DATE : 6/25/2020
 SCALE : 1" = 10'-0"
 DRAWN BY : T J S
 CHECKED BY :
 ARCHITECT : TOM SLOAN
 PROJECT NO : 19677

SHEET NUMBER
C-3.0





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GROUP**

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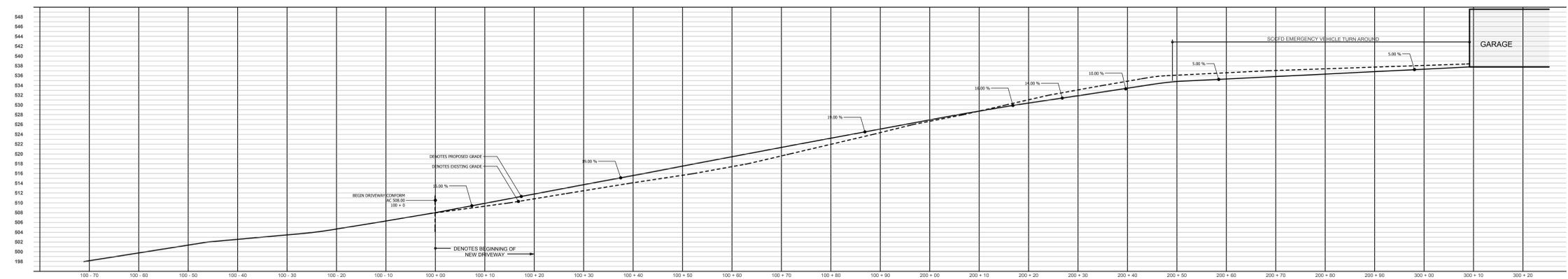
PROJECT NAME

**SHANNON ROAD
RESIDENCE**

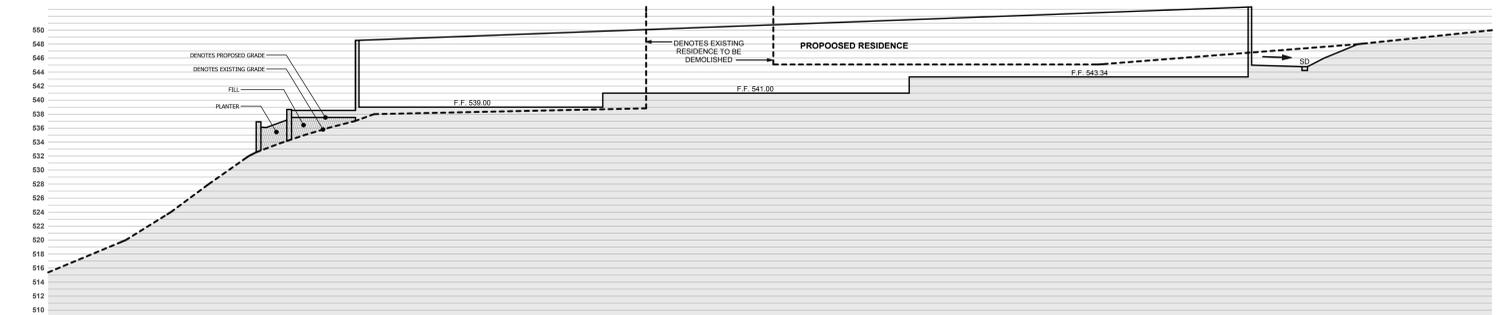
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LOS GATOS, CA 95032

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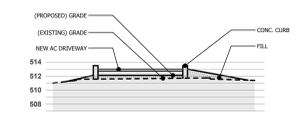
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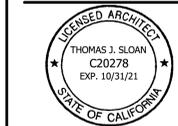
(A) SECTION - DRIVEWAY PROFILE



(B) SECTION - SITE / RESIDENCE PROFILE



(C) SECTION - DRIVEWAY PROFILE



**DRIVEWAY
PROFILE &
SITE SECTIONS**

DATE : 6/25/2020

SCALE : 1" = 10'- 0"

DRAWN BY : T J S

CHECKED BY :

ARCHITECT : TOM SLOAN

PROJECT NO : 19677

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**EROSION
CONTROL
PLAN**

DATE : 6/25/2020

SCALE : 1" = 10'- 0"

DRAWN BY : T J S

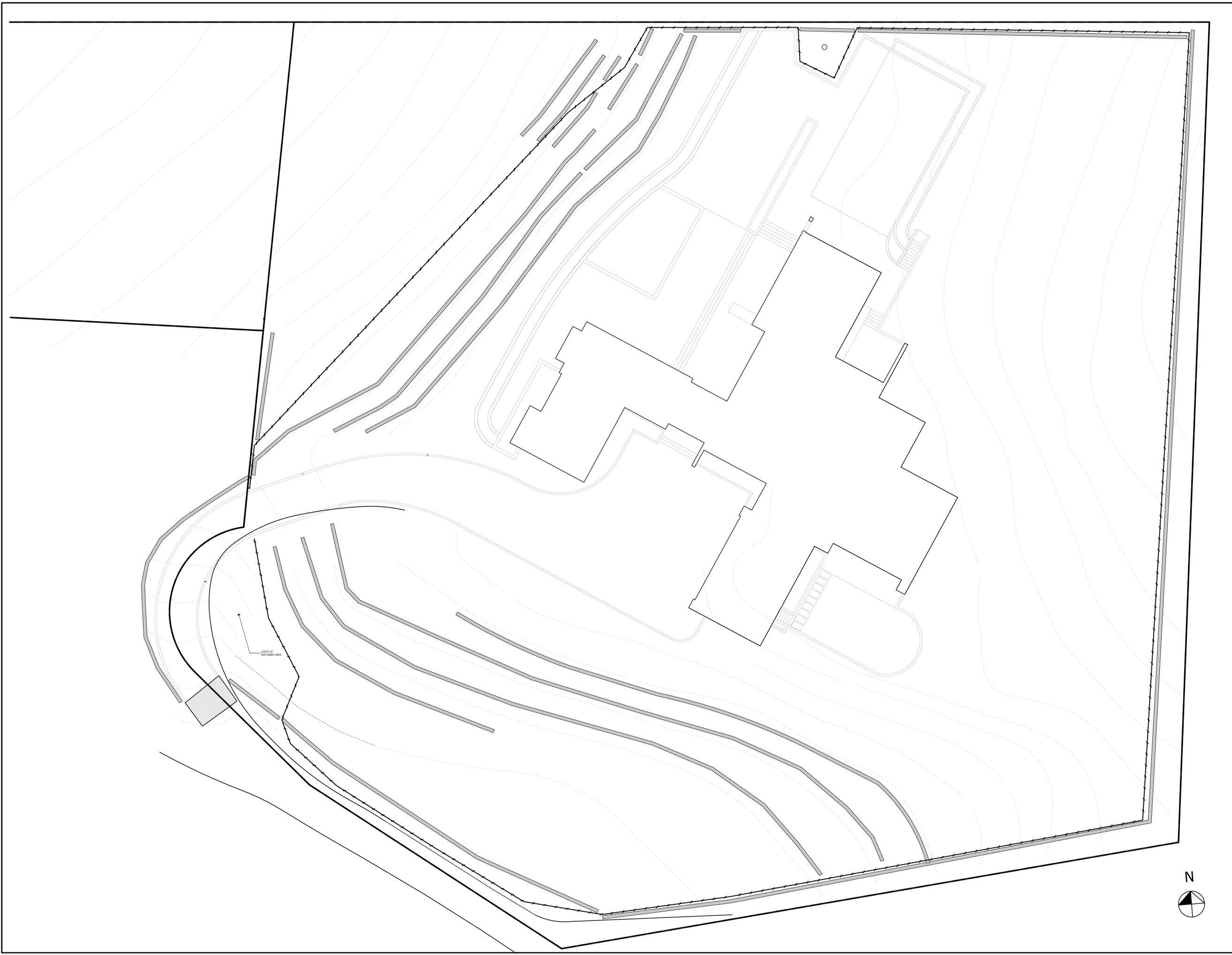
CHECKED BY :

