



REVISIONS	BY
TECH REVIEW 02-19-20	SP
TECH REVIEW 06-10-20	SP
STORY POLE REV 07-21-20	SP
PROJECT MEETING 08-20-20	SP
DATE	BY
04-14-2020	SP
SCALE	1/4"=1'-0"
DRAWN	SP
DATE	BY
04-14-2020	SP
SCALE	1/4"=1'-0"
DRAWN	SP
DATE	BY
04-14-2020	SP
SCALE	1/4"=1'-0"
DRAWN	SP

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**P A I M**  
ARCHITECT

Residential  
Commercial  
Historical

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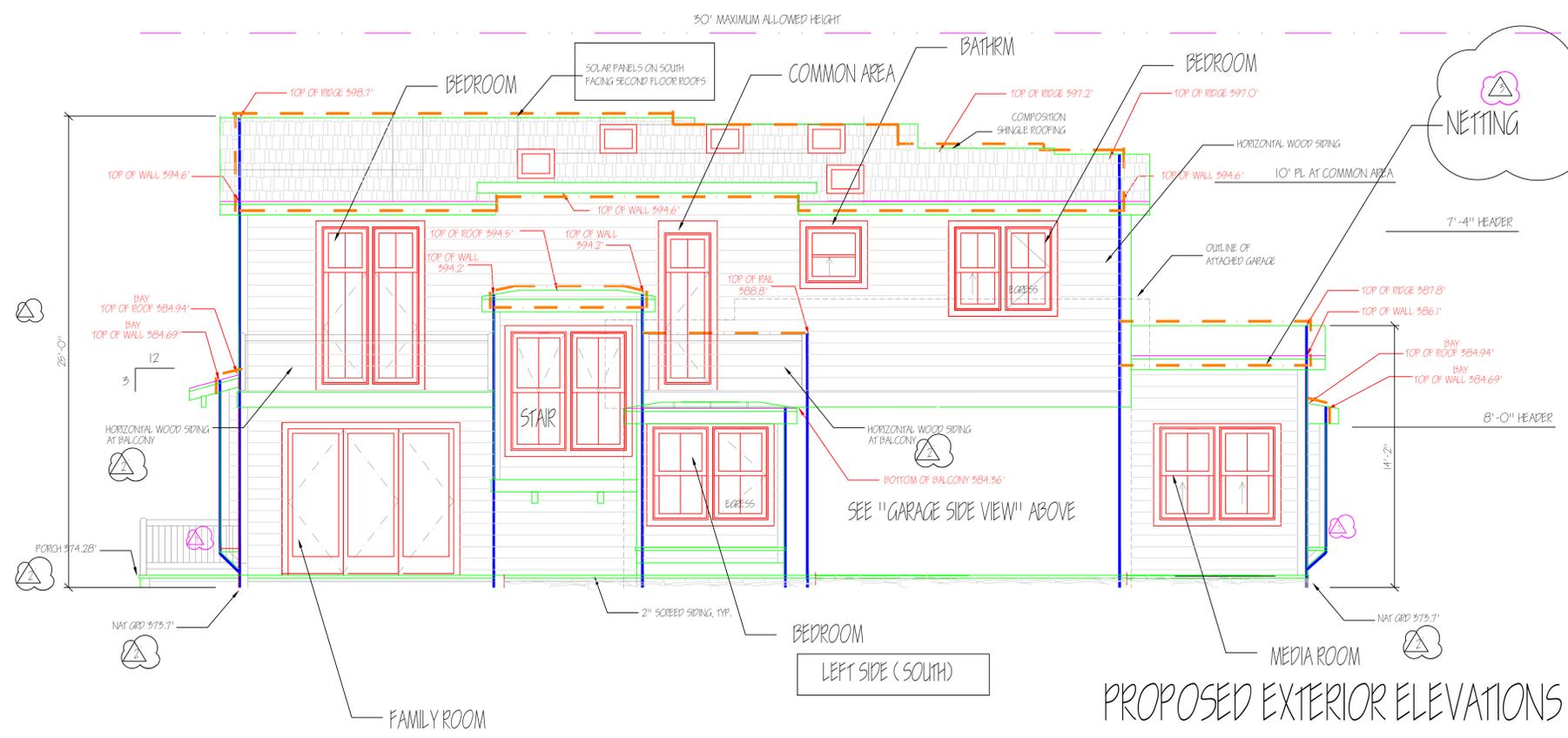
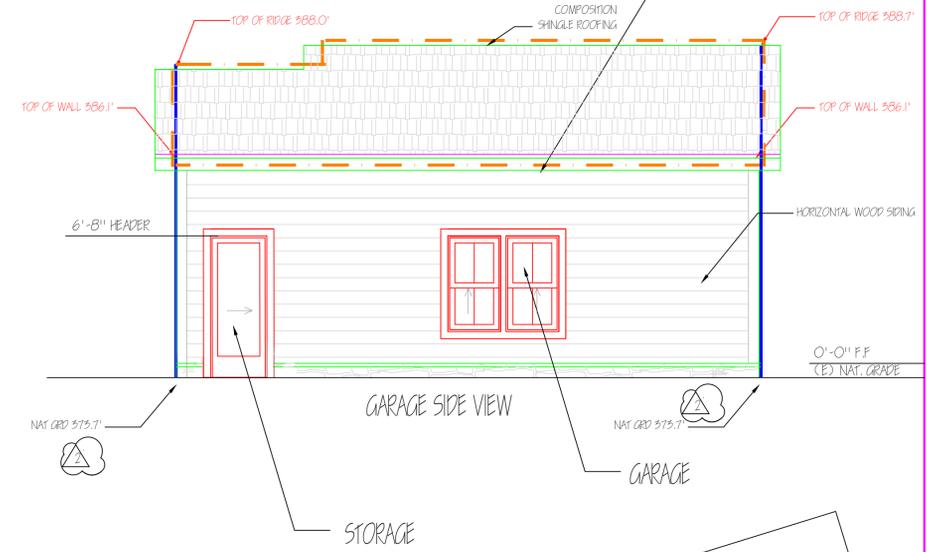
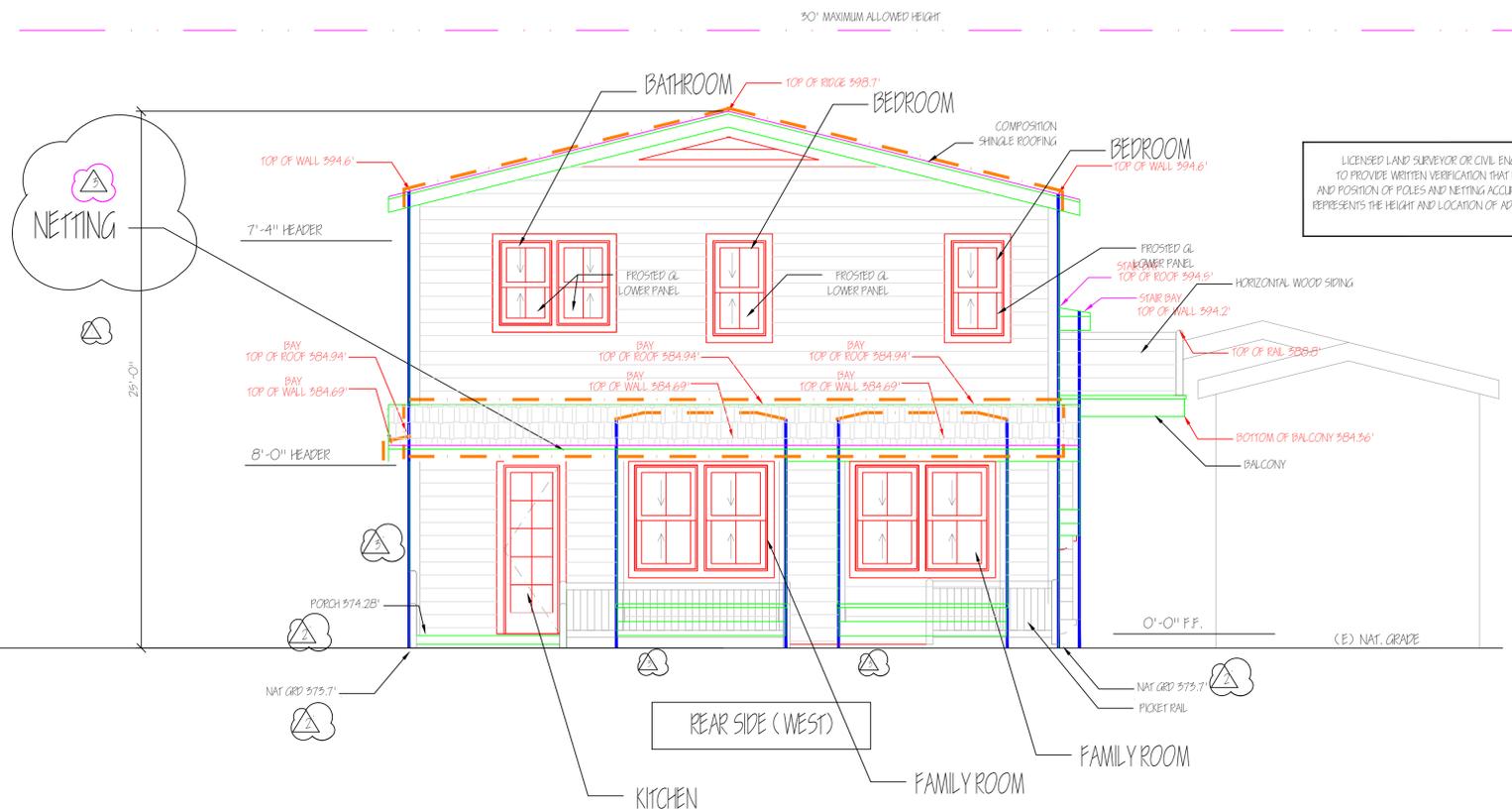
APN  
529-18-046

