

REVISIONS	
A.	8/20/20
B.	9/17/20

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. "L" • LOS GATOS, CA • 95030 • (408) 395-2555



The Rouleau Residence

A REMODEL AND ADDITION OF:
THE ROULEAU RESIDENCE
17361 E. VINELAND AVE. LOS GATOS, CA. 95030

VICINITY MAP	PROJECT DIRECTORY	PROJECT DATA	SHEET INDEX																																			
	<p>ARCHITECT: KOHLSAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 395-2555</p> <p>CIVIL ENGINEER: HANNA-BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2173</p> <p>SURVEYOR: ALPHA SURVEYING 4444 SCOTTS VALLEY DRIVE, SUITE 6 SCOTTS VALLEY, CA 95066 TEL: (831) 438-4453</p>	<p>PROJECT ADDRESS: 17361 E. VINELAND AVENUE LOS GATOS, CA 95030</p> <p>OWNER: AARON & DANA ROULEAU 15631 LOMA VISTA AVENUE LOS GATOS, CA 95032</p> <p>APN#: 424-28-022</p> <p>ZONING: R-1.5 OCCUPANCY GROUP: R-3/U CONSTRUCTION TYPE: V-B, SPRINKLERED</p> <p>GROSS & NET SITE AREA: 11,043 SF AVERAGE SLOPE: < 5%</p> <p>ALLOWABLE FLOOR AREA: (RESIDENCE) = .85 - (11-5 X .20) = .302 F.A.R. = 3,336 SF</p> <p>ALLOWABLE FLOOR AREA: (GARAGE) = .10 - (11-5) X .07 = .082 F.A.R. = 919 SF</p>	<p>A-1 COVER SHEET</p> <p>A-2 NEIGHBORHOOD PLAN & STREETSCAPES</p> <p>A-3 SITE & LANDSCAPE PLAN</p> <p>C1 CIVIL COVER SHEET</p> <p>C2 BLUEPRINT FOR A CLEAN BAY</p> <p>C3 SURVEY & DEMOLITION PLAN</p> <p>C4 GRADING & DRAINAGE PLAN</p> <p>C5 EROSION CONTROL PLAN</p> <p>A-4 AS-BUILT/DEMO PLANS & ELEVATIONS</p> <p>A-5 PROPOSED FLOOR PLANS</p> <p>A-6 PROPOSED ROOF PLAN</p> <p>A-7 PROPOSED FRONT & LEFT ELEVATIONS</p> <p>A-8 PROPOSED REAR & RIGHT ELEVATIONS</p> <p>A-9 CROSS SECTIONS</p> <p>A-10 SHADOW STUDIES</p>																																			
	<p>SCOPE OF WORK</p> <p>A 2,546 SF ADDITION AND REMODEL TO A SINGLE FAMILY RESIDENCE WHICH INCLUDES 5 BEDROOMS, 4 & 1/2 BATHS, AND A COVERED LOGGIA. ALSO INCLUDED IS THE REMOVAL OF A DETACHED GARAGE, A FILLED IN COVERED PORCH AND OLD ADDITION. TWO TREES WILL BE REMOVED.</p>	<p>FLOOR AREAS:</p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th><DEMO></th> <th>+ADDITION</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR</td> <td>1,024 SF</td> <td>235 SF</td> <td>911 SF</td> <td>1,760 SF</td> </tr> <tr> <td>ENCLOSED PORCH</td> <td>107 SF</td> <td>107 SF</td> <td>0 SF</td> <td>0 SF</td> </tr> <tr> <td>SECOND FLOOR</td> <td>549 SF</td> <td>549 SF</td> <td>1,522 SF</td> <td>1,522 SF</td> </tr> <tr> <td>TOTAL FLOOR AREA</td> <td>1,680 SF</td> <td>891 SF</td> <td>2,546 SF</td> <td>3,232 SF</td> </tr> <tr> <td>DETACHED GARAGE</td> <td>378 SF</td> <td>378 SF</td> <td>0 SF</td> <td>0 SF</td> </tr> <tr> <td>SHED</td> <td>200 SF</td> <td>200 SF</td> <td>0 SF</td> <td>0 SF</td> </tr> </tbody> </table>			EXISTING	<DEMO>	+ADDITION	PROPOSED	MAIN FLOOR	1,024 SF	235 SF	911 SF	1,760 SF	ENCLOSED PORCH	107 SF	107 SF	0 SF	0 SF	SECOND FLOOR	549 SF	549 SF	1,522 SF	1,522 SF	TOTAL FLOOR AREA	1,680 SF	891 SF	2,546 SF	3,232 SF	DETACHED GARAGE	378 SF	378 SF	0 SF	0 SF	SHED	200 SF	200 SF	0 SF	0 SF
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COVER SHEET

DATE: 7/14/20

SCALE: AS SHOWN

SHEET

A-1

1 OF -



17381



17371



PROPOSED RESIDENCE



17351



17341



Existing Left Side



Existing Front View



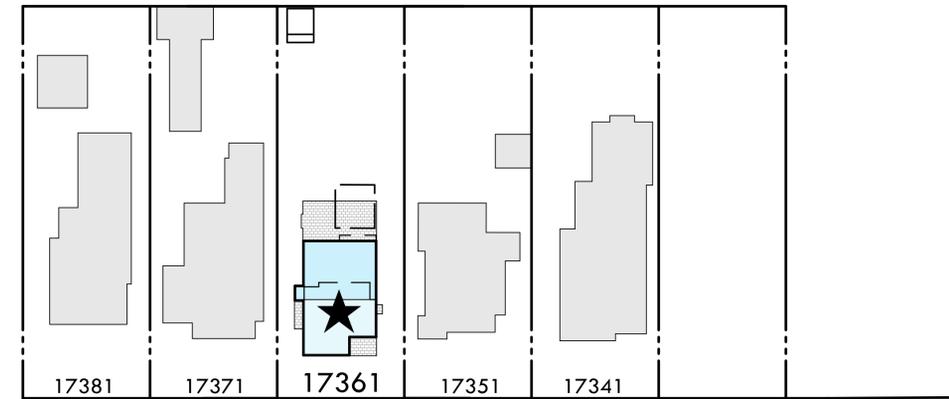
Existing Rear Yard



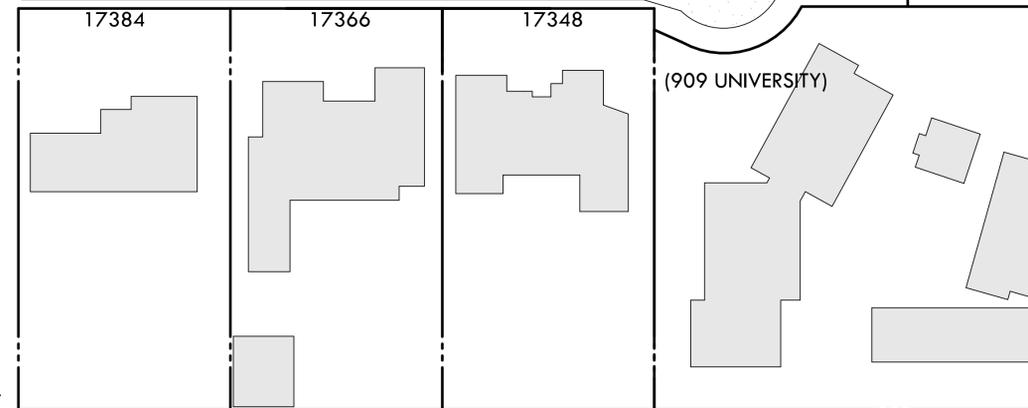
Existing Rear View



Existing Right Side



E. VINELAND AVENUE



NEIGHBORHOOD PLAN

SCALE: 1" = 40'



17384



17366



17348



909 University

NEIGHBORHOOD PLAN & STREETSCAPES

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NEIGHBORHOOD PLAN & STREETSCAPES
S

