

July 24, 2020

Mr. Sean Mullin
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 55 Rogers Street

Dear Sean:

I reviewed the drawings, evaluated the site context and prepared a review letter on this project in April 2017. My comments and recommendations on this revised design are as follows:

NEIGHBORHOOD CONTEXT

The site is located near the end of a dead end road serving several single family homes of varying age and size. Photographs of the site are shown on the following page.





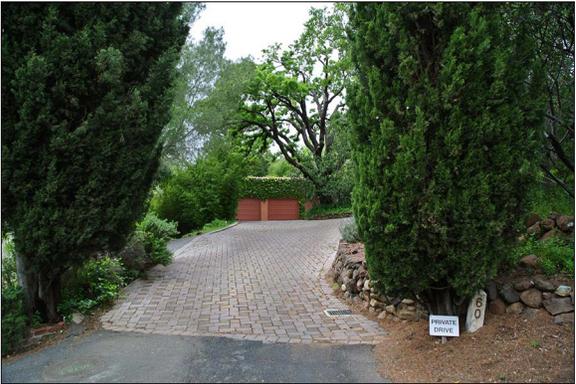
View to the Site



House across Rogers Street



House to the immediate left



View to entry drive and garage to the immediate right



Nearby House to the left



View down Rogers Street



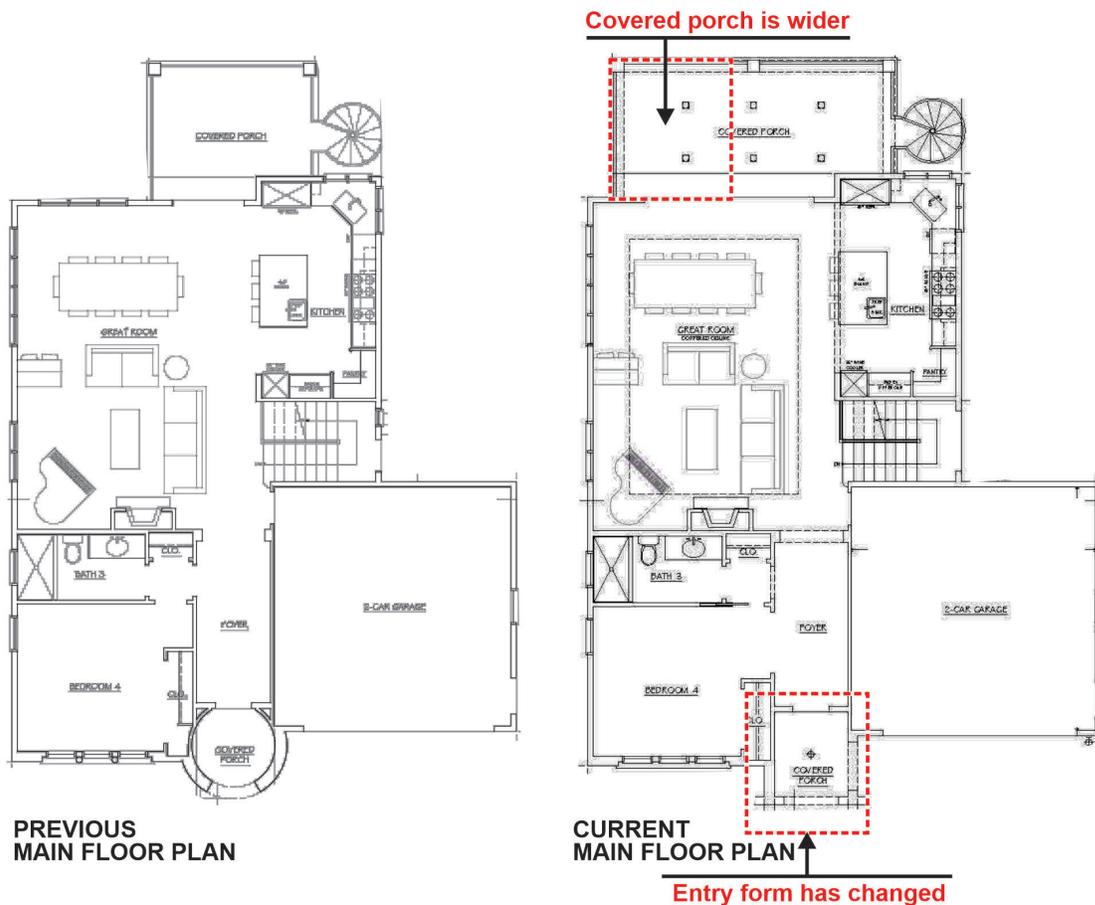
Nearby House to the left

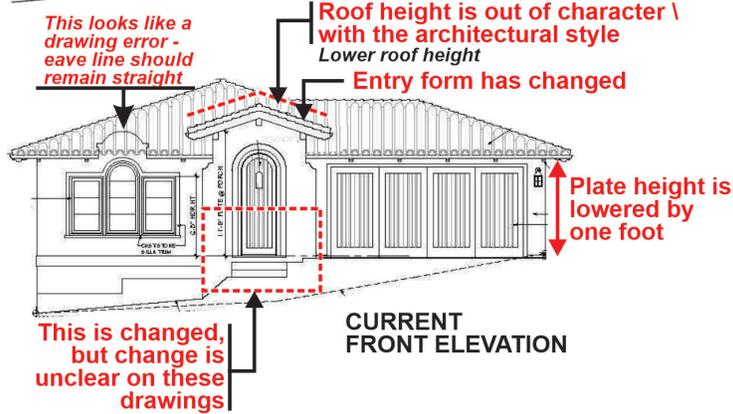
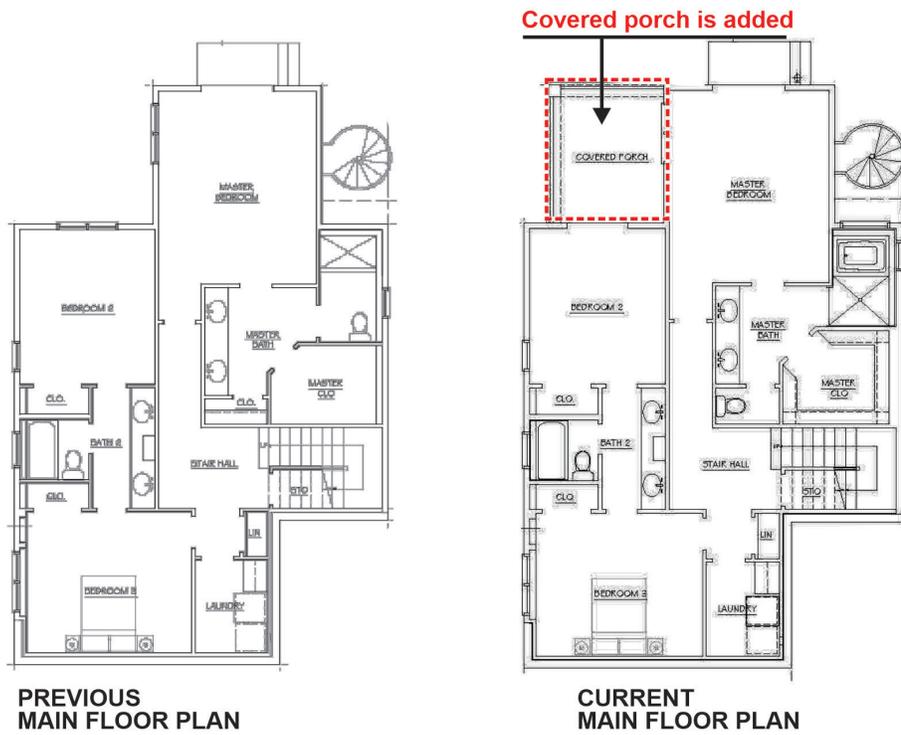


Nearby House to the left

CONCERNS AND RECOMMENDATIONS

The proposed house is modest in size and scale with a recognizable traditional residential style with consistent details. The plans and elevations are largely the same as the home that I reviewed in April 2017. Some of the changes are suitable to the home style, but a few are not. The previous and current floor plans and elevations are shown in the illustrations below.