NEW CUSTOM HOME  
JAYARAJ RESIDENCE  
16890 ROBERTS ROAD  
LOS GATOS, CA

DATE: 04-14-2020  
SCALE: 1/4"=1'-0"  
DRAWN: SP  
DATE: 04-14-2020  
SCALE: 1/4"=1'-0"  
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DATE: 04-14-2020  
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DRAWN: SP

# STORY POLE PLAN - UPDATED 09-08-20

SEE ROOF PLAN SHEET A-5.1  
SEE SECTIONS SHEET A-3.1



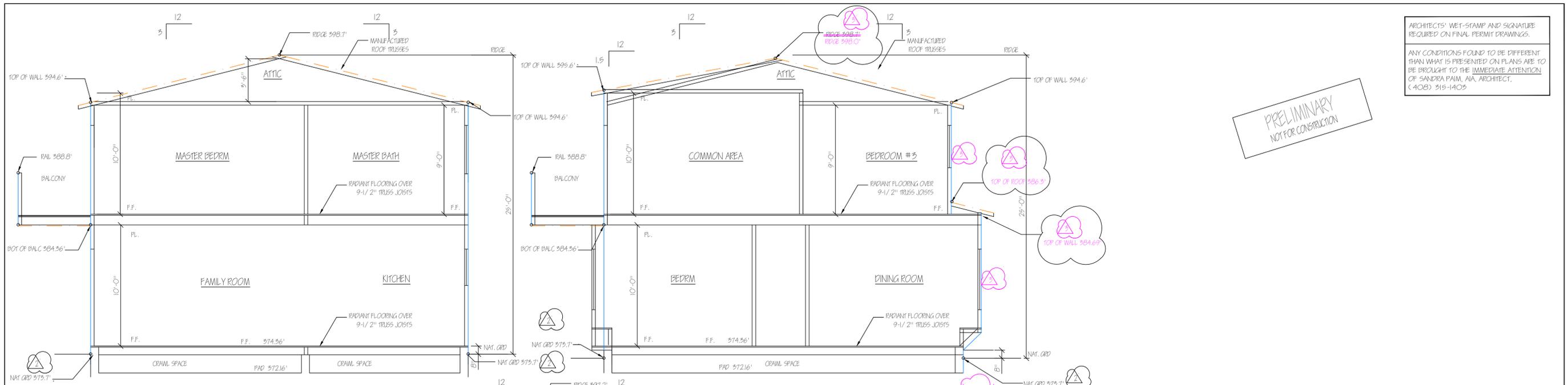
PRELIMINARY  
NOT FOR CONSTRUCTION

LICENSED LAND SURVEYOR OR CIVIL ENGINEER TO PROVIDE WRITTEN VERIFICATION THAT HEIGHT AND POSITION OF POLES AND NETTING ACCURATELY REPRESENTS THE HEIGHT AND LOCATION OF ADDITION