DATE: 7/14/20

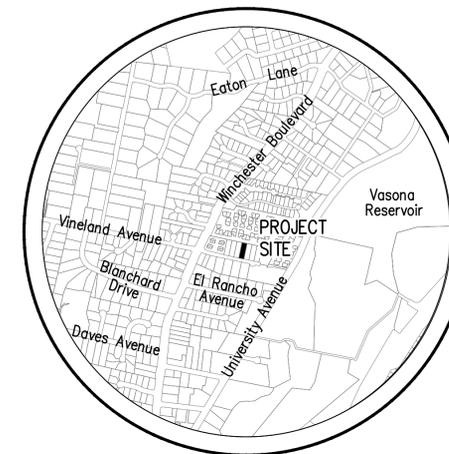
SCALE: AS SHOWN

SHEET

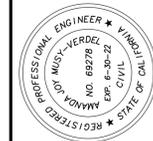
A-2

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PLAN FOR THE IMPROVEMENT OF ARCHITECTURAL & SITE PLAN TOWN OF LOS GATOS [APPLICATION TYPE] APPLICATION NO. [- - -]



VICINITY MAP



DATE: AUGUST 20, 2020
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 20035

LANDS OF ROULEAU - 17361 EAST VINELAND AVENUE
APN 424-28-022
COVER SHEET
[APPLICATION TYPE] APPLICATION NO. [- - -]

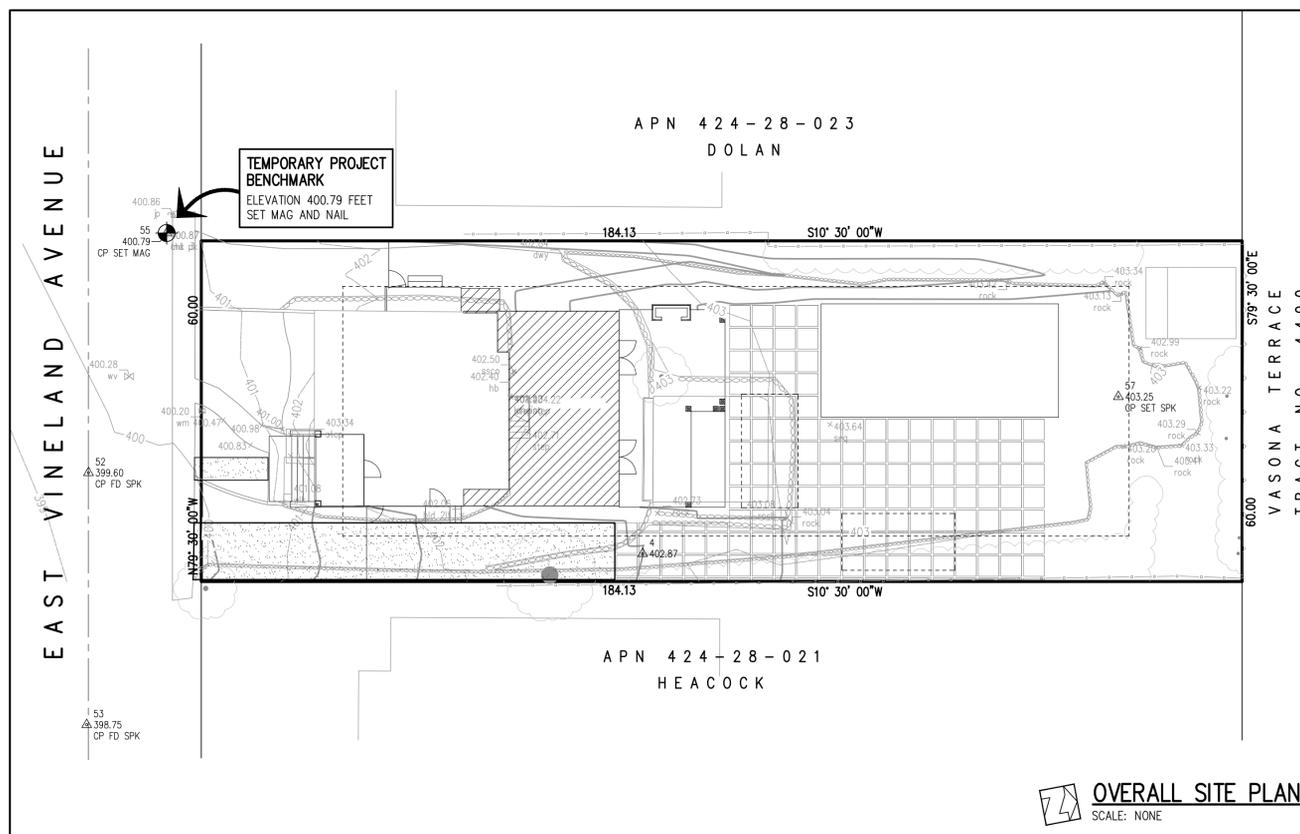
HANNA-BRUNETTI
EST. 1986
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EAGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3862
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE	BY	REVISIONS

SHEET 1 OF 5

TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
 - THESE PLANS AND DETAILS.
 - RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER
REFERENCE REPORT NO. _____ DATED _____
LETTER NO. _____ DATED _____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
- DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR: _____ PHONE: _____
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.



OVERALL SITE PLAN
SCALE: NONE

SHEET INDEX

- COVER SHEET
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- GRADING & DRAINAGE PLAN
- EROSION CONTROL PLAN

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

FLOODZONE STATEMENT

COMMUNITY PANEL NUMBER: 06085C0376H
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE X

ZONE X

AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BENCHMARK

BENCHMARK ID: LG#20
ORGANIZATION: TOWN OF LOS GATOS
ELEVATION: 325.68 FEET

DESCRIPTION:
±270 FEET NORTH OF VASONA OAKS DRIVE ON UNIVERSITY AVENUE

BASIS OF BEARINGS

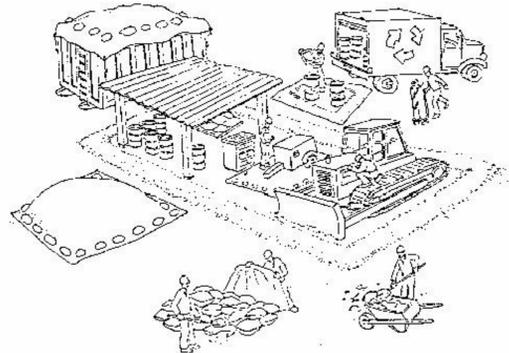
BEARINGS ARE BASED UPON THE CENTERLINE OF EAST VINELAND AVENUE AS SHOWN ON THAT MAP FILED IN BOOK 533 OF MAPS AT PAGE 20, SANTA CLARA COUNTY RECORDS AND ESTABLISHED BETWEEN FOUND MONUMENTS WITH A BEARING OF NORTH 79° 30' WEST.

ABBREVIATIONS					
AB	AGGREGATE BASE	GA	GAUGE	R/W	RIGHT-OF-WAY
AC	ASPHALT CONCRETE	GB	GRADE BREAK	(S)	SOUTH
AD	AREA DRAIN	GM	GAS METER	S	SLOPE
ARV	AIR RELEASE VALVE	GS	GAS SERVICE	SCC	SANTA CLARA COUNTY
BC	BACK OF CURB	HDPE	HIGH-DENSITY POLYETHYLENE	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
BFP	BACKFLOW PREVENTER	HP	HIP POINT	SD	STORM DRAIN
BW	BOTTOM OF WALL	IEE	INGRESS/EGRESS EASEMENT	SDCO	STORM DRAIN CLEANOUT
CATV	CABLE TELEVISION	IN	INCH	SDE	STORM DRAIN EASEMENT
CB	CATCH BASIN	INV	INVERT ELEVATION	SDMH	STORM DRAIN MANHOLE
CFS	CUBIC FEET PER SECOND	LAT	LATERAL	SDR	STANDARD DIMENSION RATIO
C/L	CENTERLINE	LG	LIP OF GUTTER	SF	SQUARE FEET
CMP	CORRUGATED METAL PIPE	LP	LOW POINT	SJWC	SAN JOSE WATER COMPANY
CO	CLEANOUT	MAX	MAXIMUM	SS	SANITARY SEWER
CY	CUBIC YARD	MH	MANHOLE	SSCO	SANITARY SEWER CLEANOUT
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MIN	MINIMUM	SSE	SANITARY SEWER EASEMENT
DI	DROP INLET	MPH	MILES PER HOUR	SSMH	SANITARY SEWER MANHOLE
DIA	DIAMETER	(N)	NORTH	STD	STANDARD
DIP	DUCTILE IRON PIPE	N.T.S.	NOT TO SCALE	S/W	SIDEWALK
EW	DRIVEWAY	O.C.	ON CENTER	TC	TOP OF CURB
(E)	EAST	O.D.	OUTSIDE DIAMETER	TELE	TELEPHONE
EG	EXISTING GRADE	PAD	PAD ELEVATION	TLG	TOWN OF LOS GATOS
ELEC	ELECTRICAL	PCC	PORTLAND CEMENT CONCRETE	TW	TOP OF WALL
EP	EDGE OF PATH	PERF	PERFORATED	TYP	TYPICAL
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PG&E	PACIFIC GAS & ELECTRIC COMPANY	VCP	VITRIFIED CLAY PIPE
EX	EXISTING	PIEE	PRIVATE INGRESS/EGRESS EASEMENT	(W)	WEST
FC	FACE OF CURB	PL	PROPERTY LINE	W	WATER
FCD	FIRE DEPARTMENT CONNECTION	PR	PROPOSED	WM	WATER METER
FF	FINISHED FLOOR ELEVATION	PSDE	PRIVATE STORM DRAIN EASEMENT	WS	WATER SERVICE
FG	FINISHED GRADE	PSE	PUBLIC SERVICE EASEMENT	WV	WATER VALVE
FH	FIRE HYDRANT	PSSE	PRIVATE SANITARY SEWER EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FL	FLOW LINE	PUE	PUBLIC UTILITY EASEMENT	XING	CROSSING
FM	FORCED MAIN	PVC	POLYVINYL CHLORIDE		
FS	FIRE SERVICE	R	RADIUS		
FT	FEET	RCP	REINFORCED CONCRETE PIPE		
G	GAS	RIM	RIM ELEVATION		