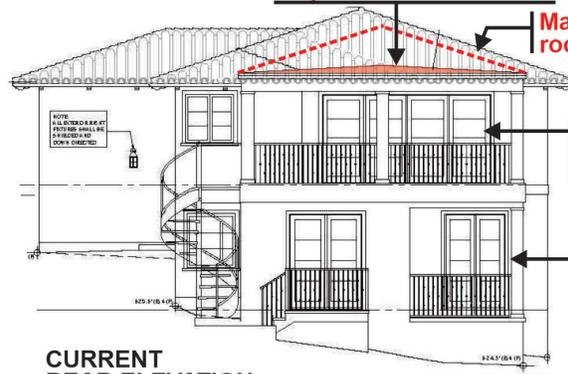






PREVIOUS
REAR ELEVATION

Appears that porch roof slope has been flattened



CURRENT
REAR ELEVATION

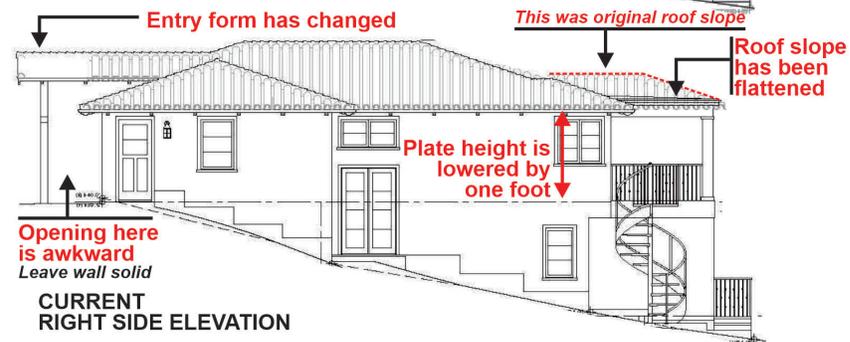
Match main roof slope

Covered porch is wider

Covered porch is added



PREVIOUS
RIGHT SIDE ELEVATION



CURRENT
RIGHT SIDE ELEVATION

Entry form has changed

This was original roof slope

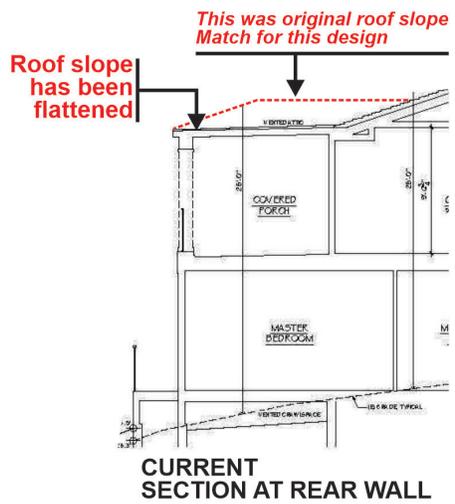
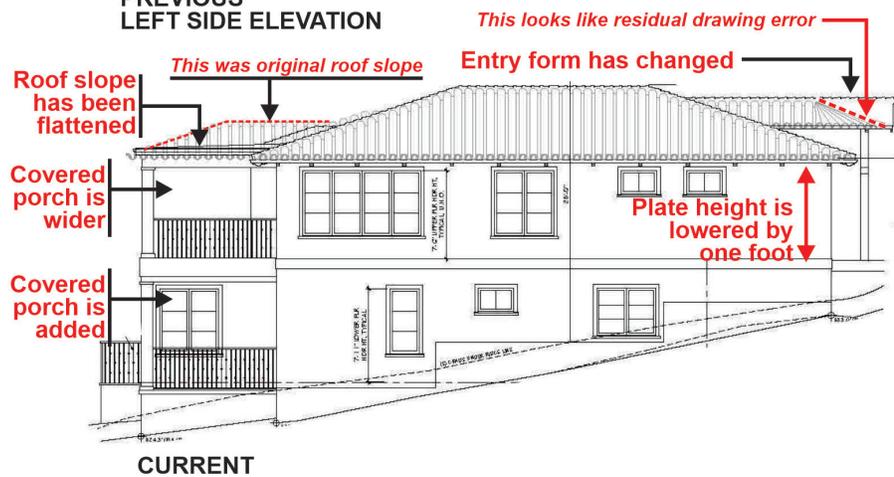
Roof slope has been flattened

Plate height is lowered by one foot

Opening here is awkward
Leave wall solid



**PREVIOUS
LEFT SIDE ELEVATION**



CHANGES SUMMARY AND RECOMMENDATIONS

1. The entry form has been changed.

Comments: The form change is consistent with the architectural style, but the open side wall adjacent to the garage is not. The height of the roof, however, is too high.

Recommendations: Maintain solid walls on the sides of the projecting entry form, and lower the roof height.

2. The entry condition immediately in front of the entry has changed.

Comments: There is not enough information in the submitted drawings to understand the change.

Recommendations: Request more information to allow a better understanding of the change.

3. The covered porch off of the Great Room on the main floor level is wider.

Comments: The change is consistent with the architectural style.

Recommendations: None.

4. A covered porch off of Bedroom 2 on the lower floor level has been added.

Comments: The change is consistent with the architectural style.

Recommendations: None.

5. The plate height on the main floor has been lowered by one foot.

Comments: The change is consistent with the architectural style.

Recommendations: None.

6. The roof slope over the rear main floor covered porch has been severely flattened from the original design. The change is not readily apparent because the previously proposed roof is still shown on the two side elevations.

Comments: The change is not consistent with the architectural style and Residential Design Guideline 3.5.1.

3.5.1 Unify roof pitches

- Utilize the same slope for all primary roofs.
- Roof slopes for porches may be lower than the primary roof slope, depending on the architectural style.

Recommendations: Modify the porch roof slope to match those of the main roof.

7. The front elevation shows a modified eave line to match the round arch window below.

Comments: This may be a drawing error, but if intended as a change, it would not be consistent with the architectural style.

Recommendations: Maintain the flat eave line as shown on the previous design.

Sean, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP



Larry L. Cannon