WALL LEGEND	
	NETTING
	PERIMETER - ROOF
	PERIMETER - WALL
	POLES - WOOD STUDS
MATERIAL & COLOR LEGEND	
SEE SHEET A-4.1	

## PROPOSED EXTERIOR ELEVATIONS



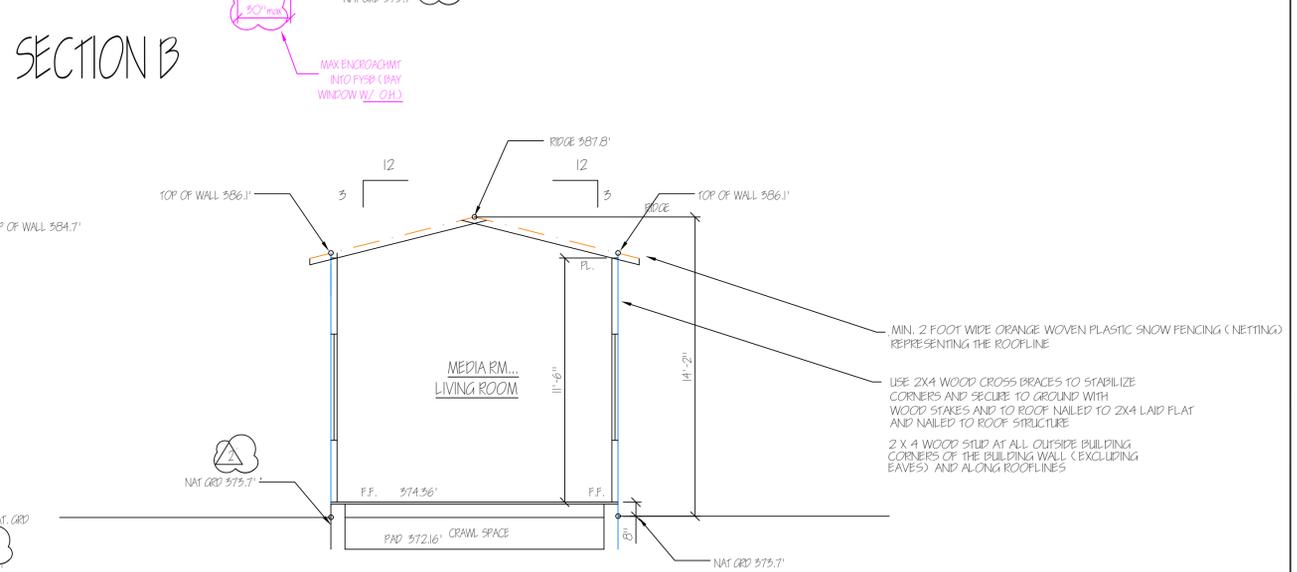
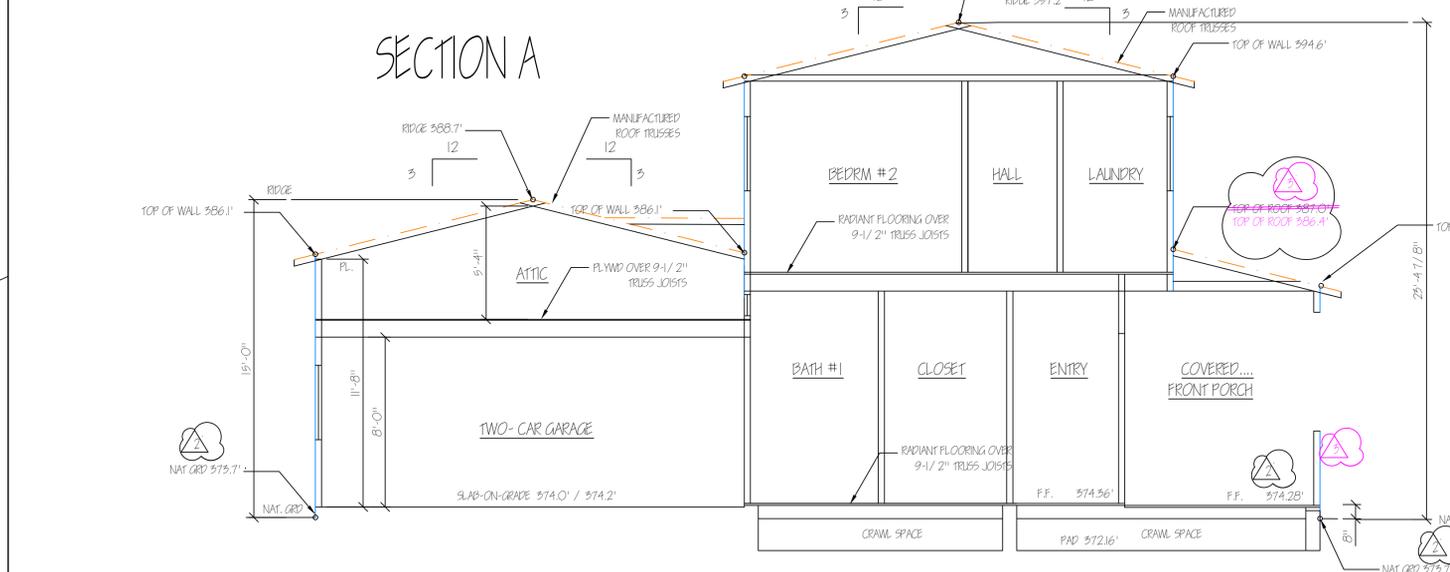