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL MAINTAIN, INSURE, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK, OR DAMAGES, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!



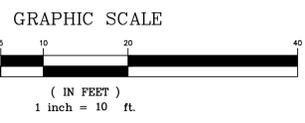
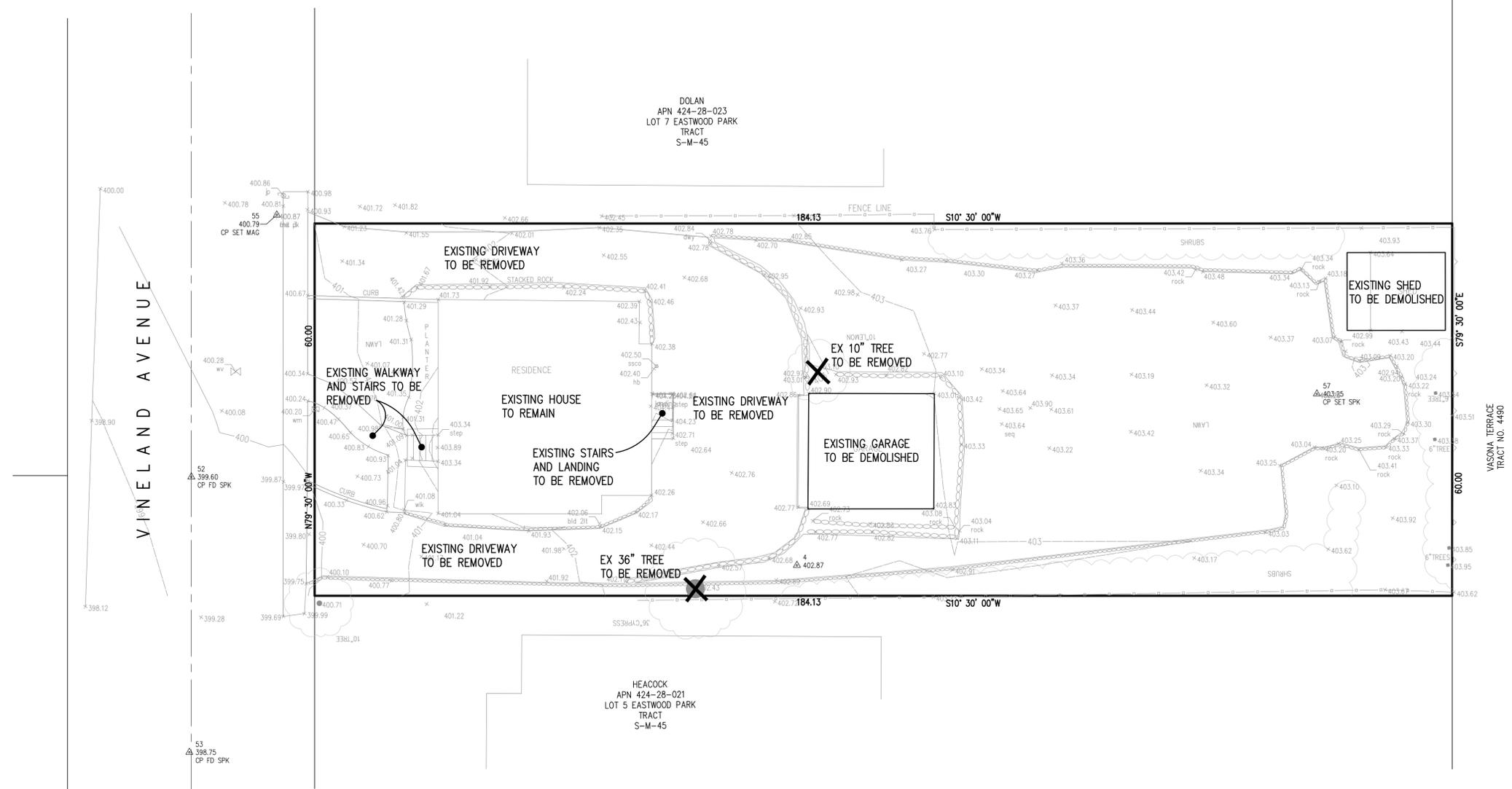
DATE: AUGUST 20, 2020
SCALE: NONE
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 20035

GRADING & DRAINAGE PLANS
LANDS OF ROULEAU - 17361 EAST VINELAND AVENUE
APN 424-28-022
BLUEPRINT FOR A CLEAN BAY
[APPLICATION TYPE] APPLICATION NO. _____
TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
CIVIL ENGINEER - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK OR DAMAGES, INCLUDING THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



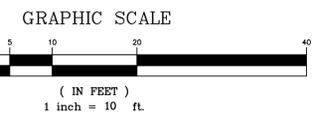
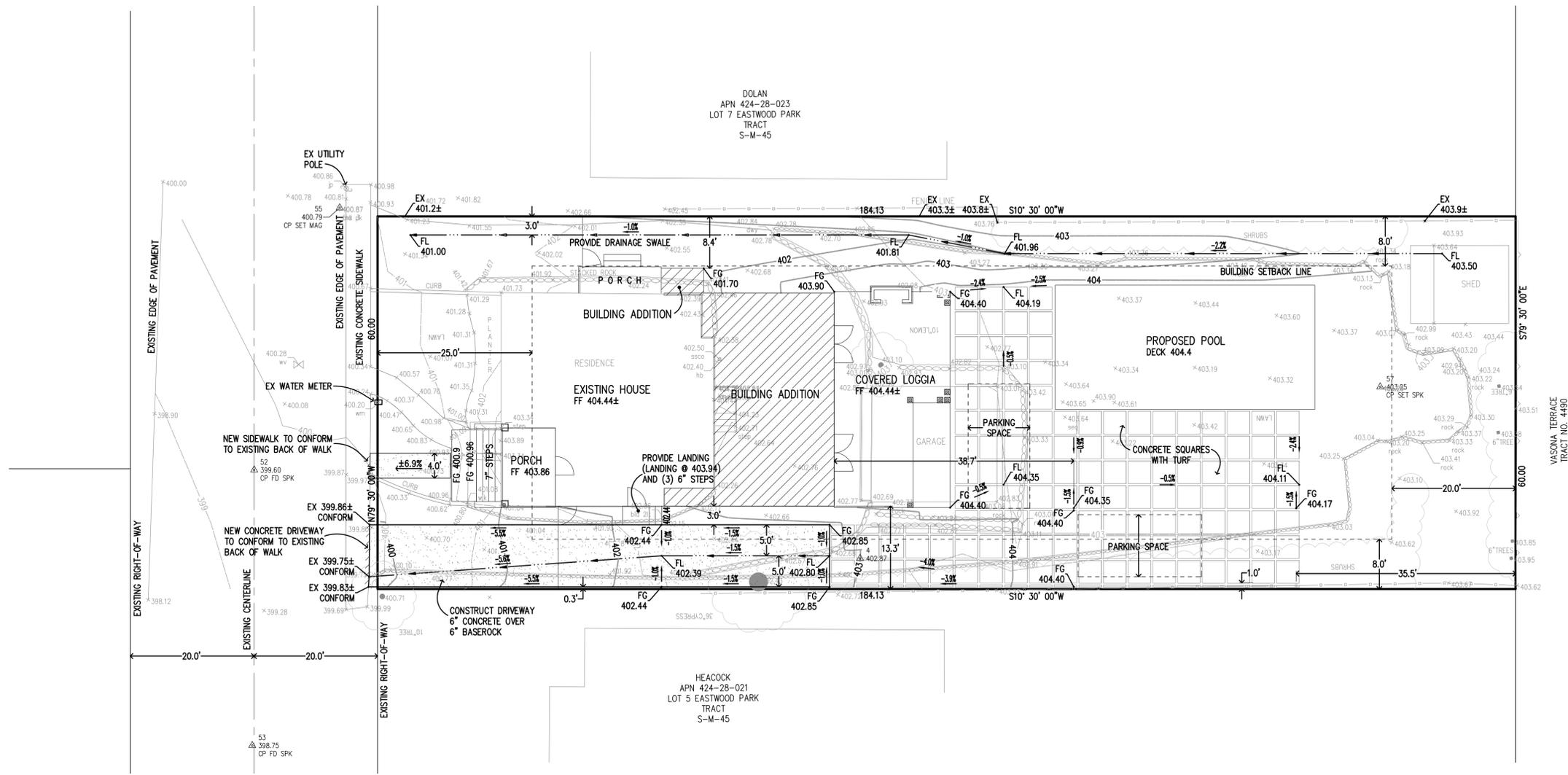
DATE:	AUGUST 20, 2020
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	20035