ARCHITECT : TOM SLOAN

PROJECT NO : 19677

SHEET NUMBER

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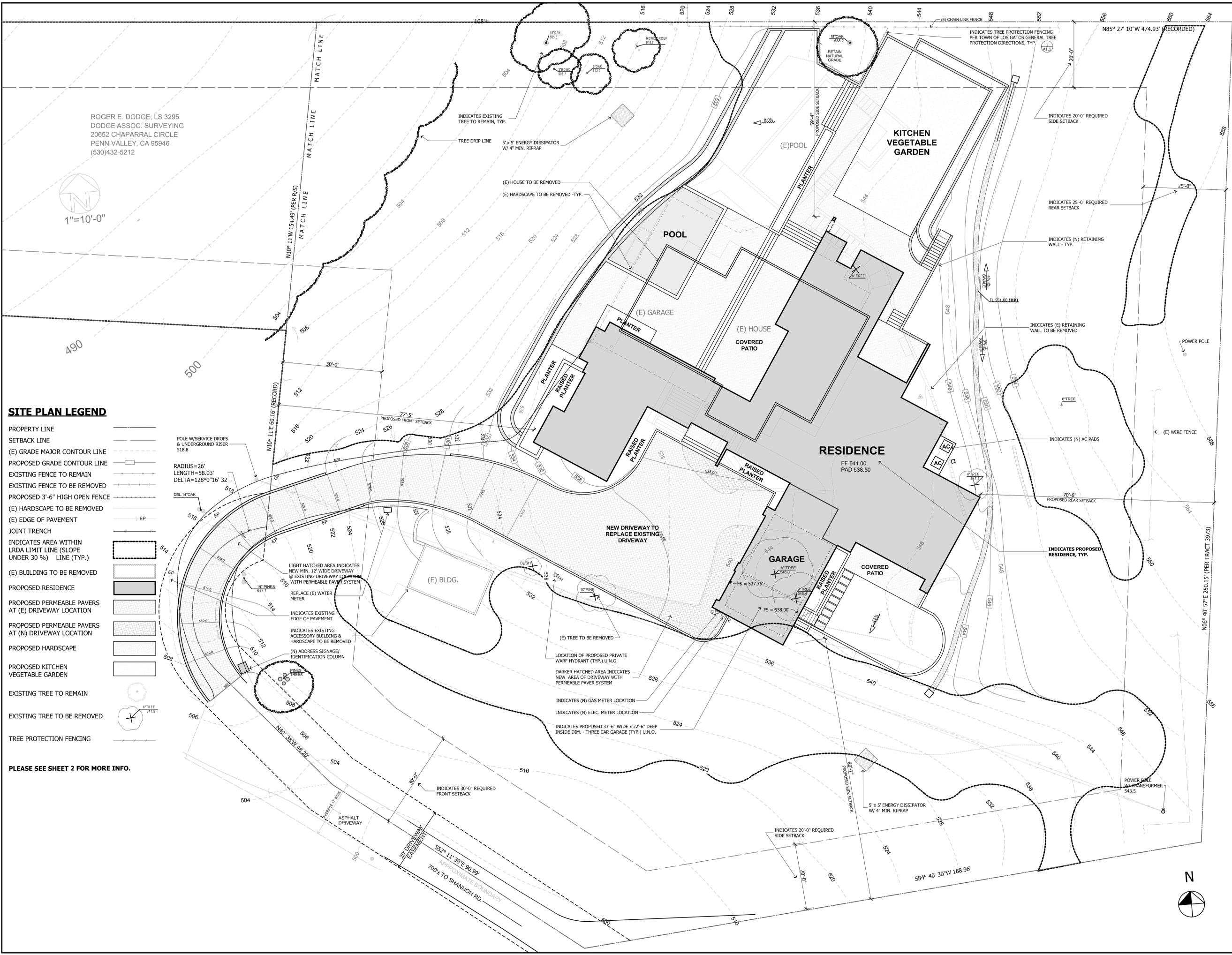
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TJ Sloan - Shannon R. 19677.dwg

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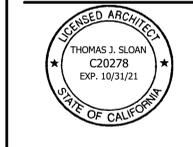
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SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- (E) GRADE MAJOR CONTOUR LINE
- PROPOSED GRADE CONTOUR LINE
- EXISTING FENCE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- PROPOSED 3'-6" HIGH OPEN FENCE
- (E) HARDSCAPE TO BE REMOVED
- (E) EDGE OF PAVEMENT
- JOINT TRENCH
- INDICATES AREA WITHIN LRDA LIMIT LINE (SLOPE UNDER 30%) LINE (TYP.)
- (E) BUILDING TO BE REMOVED
- PROPOSED RESIDENCE
- PROPOSED PERMEABLE PAVERS AT (E) DRIVEWAY LOCATION
- PROPOSED PERMEABLE PAVERS AT (N) DRIVEWAY LOCATION
- PROPOSED HARDSCAPE
- PROPOSED KITCHEN VEGETABLE GARDEN
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING

PLEASE SEE SHEET 2 FOR MORE INFO.