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SECTION A

SECTION B



SECTION C

SECTION D

BUILDING CROSS SECTIONS

SCALE: 1/4"=1'-0"

STORY POLE PLAN — UPDATED 09-08-20

SEE EXTERIOR ELEVATIONS  
SHEETS A-4.1 & A-4.2  
SEE ROOF PLAN SHEET 3.1

MARK & LABEL IN FIVE FOOT  
INCREMENTS MEASURED FROM  
NG / PROP GRD

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TO PROVIDE WRITTEN VERIFICATION THAT HEIGHT  
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REPRESENTS THE HEIGHT AND LOCATION OF ADDITION

**LEGEND**

- NETTING
- PERIMETER - ROOF
- PERIMETER - WALL
- POLES - WOOD STUDS (SEE SHIT A-3.1)

REVISION	BY
REVIEW 02-19-20	SP
REVIEW 06-10-20	SP
STORY POLE PLAN 07-17-20	SP
REVISION 08-20-20	SP
 <b>SANDRA PAIM ARCHITECT</b>	
Residential Commercial Historical	
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APN 529-18-046	
NEW CUSTOM HOUSE JAVARA RESIDENCE 16890 ROBERTS ROAD LOS GATOS, CA	
DATE:	09-21-2020
SCALE:	1/4"=1'-0"
DRAWN:	SP
JOB:	JAVARA
SHEET:	CROSS SECTIONS STORY POLE PLAN A-5.1
OF SHEETS:	9

SANTA CLARA FIRE DEPARTMENT - PLAN REVIEW NO. 20 0349

THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA FIRE (CFC) & BUILDING (CBC) CODE, 2016 EDITION, AS ADOPTED BY THE TOWN OF LOS GATOS TOWN CODE (L.G.T.C.), CALIFORNIA CODE OF REGULATIONS (C.C.R.) AND HEALTH & SAFETY CODE.

THE SCOPE OF THIS PROJECT INCLUDES A NEW 3197 SF TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.

1.) REVIEW OF THIS DEVELOPMENT PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSIDERED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

2.) AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED (NEW ONE-FAMILY DWELLING). (SEE NOTE THIS SHEET)

3.) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 39 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS WILL BE PROVIDED AS APPROPRIATE TO THE PROJECT.

4.) WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 905.5.5 AND HEALTH AND SAFETY CODE 13114.7

5. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 909.1.

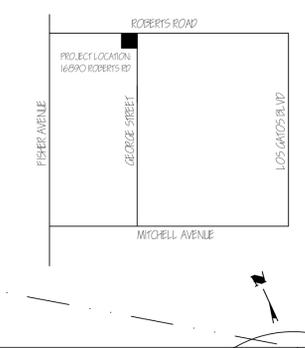
CHANGING ACCESS FROM ROBERTS RD TO GEORGE ST WILL REQUIRE AN ADDRESS CHANGE FOR EMERGENCY RESPONSE. AN ADDRESS CHANGE IS IN PROGRESS.

THIS REVIEW SHALL NOT BE CONSIDERED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THE CALIFORNIA FIRE CODE OR OF OTHER LAWS OR REGULATIONS OF THE JURISDICTION. A PERMIT PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THE FIRE CODE OR OTHER SUCH LAWS OR REGULATIONS SHALL NOT BE VALID. ANY ADDITION TO OR ALTERATION OF APPROVED CONSTRUCTION DOCUMENTS SHALL BE APPROVED IN ADVANCE.

OWNER CONTACT INFORMATION

OWNERS	ANTONY AND TWINKLE JAYARAJ
MAILING ADDRESS	16890 ROBERTS RD, LOS GATOS, CA 95032
EMAIL	AJAYARAJ@GMAIL.COM

VICINITY MAP



PROJECT SCOPE

- DEMO EXISTING SINGLE FAMILY HOME (HPC APPROVED REMOVAL FROM INVENTORY SEPT 2019)
- BUILD NEW TWO STORY HOME WITH ATTACHED GARAGE
- UPGRADE UTILITIES; PROTECT AND MAINTAIN TREES;
- 10' TOWN DEDICATION (ROBERTS RD)
- NEW DRIVEWAY/ CURB CUT; NO GRADING
- SOLAR PANELS ON SOUTH-FACING ROOF
- AUTOMATIC FIRE SPRINKLERS: PER NFPA 13D & LOS GATOS AMENDMENTS