PLAN FOR THE IMPROVEMENT OF
LANDS OF ROULEAU - 17361 EAST VINELAND AVENUE
 APN 424-28-022
EXISTING TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
(APPLICATION TYPE) APPLICATION NO. L-1-1-1
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
 EST. 1980
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS
 7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
 OFFICE: (408) 842-2173 • FAX: (408) 842-2662
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.



DATE: AUGUST 20, 2020
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 20035

PLAN FOR THE IMPROVEMENT OF
LANDS OF ROULEAU - 17361 EAST VINELAND AVENUE
APN 424-28-022
GRADING & DRAINAGE PLAN
(APPLICATION TYPE)/APPLICATION NO. [---]
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
EST. 1988
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-9662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE

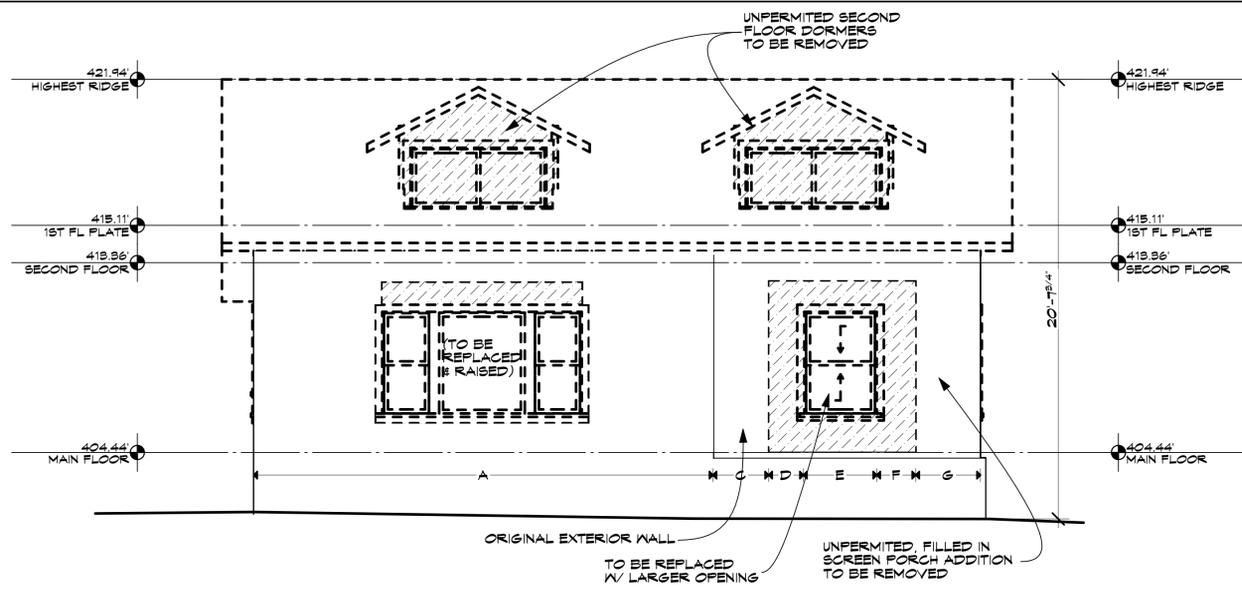
SHEET 4 OF 5

REVISIONS	
A.	8/20/20
B.	9/17/20

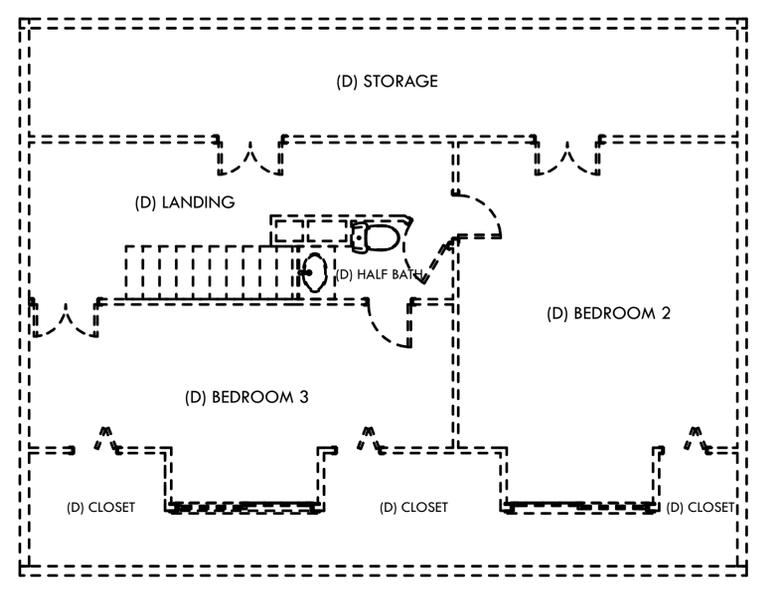
KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. • L.P. • LOS GATOS, CA. • 95030 • (408) 395-2555

A REMODEL AND ADDITION OF:
THE ROULEAU RESIDENCE
17361 E. VINELAND AVE. LOS GATOS, CA. 95030

AS-BUILT/
DEMO PLANS
&
ELEVATIONS
DATE: 7/14/20
SCALE: AS SHOWN
SHEET
A-4
9 OF -

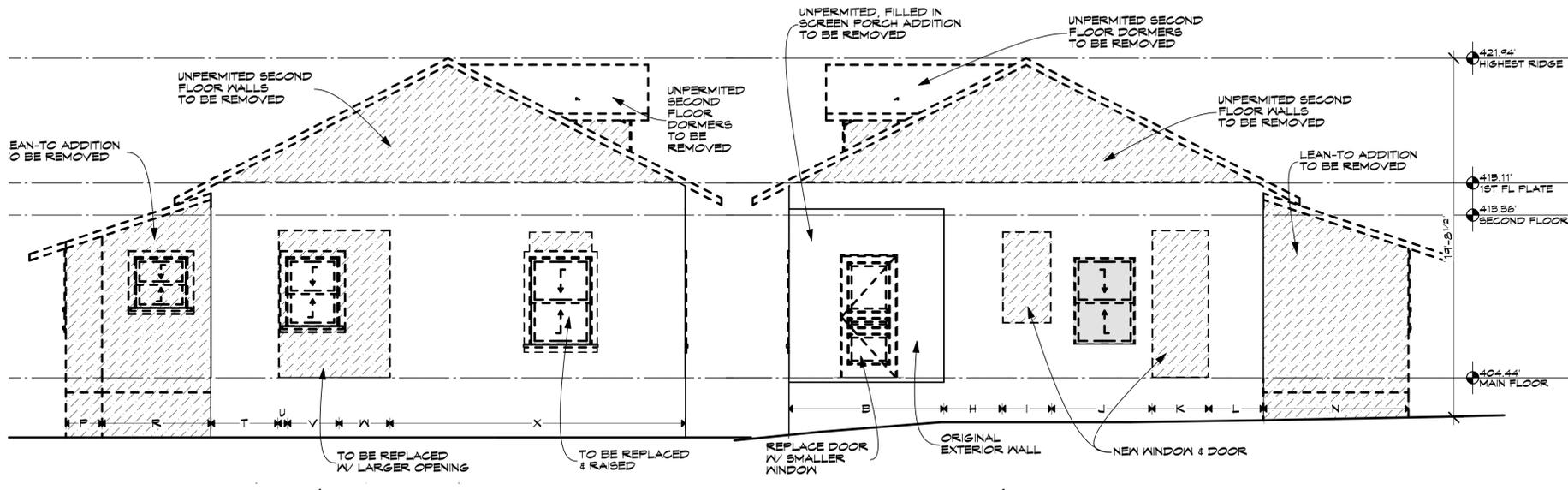


AS-BUILT/DEMO FRONT ELEVATION
SCALE: 1/4" = 1'-0"