SITE PLAN SHEET 1

DATE : 6/25/2020
 SCALE : 1" = 10'-0"
 DRAWN BY : T J S
 CHECKED BY :
 ARCHITECT : TOM SLOAN
 PROJECT NO : 19677

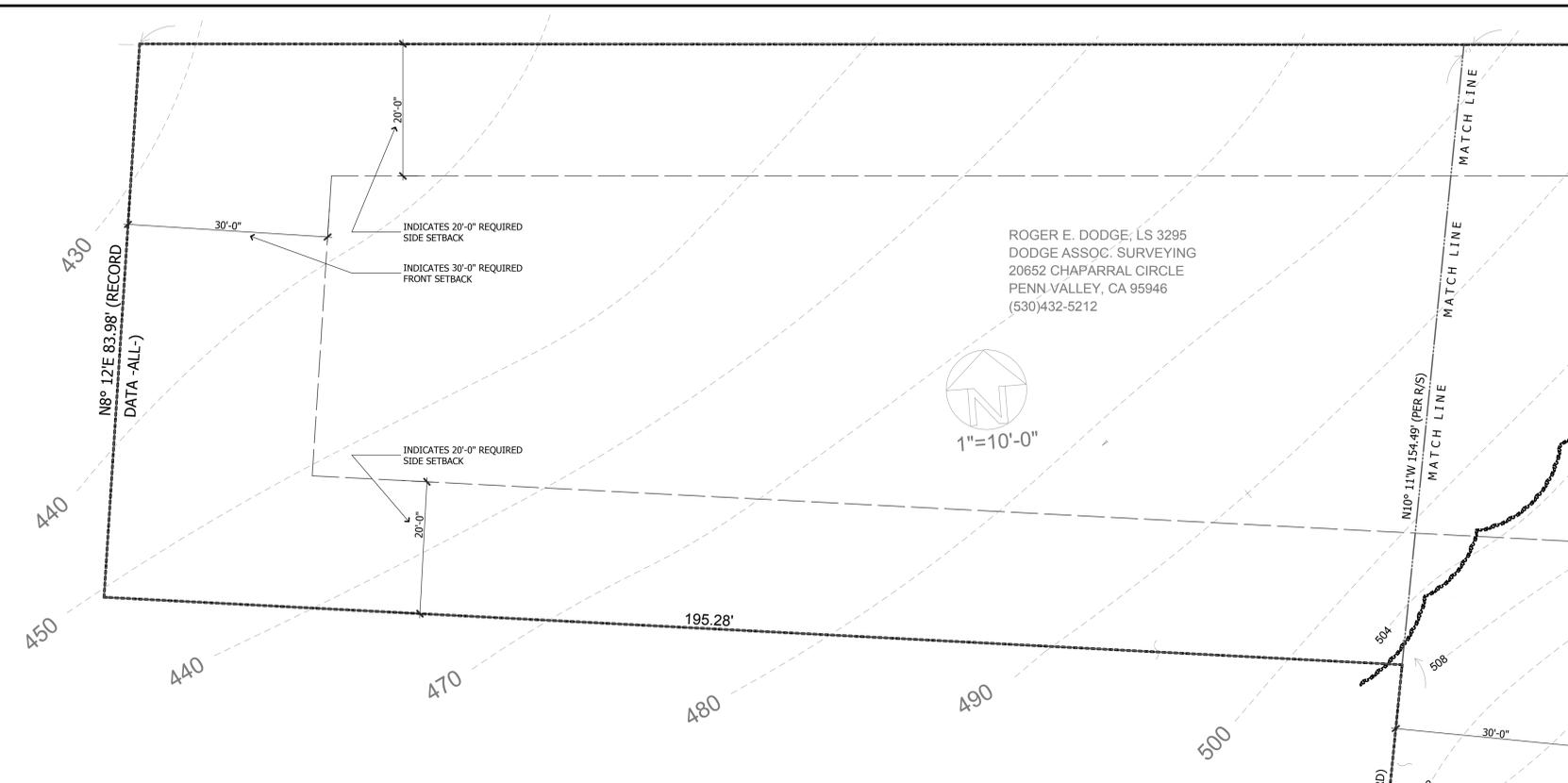
SHEET NUMBER

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PROJECT NAME
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15977 SHANNON ROAD
LOS GATOS, CA 95032

| REVISIONS |
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FIRE DEPARTMENT NOTES

FIRE PROTECTION WATER
AN AUTOMATIC NFPA 13 FIRE SPRINKLER SYSTEM APPROVED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT SHALL BE INCLUDED IN ALL PORTIONS OF THE BUILDING. THREE SETS OF PLANS PREPARED BY A SPRINKLER CONTRACTOR SHALL BE SUBMITTED TO THE SANTA CLARA COUNTY FIRE DEPARTMENT (14700 WINCHESTER BLVD., LOS GATOS, CA 95032) FOR REVIEW AND APPROVAL. THE SPRINKLERS SHALL BE INSPECTED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE BUILDING.

A. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, HYDRAULICALLY DESIGNED IN ACCORDANCE WITH **NFPA STANDARD 13 -2013 EDITION** AND LOCAL ORDINANCES SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE. THE FIRE SPRINKLER SYSTEM SUPPLY VALVING, FIRE DEPARTMENT CONNECTION (FDC), ETC., SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH **NFPA 13** REQUIREMENTS.
B. FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED THROUGHOUT THE GARAGE AND ALL CONTIGUOUS AREAS WITHIN THE STRUCTURE.
C. A STATE OF CALIFORNIA LICENSED FIRE PROTECTION CONTRACTOR SHALL PROVIDE (3) COPIES OF THE WORKING DRAWINGS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF WORK.
D. THE FIRE DISTRICT MUST ISSUE A PERMIT PRIOR TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM.
E. THE SPRINKLER CONTRACTOR MUST HAVE A CITY BUSINESS LICENSE AND WORKER'S COMPENSATION CERTIFICATE.
F. A FLAT CEILING IS REQUIRED IN AREAS INCORPORATING AN AUTOMATIC FIRE SPRINKLER SYSTEM TO ASSURE PROPER FUNCTIONING OF THE SPRINKLER HEADS.
G. THE BUILDING SHALL BE PROVIDED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM. SPRINKLER CONTROL VALVES SHALL BE LOCATED TO ALLOW CONTROL OF THE SPRINKLER RISER FROM OUTSIDE THE BUILDING. SUBMIT SHOP DRAWINGS (3 SETS) AND A PERMIT APPLICATION TO THE FIRE PREVENTION DIVISION FOR REVIEW AND APPROVAL BEFORE INSTALLING THE SYSTEM. CALL (408) 378-4010 FOR MORE INFORMATION.

SMOKE ALARMS
PER CBC #907.2.9.2, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC #907.2.11.

EGRESS DOORS
EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, THUMB TURN, OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE EXCEPTIONS TO THE SECTION 1008.1.9.4 ARE MET. (CBC #1008.1.9)

PREMISES IDENTIFICATION / PROJECT ADDRESS
APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF 0.5 INCH. (CFC/505.1)

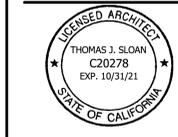
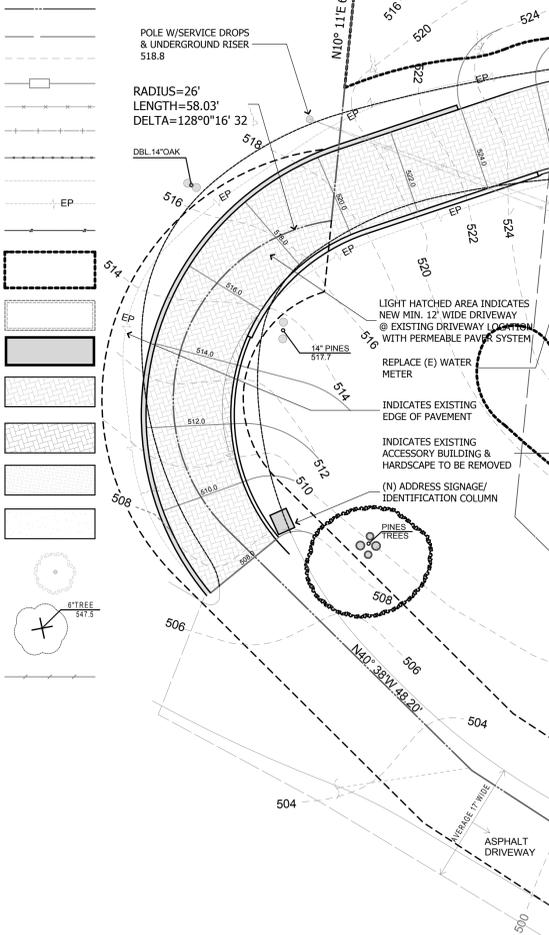
WILDLAND / URBAN INTERFACE FIRE AREA
THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND URBAN INTERFACE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A. & R327
THE FOLLOWING CONDITIONS SHALL APPLY
A. CLASS 'A' ROOF ASSEMBLY IS REQUIRED. SEE PROVIDED DETAILS ON AD SHEETS.
B. MIN. 1/2" SPARK ARRESTOR SHALL BE PROVIDED FOR EACH CHIMNEY.
C. COMBUSTIBLE VEGETATION SHALL BE REMOVED WITHIN 30FT TO 100FT. OF STRUCTURE AND BE IN COMPLIANCE WITH CBC SEC 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