SHEET INDEX

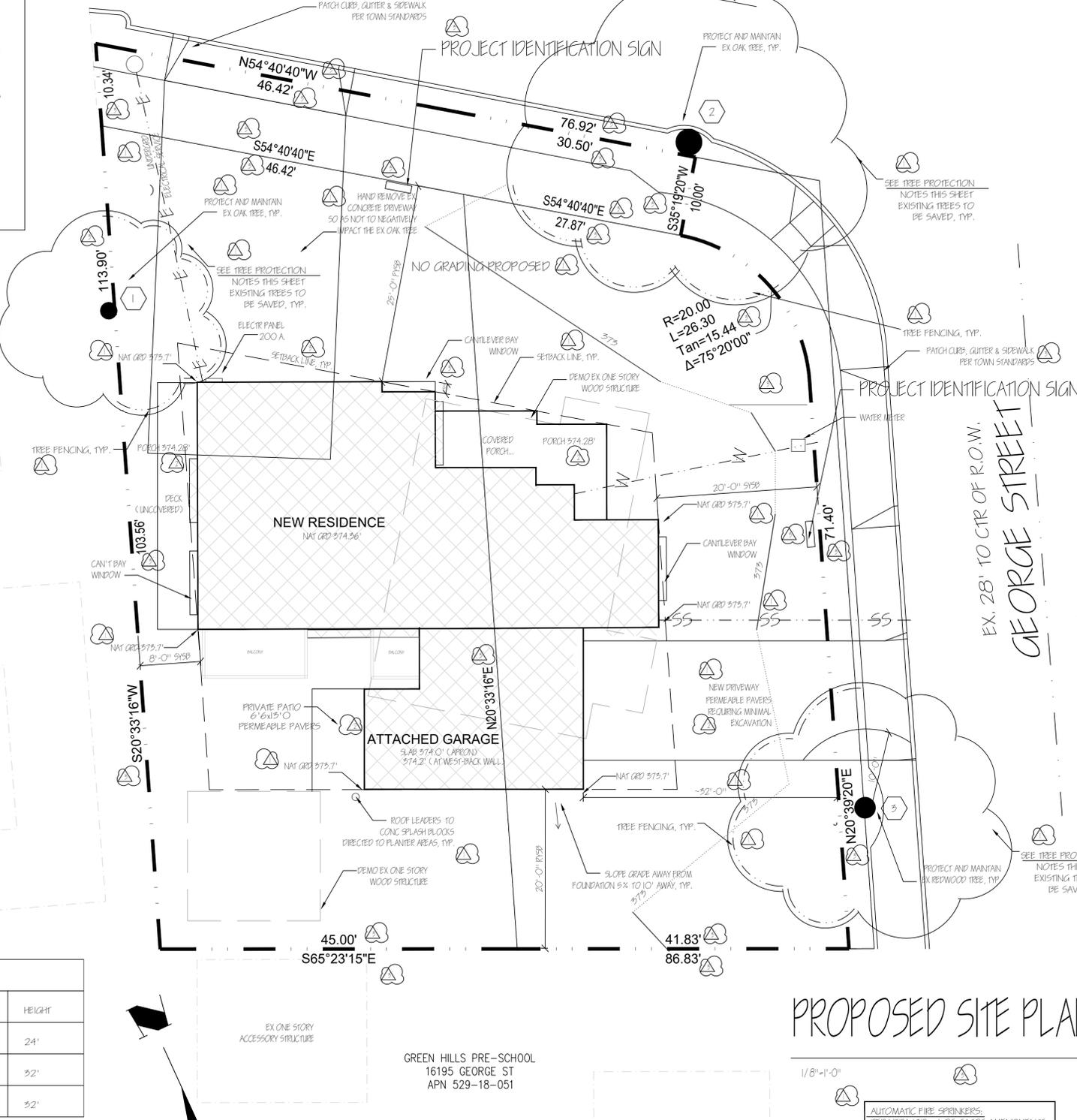
A-1	SITE PLAN, BUILDING & SITE DATA, PROJECT SCOPE, SHEET INDEX, VICINITY MAP, CONTACT INFORMATION, FIRE DEPARTMENT NOTES, TREE TABLE, TREE PROTECTION
A-2.1	PROPOSED FIRST FLOOR PLAN
A-2.2	PROPOSED SECOND FLOOR PLAN
A-3.1	CEILING PLAN; ROOF PLAN
A-4.1	FRONT AND RIGHT ELEVATIONS
A-4.2	REAR AND LEFT ELEVATIONS
A-5.1	BUILDING CROSS SECTIONS
	SHADOW STUDY
	STREETSCAPE AND SITE CROSS SECTIONS

TREE PROTECTION NOTES

- Town of Los Gatos Tree Protection Conditions**
- TREE FENCING.** Protective tree fencing shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection fencing plan with the construction plans. Tree fencing should be established at least 24 inches from existing hardware, and placed no further than 60 inches from the existing structure. The fencing should consist of five-to six foot high chain link mounted on eight foot tall, two-inch diameter galvanized steel posts that are driven into the ground 24 inches deep and spaced apart no more than approximately ten feet. It must remain intact and maintained throughout construction, and only removed upon completion of construction and final inspection.
    - Pursuant to Section 20.1005(A)(4) of the Town Code, 8.5-by 11-inch warning signs shall be affixed and prominently displayed on each side of the fencing opposite the "tree" trunks. "WARNING- Tree Protection Zone- this fence shall not be removed and is subject to penalty according to Town Code 20.1005." These signs should be affixed prior to commencing demolition.
  - The posts should be placed at least 10 feet from the trunk, minimized in diameter and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected through the process (in the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated).
  - All utilities and services (e.g. storm drain, area drain, joint trenches, electrical, water, sewer, fiber optic, gas, etc) should be routed beyond the tree protection zone (TPZ). In the event this is not feasible, the location and proximity to the tree's trunk would dictate which of the following methods can offer sufficient mitigation: hand digging, a pneumatic air device or directional boring. For directional boring, the ground above any tunnel must remain undisturbed, and access pits and any infrastructure (e.g. splice boxes, meters and vaults) established beyond the TPZ.
  - Any future pathway or other landscape features established within a TPZ should be a raised or no-dig design with a vertical soil core of no more than 2 to 3 inches (including for base material, edging and forms); or where there are large surface roots (e.g. greater or equal to 2 inches in diameter), then on top of (i.e. raised above) the roots. Additionally, compaction of the soil surface or subgrade must be avoided (foot tamping is acceptable), and soil fill to bevel the top of walk or drive to existing grade should be confined to 24 inches beyond the edge, and be at least 24 inches from the tree's trunk.
  - Where beneath a tree's canopy, over excavation, compaction, grading, trenching, and other soil disturbance beyond any approved curb, gutter, pavement, wall, building foundation or driveway should be confined to 12 inches.
  - Staging areas and routes of access should be planned beyond tree canopies.
  - Preventative measures shall be implemented to avoid soil eroding or being spread/dropped downhill beneath a tree's canopy.
  - Spills created during digging should not be piled or spread on unpaved ground within the TPZ, rather they should be temporarily piled on plywood or a tarp.
  - The limits of grading should be staked upon completion of demolition and prior to any soil cut, fill or compaction (the protection fencing may also need to be modified at this stage to protect tree roots).
  - Great care must be taken during demolition of existing hardscape, curb/gutters, stanzas, walkways, walls, sheds, foundations, fences, planter boxes, mowblades, etc. within a TPZ to avoid excavating into roots and existing grade. Also, equipment used during the process must not operate or travel on a newly exposed soil surface.
  - Tree trunks must not be used as winch supports for moving or lifting heavy loads.
  - Fill and debris covering root collars should be cleared to minimize the risk of harmful organisms rotting healthy tissue. This work involves manually clearing soil to expose the root collar, work that must be carefully performed to avoid damaging the trunk and roots during the process.
  - Dust accumulating on trunks and canopies during dry weather periods should be periodically washed away (e.g. every month or two).
  - The disposal of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZ. Herbicides should not be used with a TPZ, where used on site, they should be labeled for safe use near trees.
  - The landscape design should conform to the following additional guidelines:
    - Plant material installed beneath the canopies of oaks must be drought-tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunk.
    - Irrigation can, overhead, adversely impact the oaks and should be avoided. Irrigation for any new plant material beneath an oak's canopy should be low volume, applied irregularly (such as only once or twice per week), and temporary (such as no more than three years).
    - Irrigation should not be applied within five feet from the oak trunks, or within six inches from the trunks of all other trees (existing and proposed).
    - Irrigation and lighting features (e.g. main line, lateral lines, valve boxes, wiring and controllers) should be established so that no trenching occurs within a TPZ. In the event this is not feasible, they may require being installed in a radial direction to a tree's trunk, and terminate a specific distance from a trunk across grass (if). Should this not be possible, the work may need to be performed using a pneumatic air device to avoid root damage.
    - Ground cover beneath canopies should be comprised of a three- to four-inch layer of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should not be placed against the tree trunk.