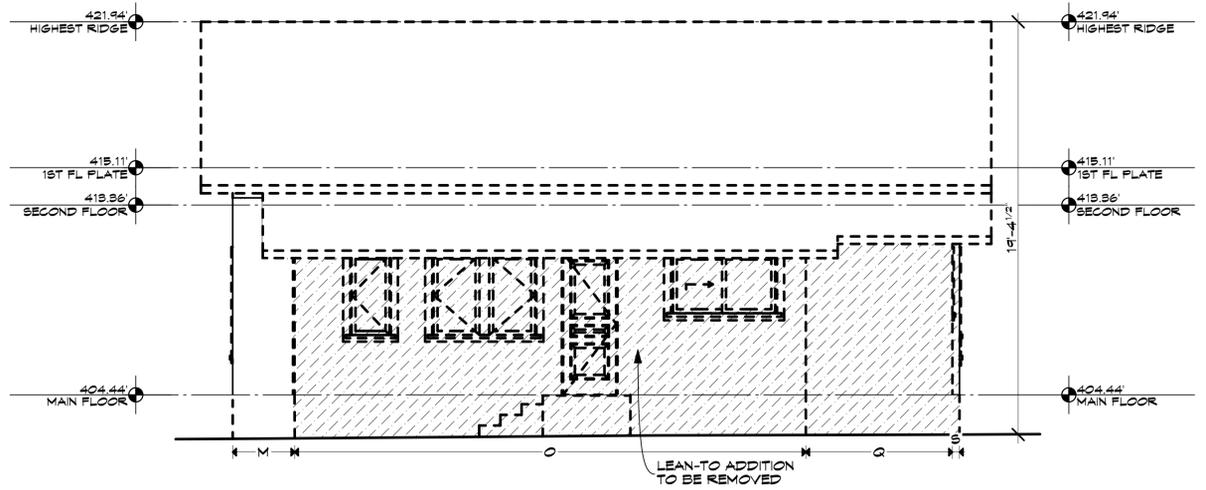
* ENTIRE SECOND FLOOR IS UNPERMITTED & IS NOT INCLUDED IN DEMOLITION CALCULATIONS.

AS-BUILT/DEMO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



AS-BUILT/DEMO LEFT ELEVATION
SCALE: 1/4" = 1'-0"

AS-BUILT/DEMO RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



AS-BUILT/DEMO REAR ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION CALCULATIONS

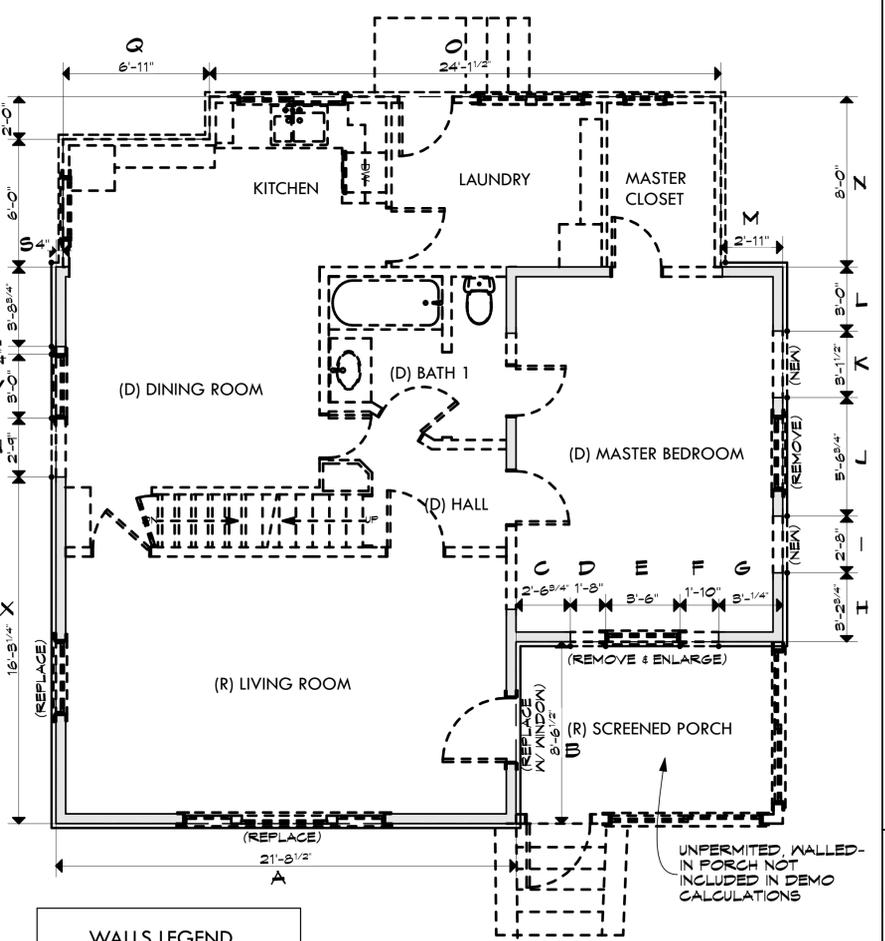
TOTAL WALL LENGTH = 136'-10"

WALLS TO REMAIN	WALLS TO REMOVE
A 21'-8 1/2"	TU 1'-8"
B 8'-6 1/2"	TV 1'-10"
C 2'-6 1/2"	UW 2'-8"
D 3'-6"	VX 3'-1 1/2"
E 3'-1 1/2"	WY 3'-0"
F 3'-2 1/2"	XZ 24'-1 1/2"
G 5'-6 1/2"	YZ 2'-0"
H 2'-0"	ZT 6'-11"
I 2'-11"	TA 6'-0"
J 3'-8 1/2"	UB 4 1/2"
K 3'-0"	VC 2'-9 1/2"
L 16'-3 1/4"	WD 4'
TOTAL = 77'-1 1/2"	TOTAL = 59'-9 1/2"