WATER SUPPLY REQUIREMENTS
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S).

CONSTRUCTION SITE FIRE SAFETY
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND THE FIRE DEPARTMENT'S STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- (E) GRADE MAJOR CONTOUR LINE
- EXISTING FENCE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- PROPOSED 3'-6" HIGH OPEN FENCE
- (E) HARDSCAPE TO BE REMOVED
- (E) EDGE OF PAVEMENT
- JOINT TRENCH
- INDICATES AREA WITHIN LRDA LIMIT LINE (SLOPE UNDER 30 %) LINE (TYP.)
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- PROPOSED PERMEABLE PAVERS AT (E) DRIVEWAY LOCATION
- PROPOSED PERMEABLE PAVERS AT (N) DRIVEWAY LOCATION
- PROPOSED HARDSCAPE
- PROPOSED KITCHEN VEGETABLE GARDEN
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING



SITE PLAN SHEET 2

DATE : 6/25/2020
SCALE : 1" = 10'- 0"
DRAWN BY : T J S
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

SHEET NUMBER

A-1.1



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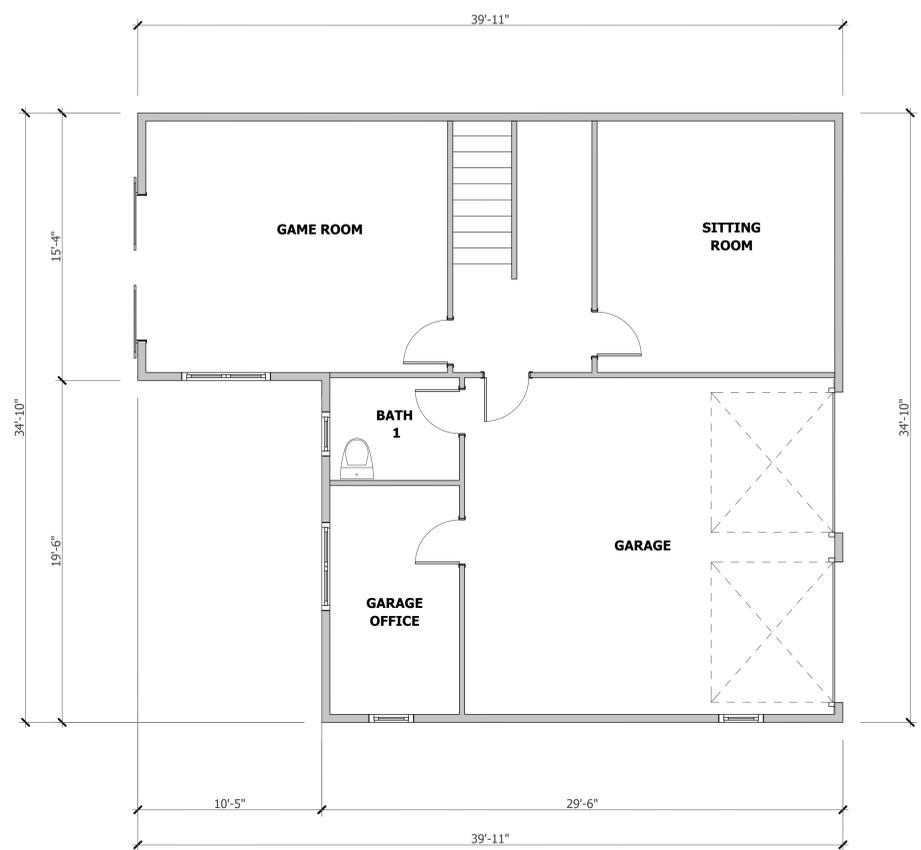
PROJECT NAME

**SHANNON ROAD
RESIDENCE**

15977 SHANNON ROAD
LOS GATOS, CA 95032

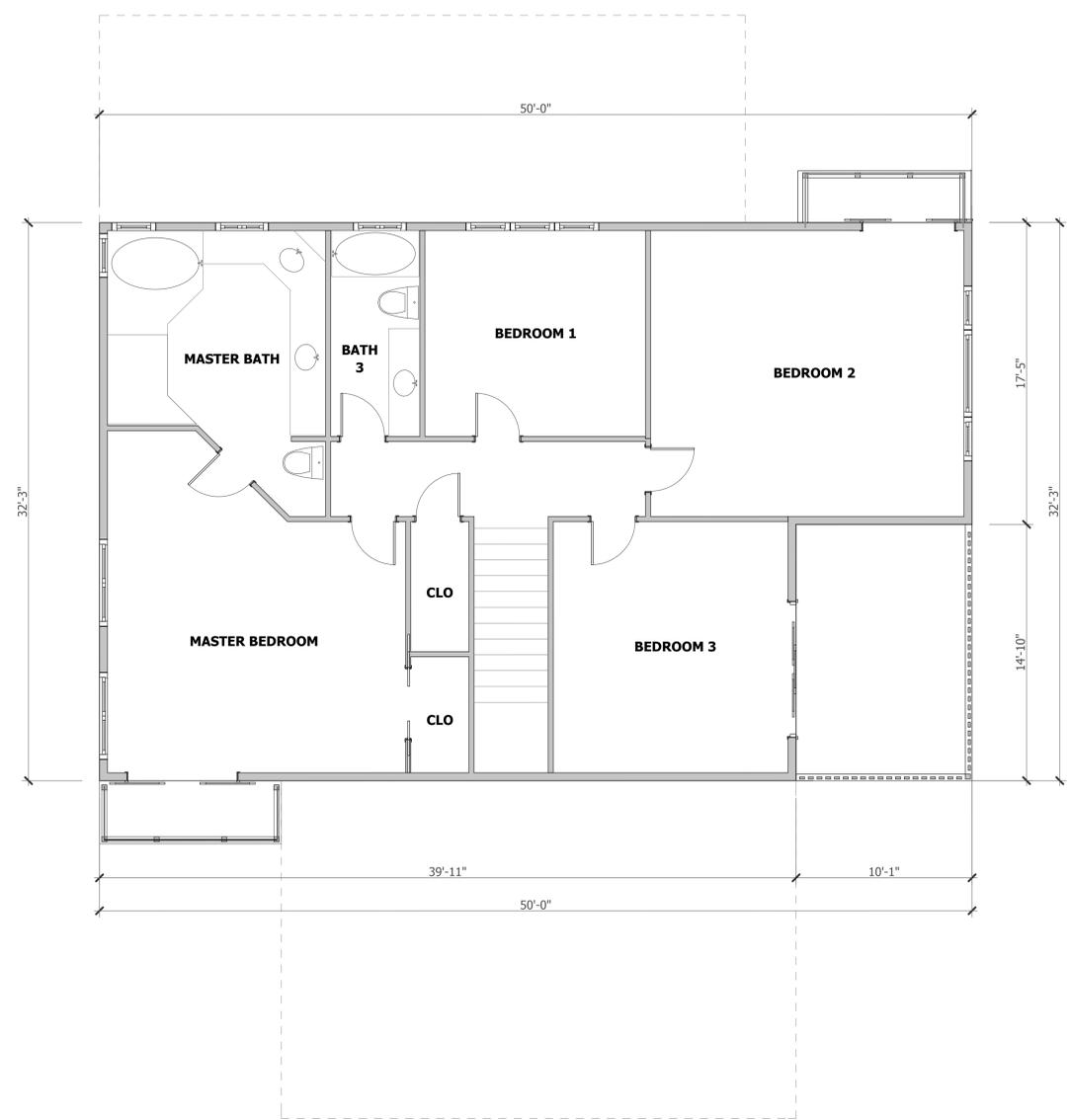
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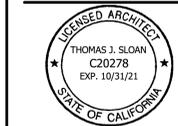
LOWER FLOOR PLAN