**TREE TABLE**

SYMBOL	TRUNK SIZE	TYPE	DIAPHRAGM	HEIGHT
1	24" DIA	EX. OAK TREE	24'	24'
2	32" DIA	EX. OAK TREE	40'	32'
3	32" DIA	EX. OAK TREE	32'	32'



BUILDING & LOT AREAS

LOT AREA	8964 SF.					
GROSS AREA	796 SF.					
10' DEDICATION	8208 SF.					
NET AREA	8208 SF.					
<b>IMPERVIOUS COVERAGE ... SF.</b>						
	STRUCT. COV.	COVERED PATIO	P.W.	PATIO	WALK	TOTAL
EXISTING	1104 + 300 + 50	+0	1000	200	75	2179
PROPOSED	1406.8 + 507 + 191	A60	400	100		3064.8
<b>STRUCTURAL COVERAGE ... SF.</b>						
	STRUCT. COV.	COVERED PATIO	BALCONIES TOTAL			
EXISTING	1104 + 300 + 50	+0	1454			
PROPOSED	1406.8 + 507 + 191	+129.4	2254.2			
ALLOWED	2585.2	2254.2	40%			
<b>BUILDING AREAS ... SF.</b>						
	TOTAL (GROSS)					
FIRST FLOOR	1406.8				1406.8	
SECOND FLOOR	1250				1250	
SUB TOTAL					2656.8	
<b>GARAGE</b>						
	TOTAL					
	507					
MAX ALLOWABLE HOUSE F.A.R. - 2662 SF						
MAX ALLOWABLE GARAGE F.A.R. - 747 SF						
MAX LOT COVERAGE ALLOWED: 40% OF NET LOT AREA - 3285.2 SF						
PROPOSED SITE COVERAGE - 2254.2 SF - 27.2%						

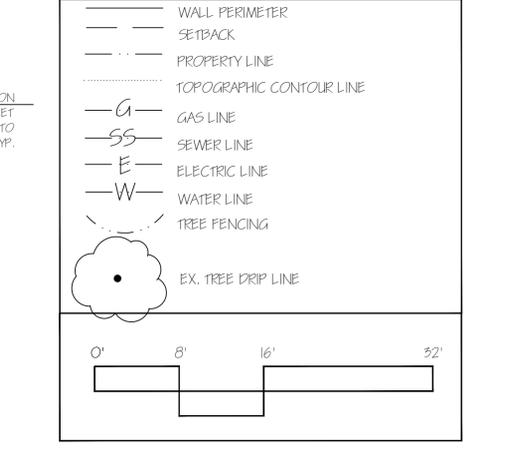
BUILDING & SITE DATA

**GENERAL INFORMATION**  
 EXISTING USE: SINGLE FAMILY RESIDENCE  
 PROPOSED USE: SINGLE FAMILY RESIDENCE  
 AVERAGE SITE SLOPE: 2%  
 ASSESSOR'S PARCEL NUMBER: 529-18-046  
 ZONING DESIGNATION: R-M; 5-12  
 LAND USE: MULTI-FAMILY - MEDIUM DENSITY  
 CONSTRUCTION: TYPE V-B OCCUPANCY CLASS: R-3/ U

APPLICABLE CODES

2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL PLUMBING, ELECTRICAL, ENERGY AND GREEN BUILDING STANDARDS CODES (I.E. 2015 IRC, IBC, UMC, UPC, AND 2014 NEC, AS AMENDED BY THE STATE OF CALIFORNIA AND THE TOWN OF LOS GATOS) UNLESS OTHERWISE NOTED. STRUCTURAL BASED ON THE ASCE 7-10

LEGEND



**SANDRA PAIM ARCHITECT**

Residential Commercial Historical

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Los Gatos, Calif. 95031-2136