56.3% > 43.7%

DEMO CALCS LEGEND

- WALL TO REMAIN (INCLUDES REPLACEMENT WINDOWS)
- - - WALL TO BE DEMOLISHED OR NEW OPENING



WALLS LEGEND

—	EXISTING WALLS TO REMAIN
- - -	WALLS TO BE REMOVED

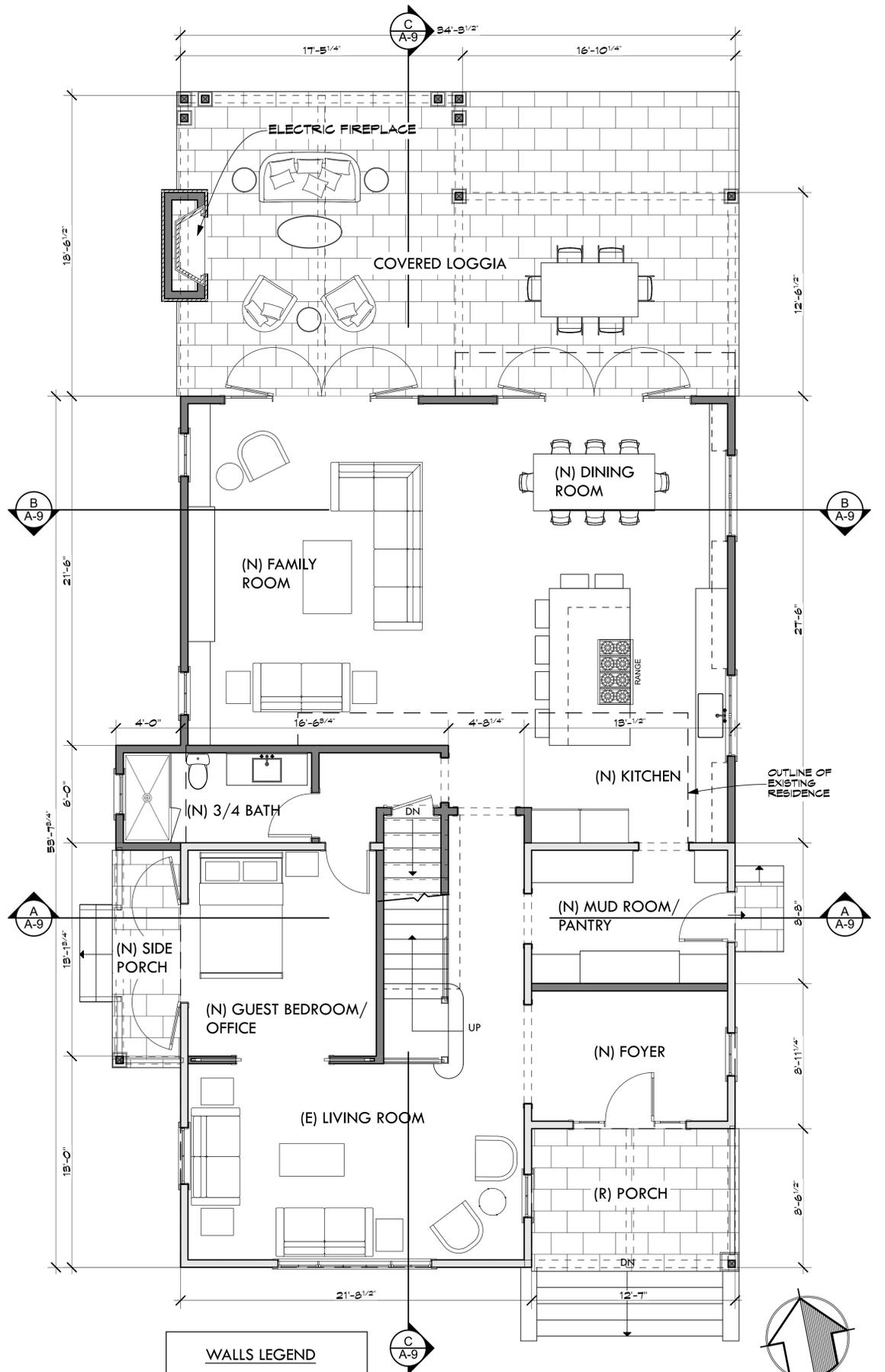
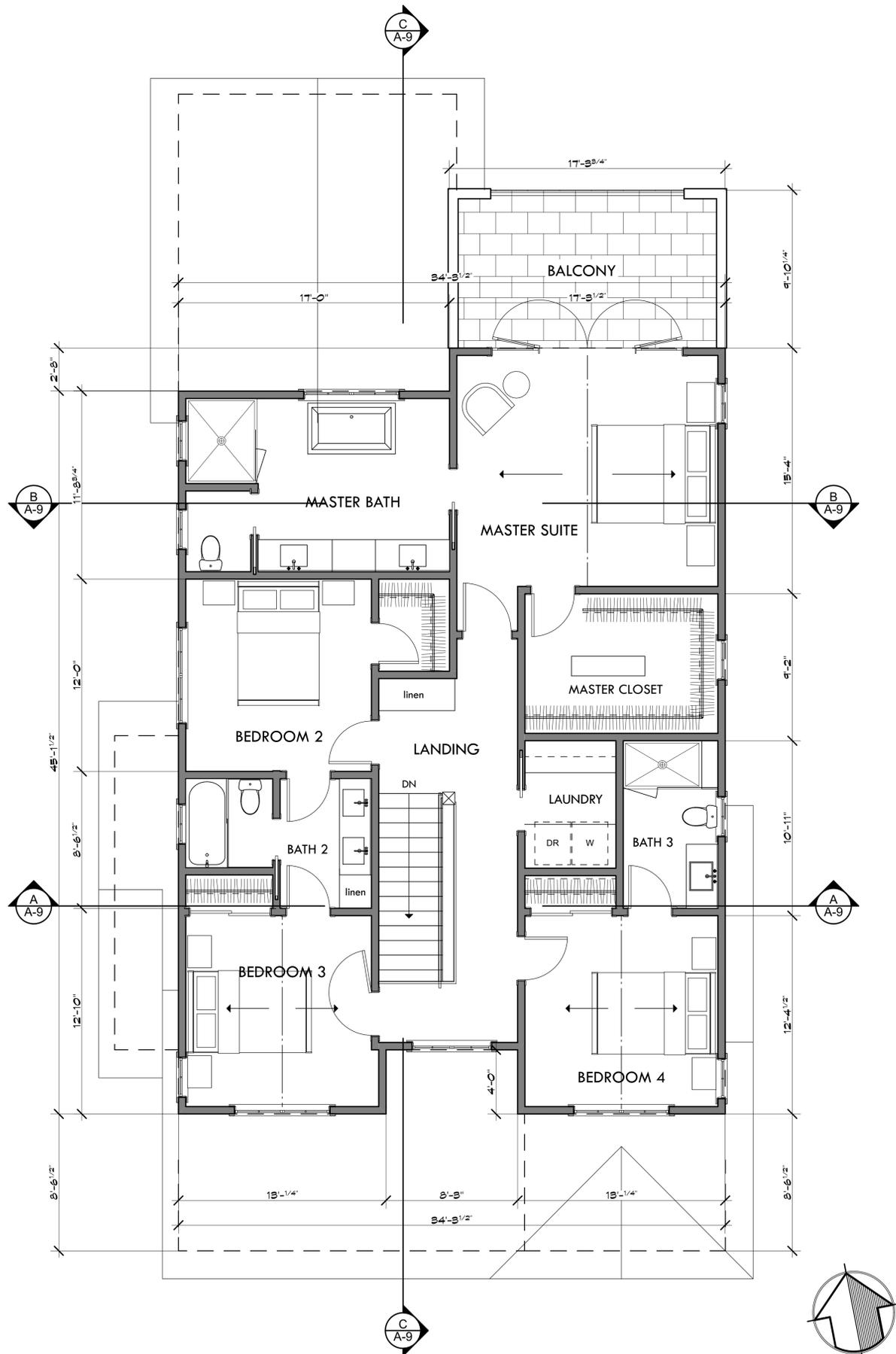
AS-BUILT/DEMO MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	
A.	8/20/20
B.	9/17/20