GARAGE: 422 SF
LIVING AREA: 765 SF
TOTAL AREA: 1,187 SF



UPPER FLOOR PLAN

1465 SF



**EXISTING
RESIDENCE
FLOOR PLANS**

UPPER FLOOR PLAN
LOWER FLOOR PLAN
DATE : 6/25/2020
SCALE : 1/4" = 1'- 0"
DRAWN BY : CS
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

SHEET NUMBER

A-2.0



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GROUP**

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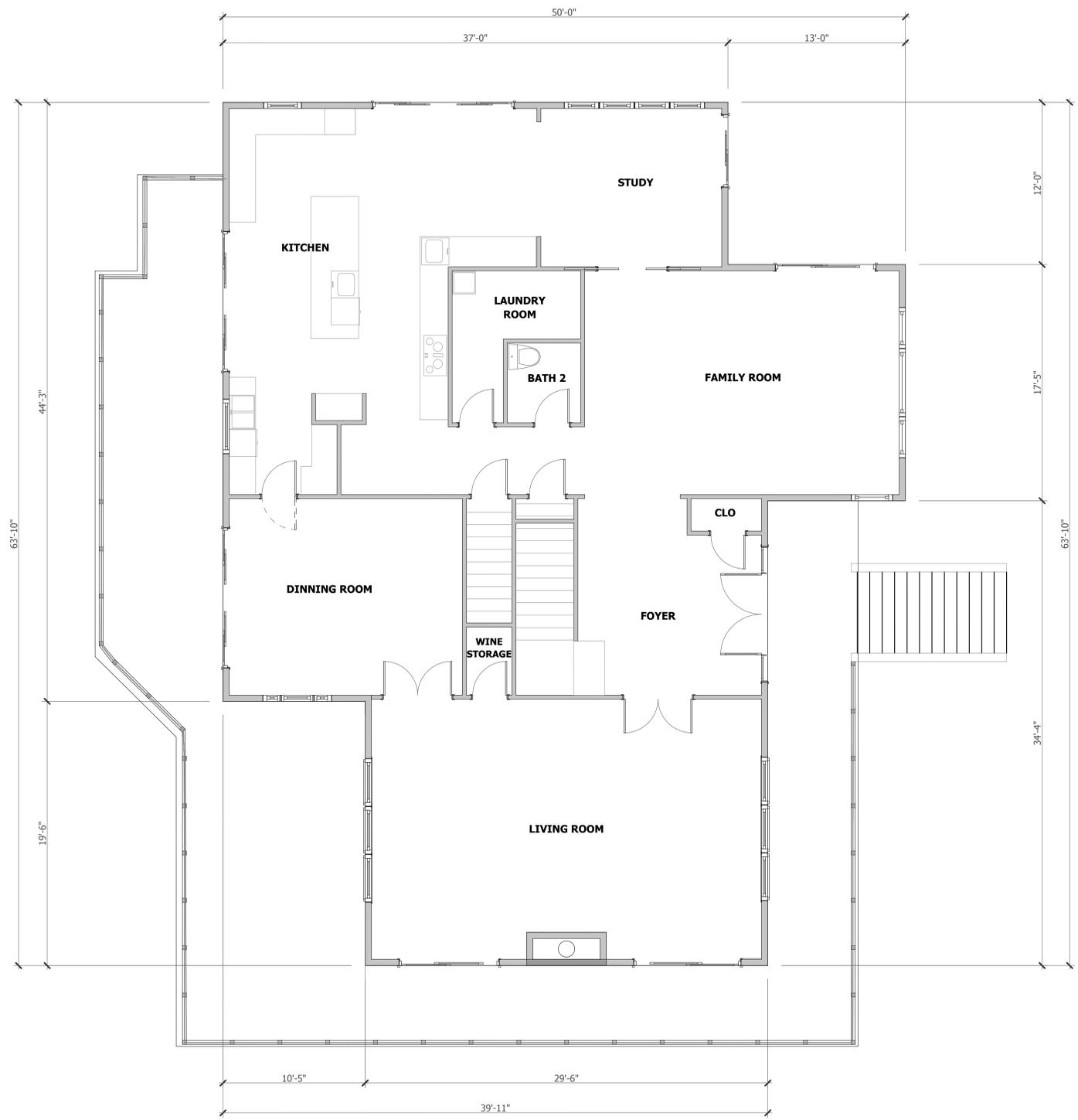
PROJECT NAME

**SHANNON ROAD
RESIDENCE**

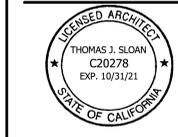
15977 SHANNON ROAD
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REVISIONS

| NO. | DESCRIPTION |
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UPPER FLOOR PLAN
2485 SF



**EXISTING
RESIDENCE
MAIN
FLOOR PLAN**

DATE : 6/25/2020
SCALE : 1/4" = 1'- 0"
DRAWN BY : CS
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