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APN 529-18-046

JAYARAJ RESIDENCE  
16890 ROBERTS ROAD  
LOS GATOS, CA 95030

PRELIM SET	X	09-21-20
PL CHK SET		
PRICING SET		
CONSTR SET		

A-1

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3	SP

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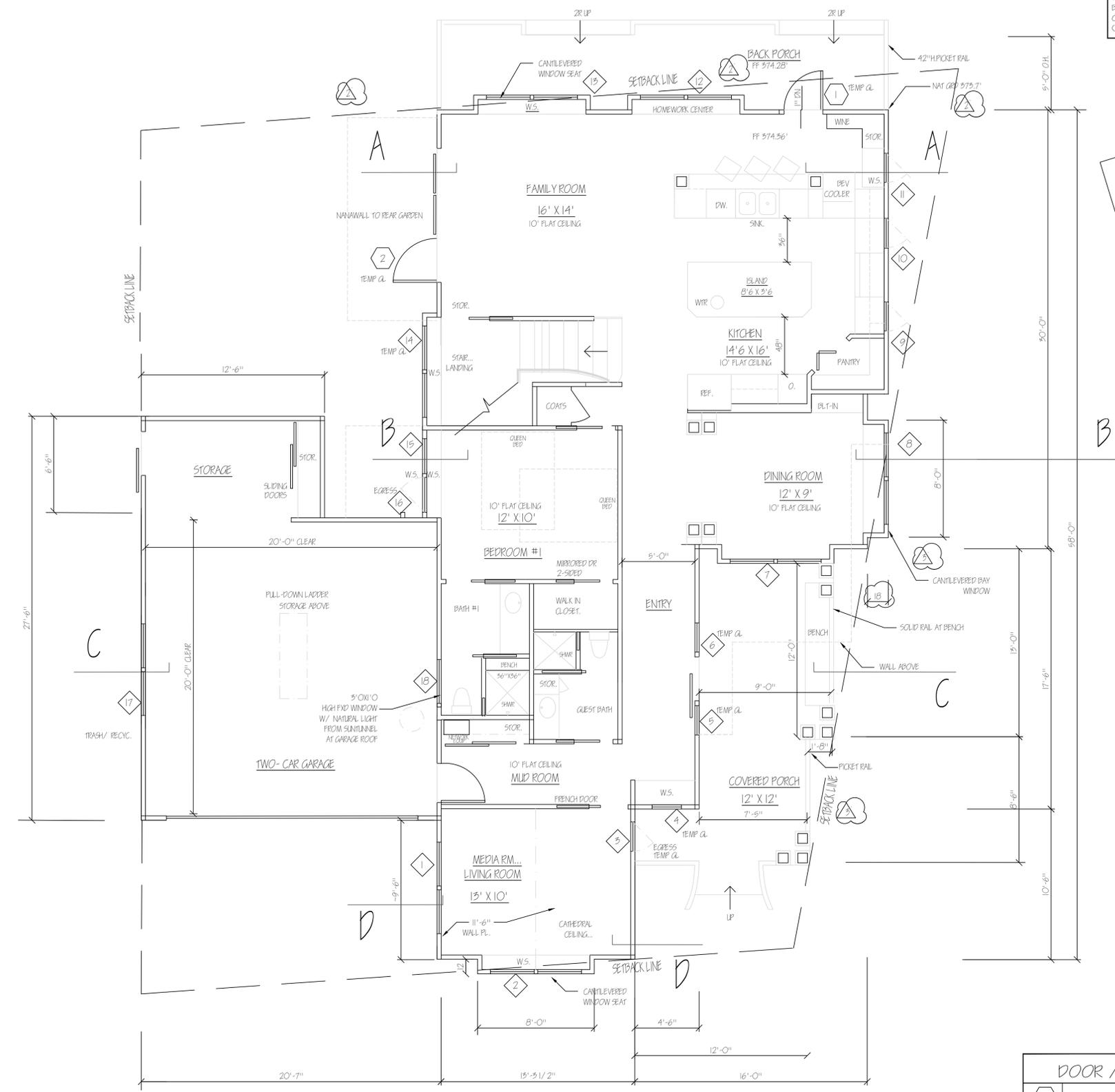
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LOS GATOS, CA

DATE: 04-14-2020  
SCALE: 1/4"=1'-0"  
DRAWN: SAP  
JOB: JAVARA  
SHEET:  
A-21  
OF SHEETS



PRELIMINARY  
NOT FOR CONSTRUCTION

PROPOSED FIRST FLOOR PLAN



SEE SHEET A-6

DOOR / WINDOW LEGEND	
(X)	DOOR SYMBOL
(X)	WINDOW SYMBOL

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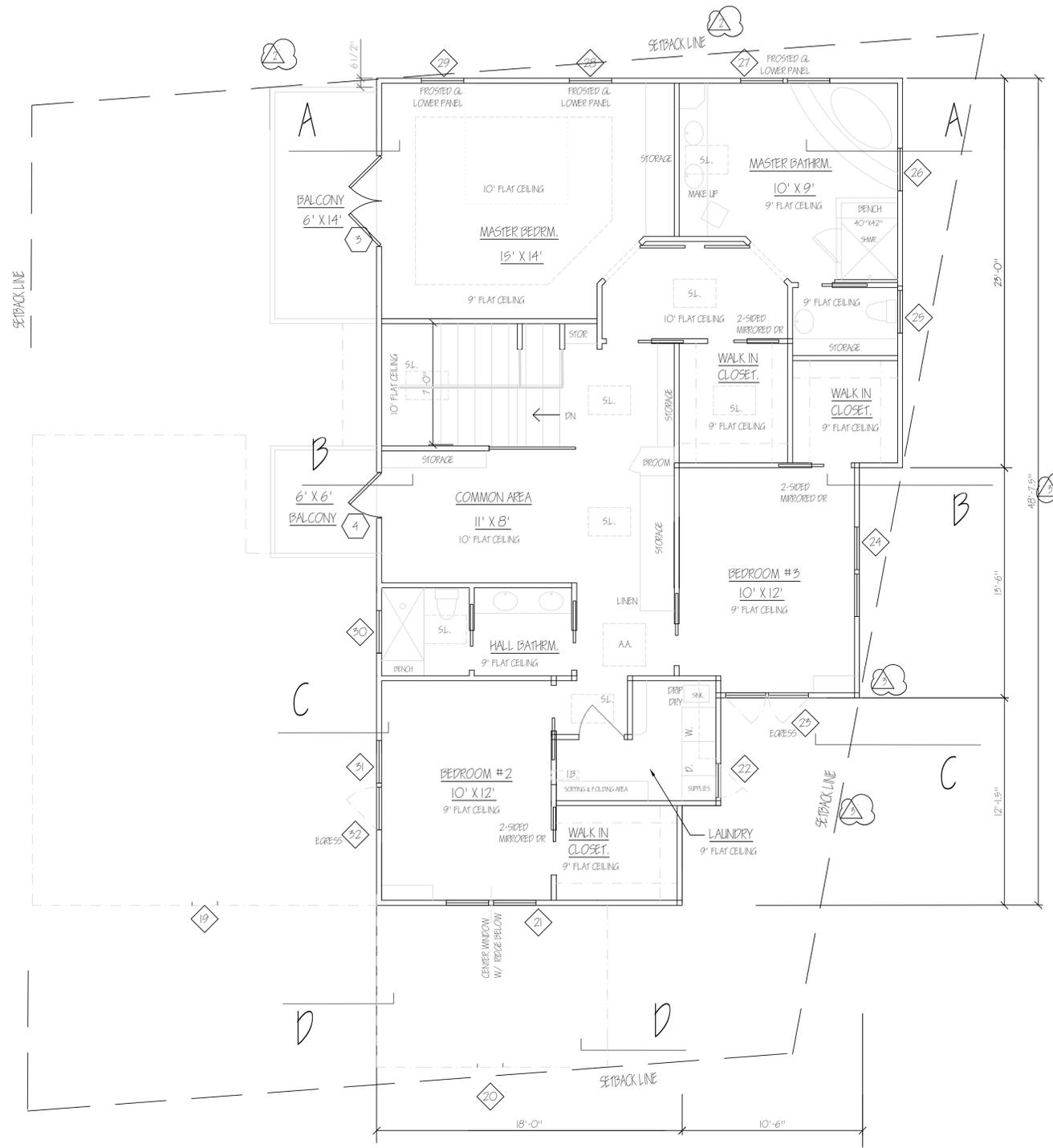
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SHEET:  
A-2.2  
OF SHEETS