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THE ROULEAU RESIDENCE
 17361 E. VINELAND AVE. LOS GATOS, CA. 95030

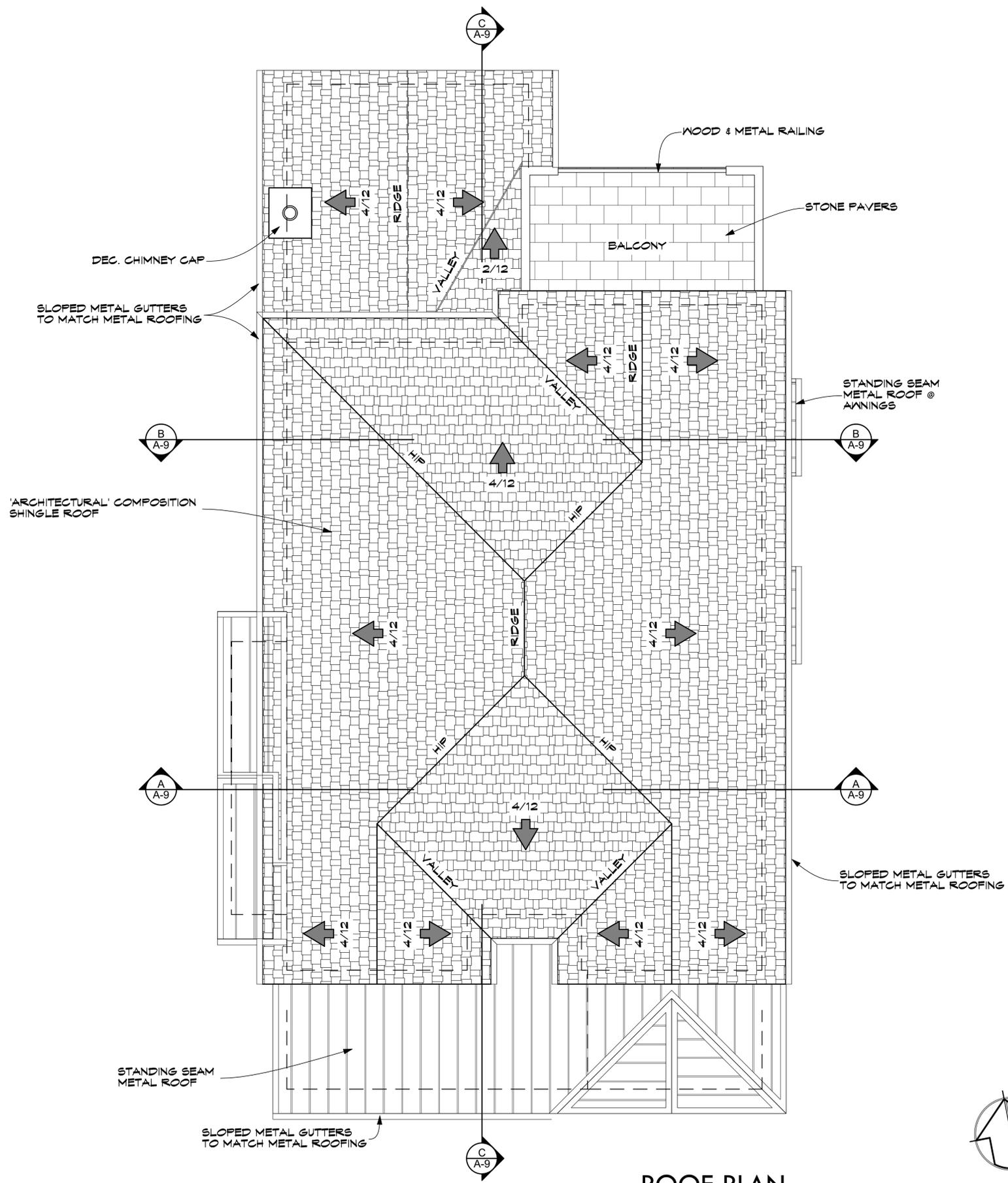
PROPOSED FLOOR PLANS
 DATE: 7/14/20
 SCALE: AS SHOWN
 SHEET
A-5
 10 OF -



WALLS LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS





ROOF PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
A.	8/20/20
B.	9/17/20

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THE ROULEAU RESIDENCE
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PROPOSED
ROOF PLAN

DATE: 7/14/20	SHEET
SCALE: AS SHOWN	A-6
11 OF -	

REVISIONS

A.	8/20/20
B.	9/17/20

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A REMODEL AND ADDITION OF:
THE ROULEAU RESIDENCE
 17361 E. VINELAND AVE. LOS GATOS, CA. 95030

PROPOSED FRONT & LEFT ELEVATIONS

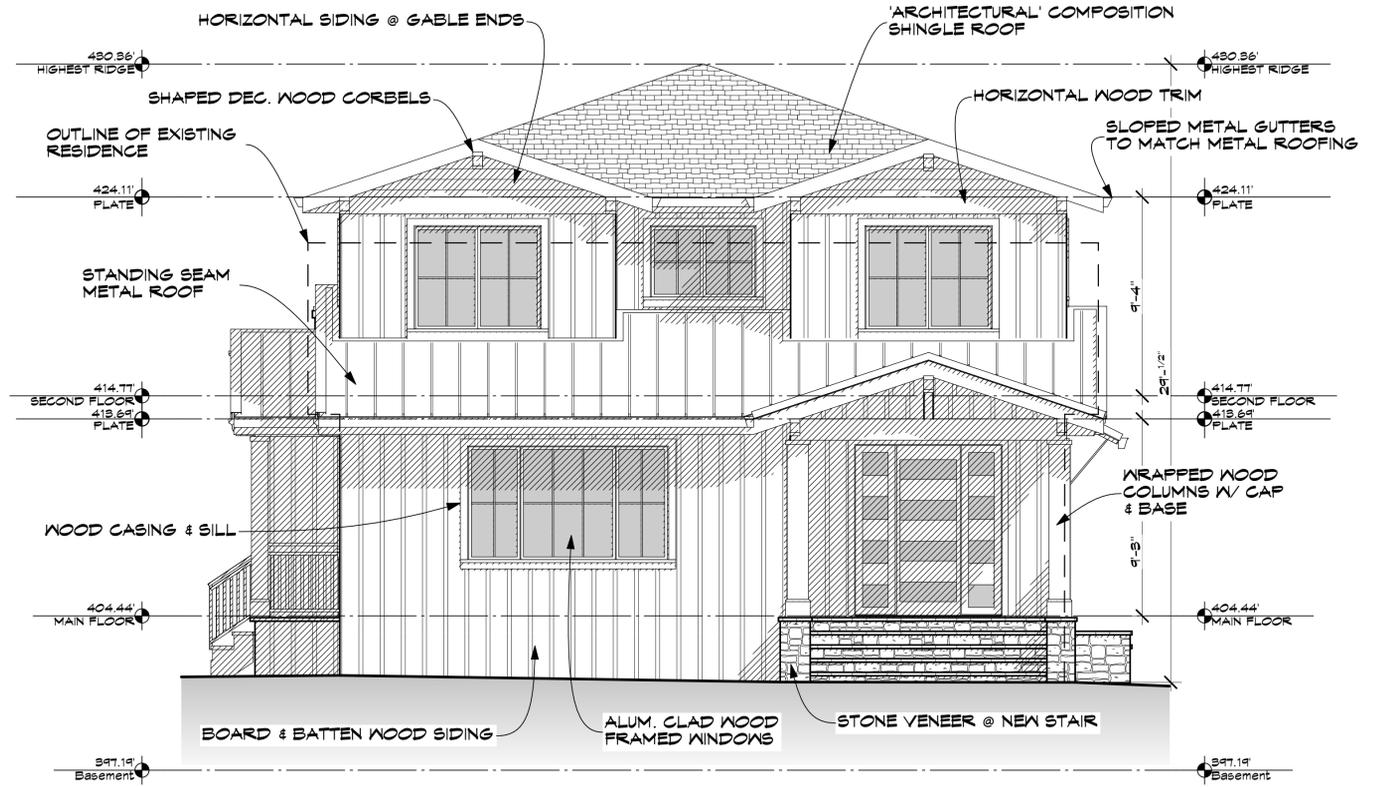
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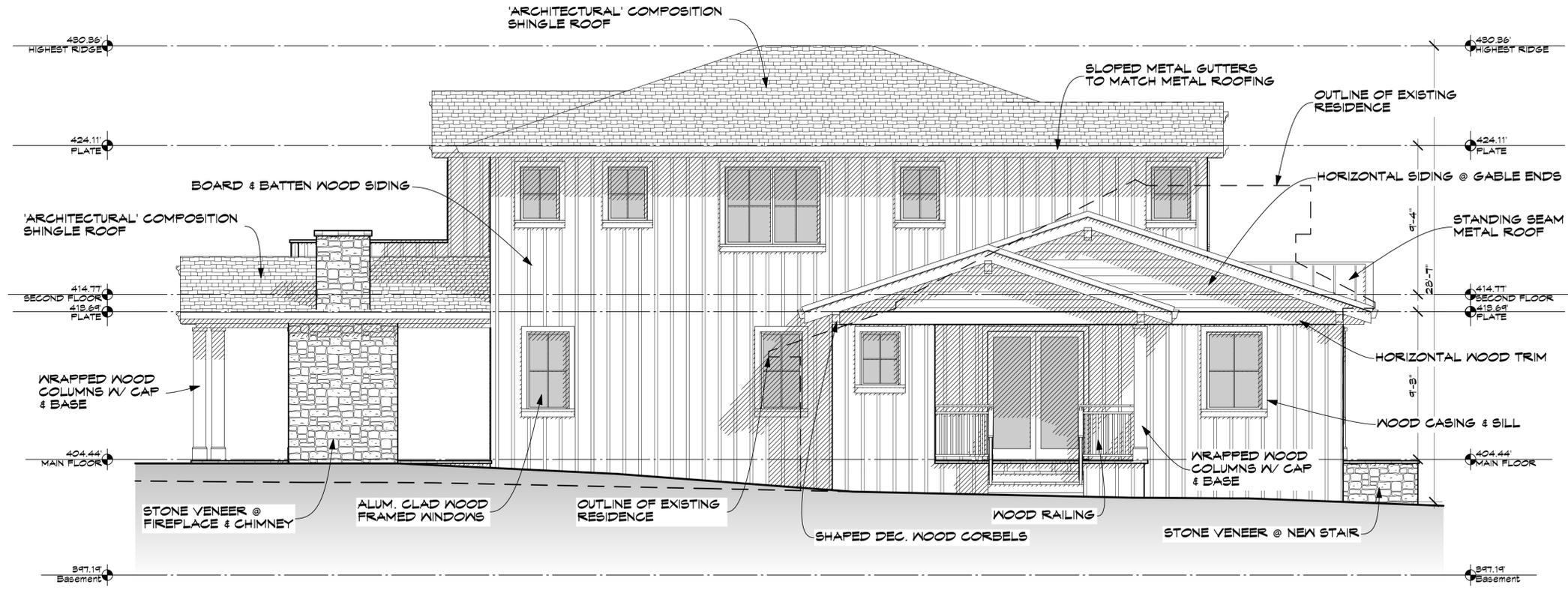
SHEET