SHEET NUMBER

A-2.1



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DESIGN
GROUP**

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PROJECT NAME

**SHANNON ROAD
RESIDENCE**

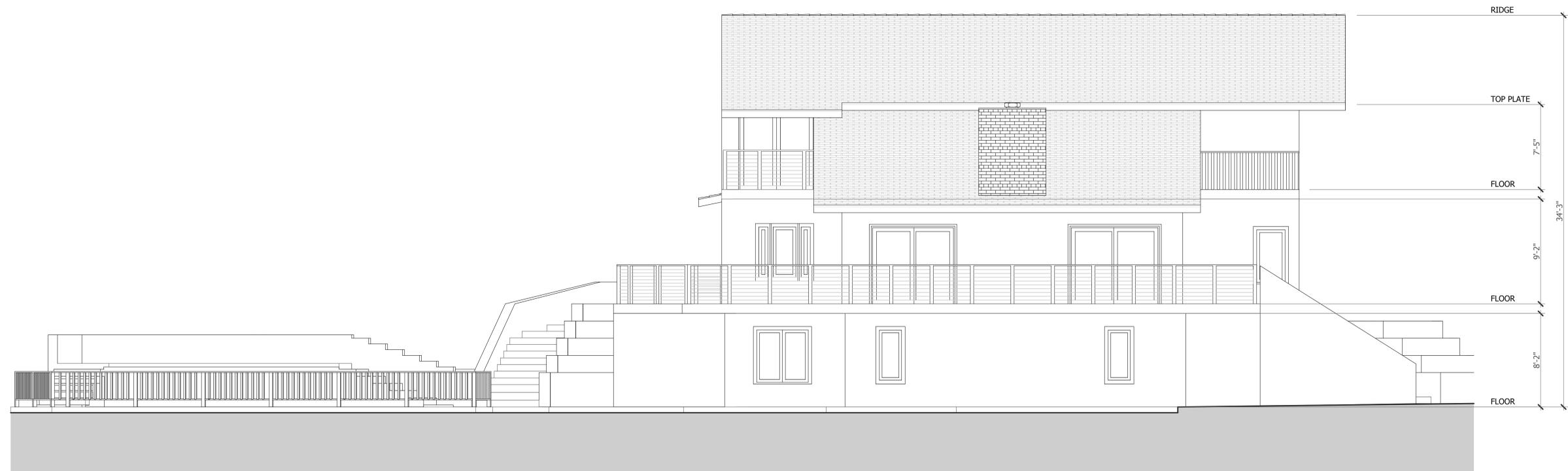
15977 SHANNON ROAD
LOS GATOS, CA 95032

REVISIONS

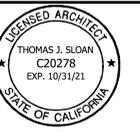
| NO. | DESCRIPTION |
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EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



**EXISTING
EXTERIOR
ELEVATIONS**

EXISTING SOUTH ELEVATION
EXISTING WEST ELEVATION

DATE : 6/25/2020

SCALE : 1/4" = 1'- 0"

DRAWN BY : CS

CHECKED BY :

ARCHITECT : TOM SLOAN

PROJECT NO : 19677

SHEET NUMBER

A-2.2



METRO
DESIGN
GROUP

ARCHITECTURE-PLANNING-INTERIORS

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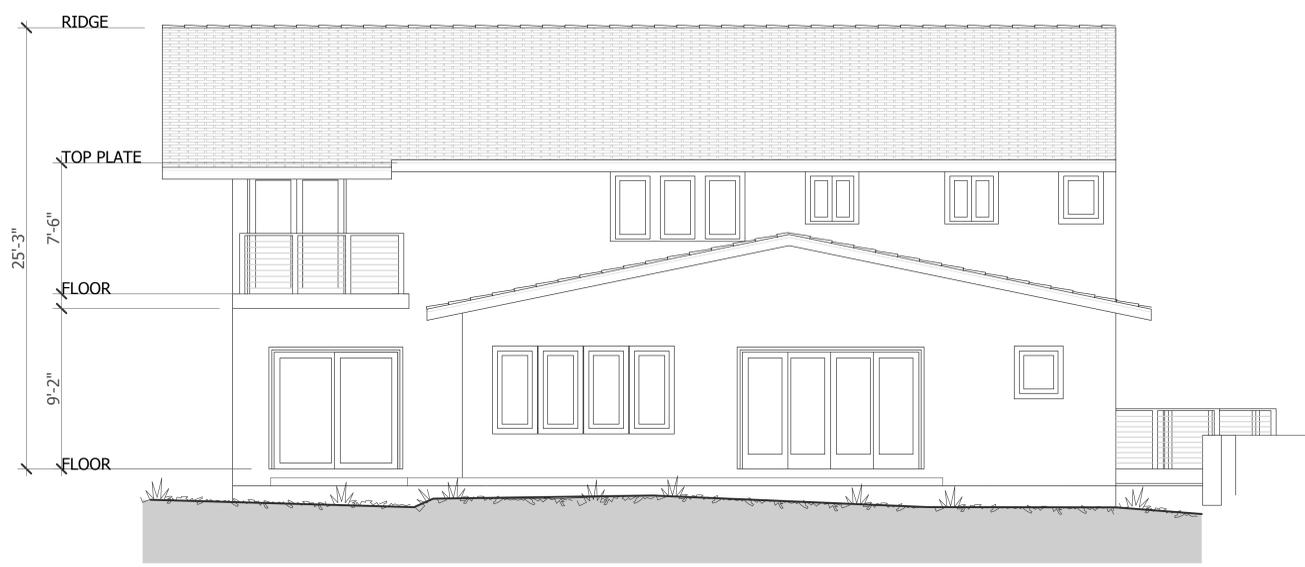
PROJECT NAME

SHANNON ROAD RESIDENCE

15977 SHANNON ROAD
LOS GATOS, CA 95032

REVISIONS

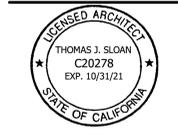
| NO. | DESCRIPTION |
|-----|-------------|
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EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING EXTERIOR ELEVATIONS

EXISTING EAST ELEVATION
EXISTING NORTH ELEVATION

DATE : 6/25/2020

SCALE : 1/4" = 1'- 0"

DRAWN BY : CS

CHECKED BY :