PRELIMINARY  
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PROPOSED SECOND FLOOR PLAN



SEE SHIT. A-6

**DOOR / WINDOW LEGEND**

(X)	DOOR SYMBOL
(X)	WINDOW SYMBOL

0' 4' 8' 16'

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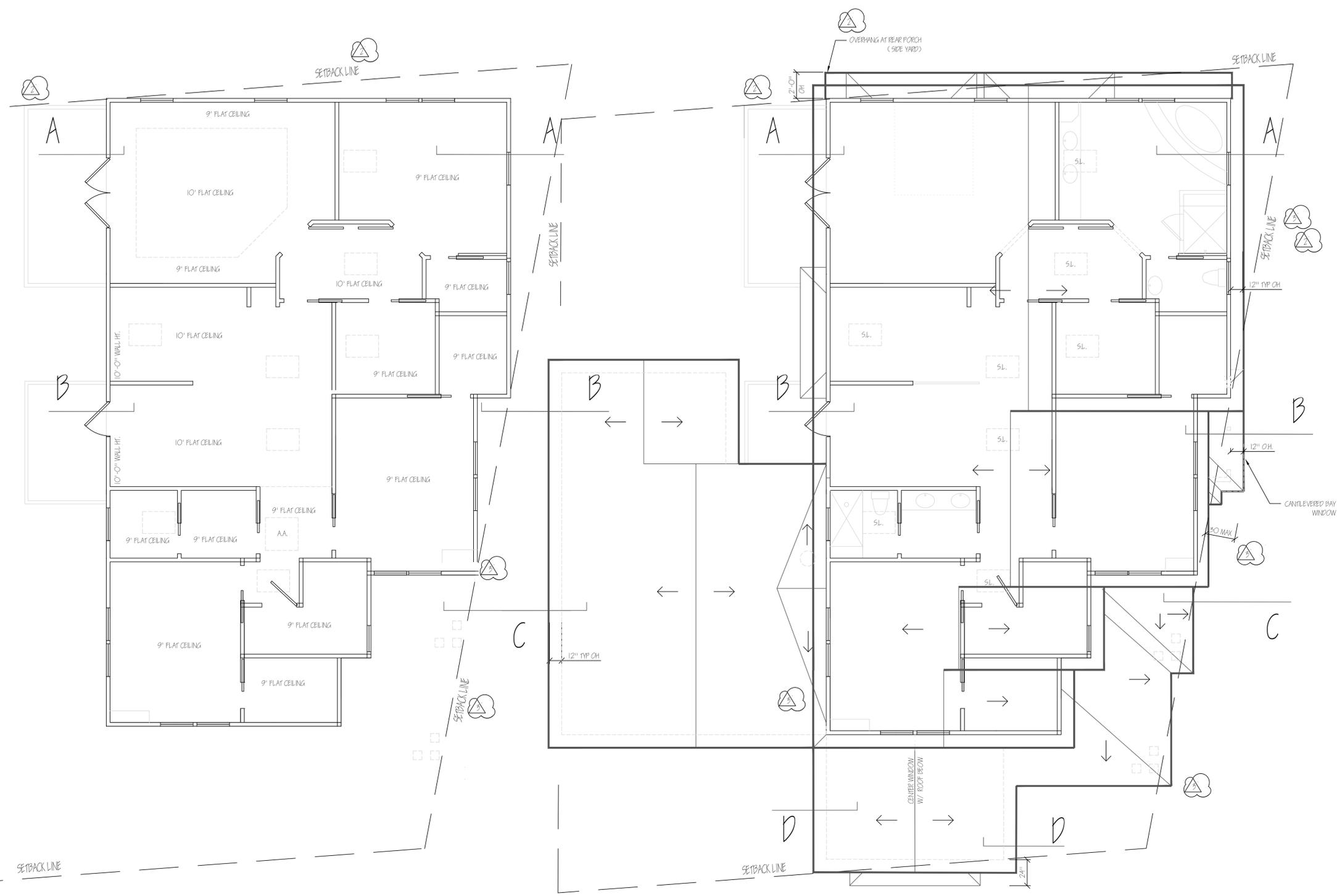
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SHEET:  
A-3.1  
OF SHEETS



PROPOSED CEILING PLAN

PROPOSED ROOF PLAN

PRELIMINARY  
NOT FOR CONSTRUCTION