ARCHITECT : TOM SLOAN

PROJECT NO : 19677

SHEET NUMBER

A-2.3



**METRO
DESIGN
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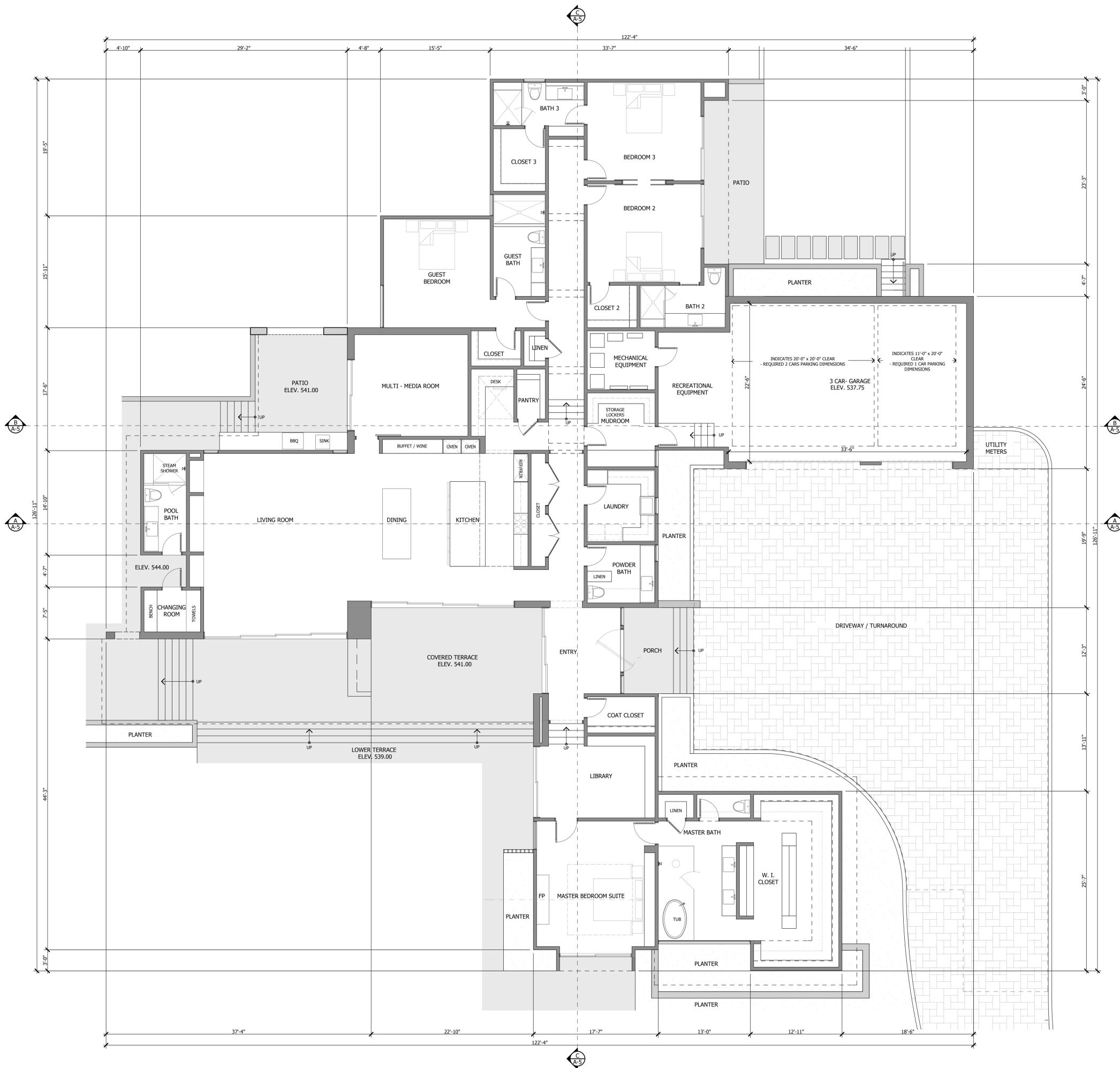
PROJECT NAME

**SHANNON ROAD
RESIDENCE**

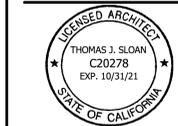
15977 SHANNON ROAD
LOS GATOS, CA 95032

REVISIONS

| NO. | DESCRIPTION |
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NOTE: ALL EXTERIOR FIXTURES INCLUDING LANDSCAPE LIGHTING SHALL COMPLY WITH TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND SHIELDED AND THE GLASS SHALL BE OBSCURED, NOT CLEAR.



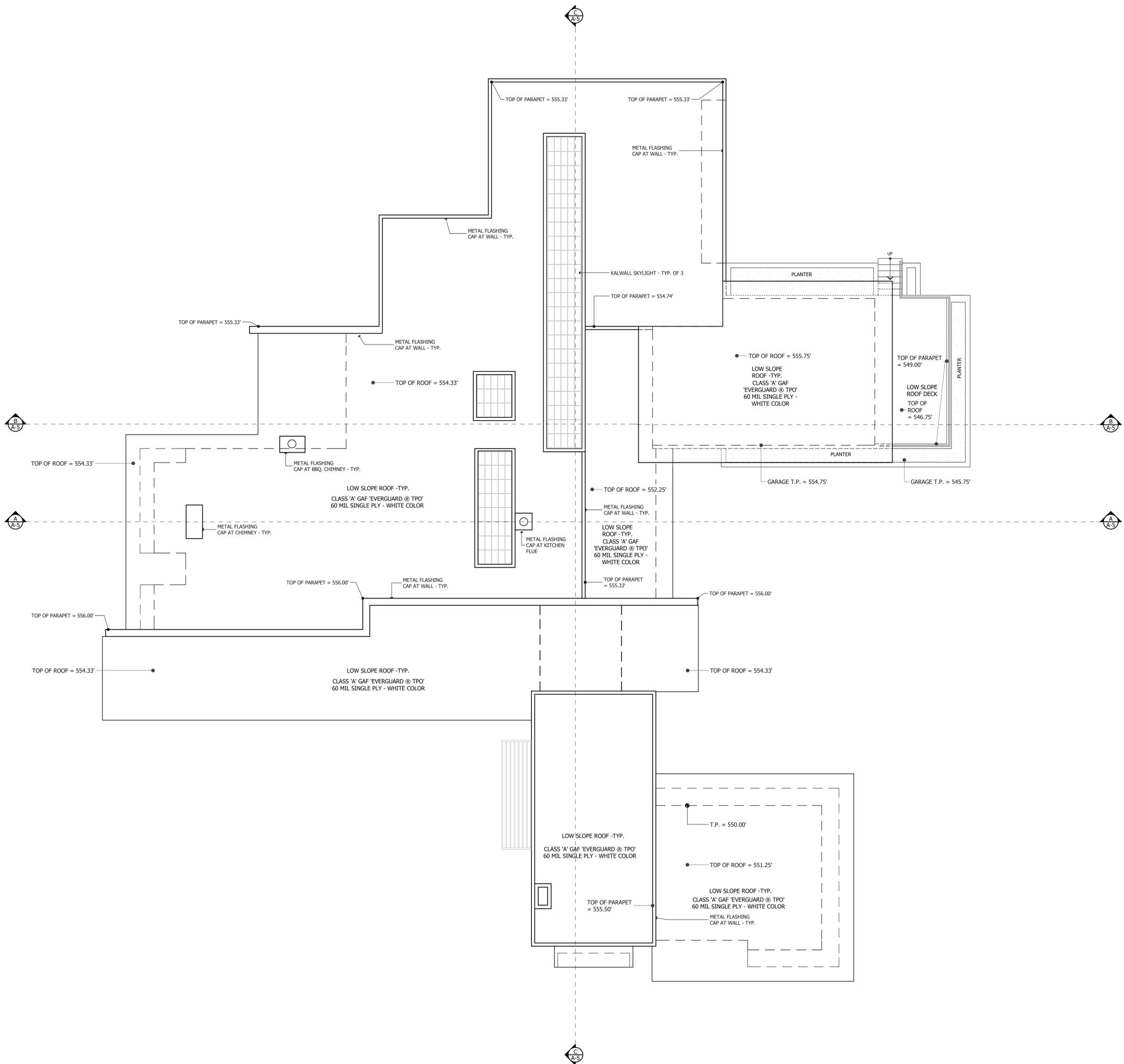
**MAIN FLOOR
PLAN**

DATE : 6/25/2020
SCALE : 3/16" = 1'- 0"
DRAWN BY : T J S
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

SHEET NUMBER

A-3.0

| REVISIONS |
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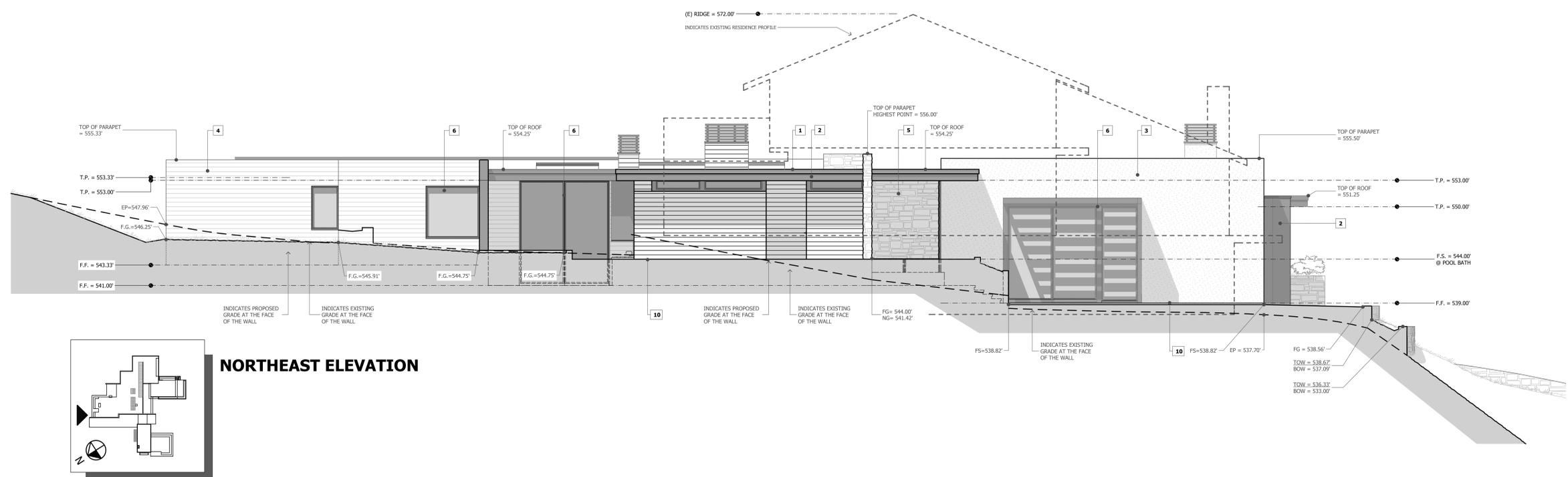
**PROPOSED
ROOF PLAN**

DATE : 6/25/2020
SCALE : 3/16" = 1'-0"
DRAWN BY : T J S, DZ
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

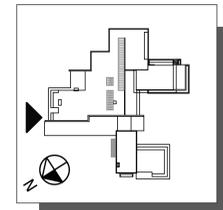
SHEET NUMBER

A-4.0

| REVISIONS | |
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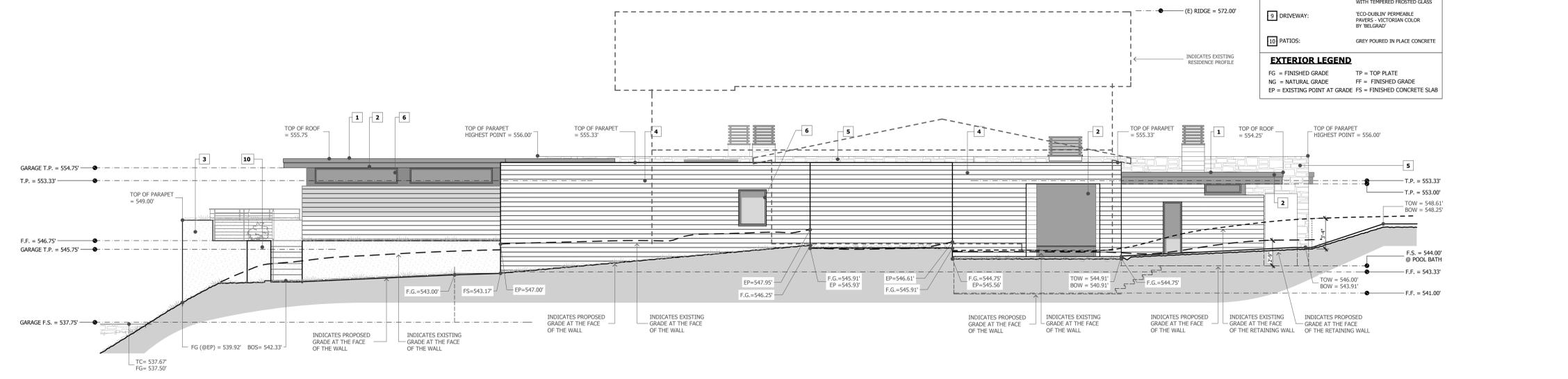


NORTHEAST ELEVATION

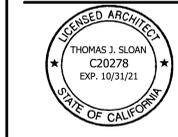
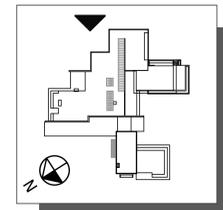


| EXTERIOR FINISHES | |
|---|---|
| 1 ROOF: | GAF EVERGLARD @ TPO, GLASS TX WHITE COLOR |
| 2 GUTTERS, DOWNSPOUTS SCUPPERS: | CUSTOM 26 GA. PRE-PANDED GALVALUME METAL - DARK BRONZE COLOR |
| 3 EXTERIOR WALLS: | LATEX COLOR INTEGRAL STUCCO - DARK TAN COLOR |
| 4 EXTERIOR WALLS: | WOOD SIDING - 6" EXPOSURE |
| 5 EXTERIOR WALLS: | LEDGESTONE - NATURAL STONE VENEER - XXX COLOR |
| 6 WINDOWS/EXTERIOR DOORS, EXTERIOR WALLS: | ALUMINUM WOOD CLAD / ALUMINUM CLAD DARK BRONZE ANODIZED ALUMINUM METAL CLAD |
| 7 ENTRY DOOR: | CUSTOM WOOD PIVOT DOOR MEDIUM DARK COLOR |
| 8 GARAGE DOOR: | ALUMINUM DOOR - DARK BRONZE COLOR WITH TINTED FROSTED GLASS |
| 9 DRIVEWAY: | ECO-DUBLIN PERMEABLE PAVERS - VICTORIAN COLOR BY BELGRADE |
| 10 PATIOS: | GREY POURED IN PLACE CONCRETE |

| EXTERIOR LEGEND | |
|------------------------------|-----------------------------|
| FG = FINISHED GRADE | TP = TOP PLATE |
| NG = NATURAL GRADE | FF = FINISHED GRADE |
| EP = EXISTING POINT AT GRADE | FS = FINISHED CONCRETE SLAB |



SOUTHEAST ELEVATION



EXTERIOR ELEVATIONS

NORTHEAST ELEVATION
SOUTHEAST ELEVATION
DATE : 6/25/2020
SCALE : 3/16" = 1'-0"
DRAWN BY : T J S, DZ
CHECKED BY :
ARCHITECT : TOM SLOAN
PROJECT NO : 19677

SHEET NUMBER
A-5.1