A-7

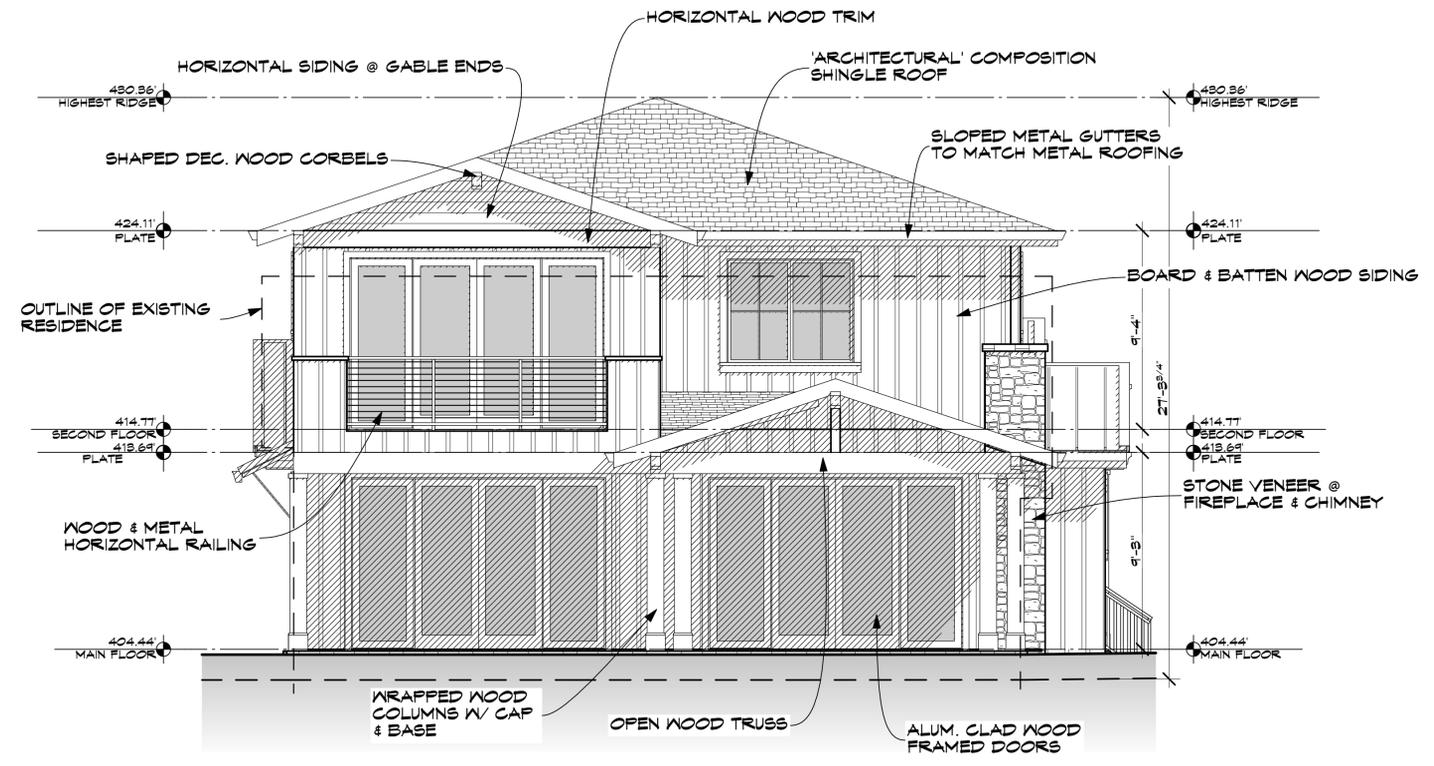
12 OF -



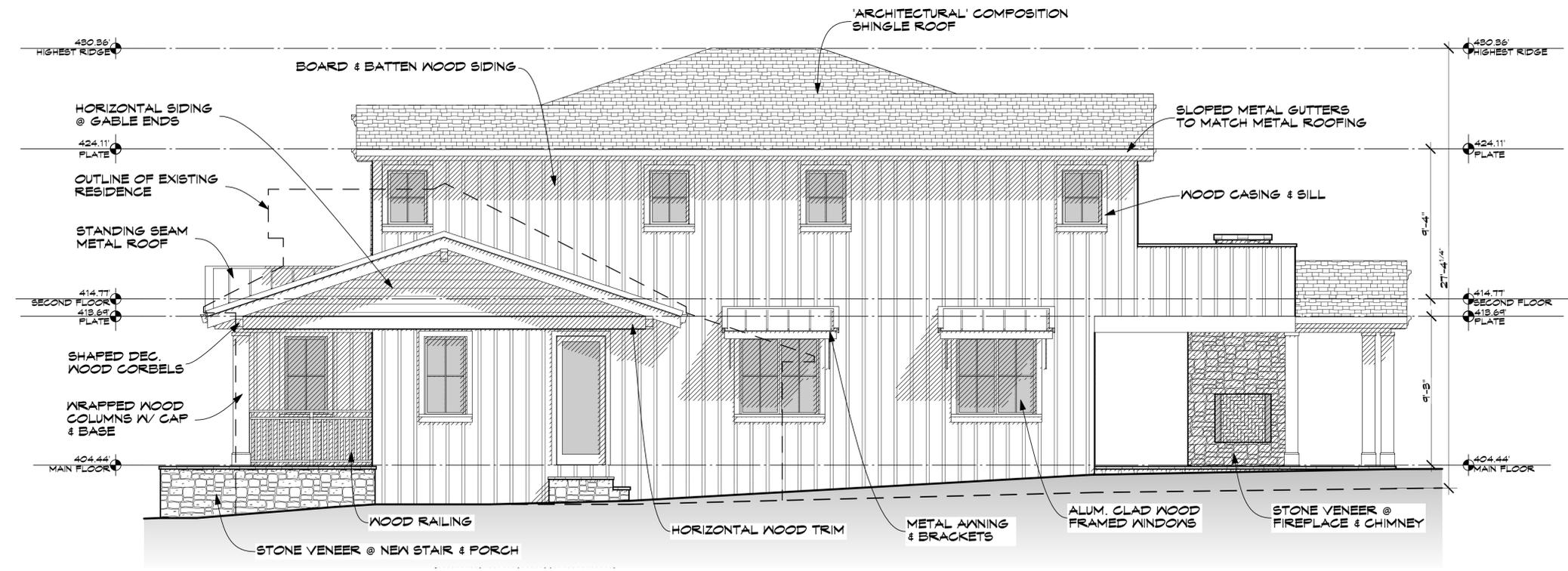
PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

A REMODEL AND ADDITION OF:
THE ROULEAU RESIDENCE
 17361 E. VINELAND AVE. LOS GATOS, CA. 95030

REVISIONS	
A.	8/20/20
B.	9/17/20

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A REMODEL AND ADDITION OF:
THE ROULEAU RESIDENCE
 17361 E. VINELAND AVE. LOS GATOS, CA. 95030

CROSS SECTIONS

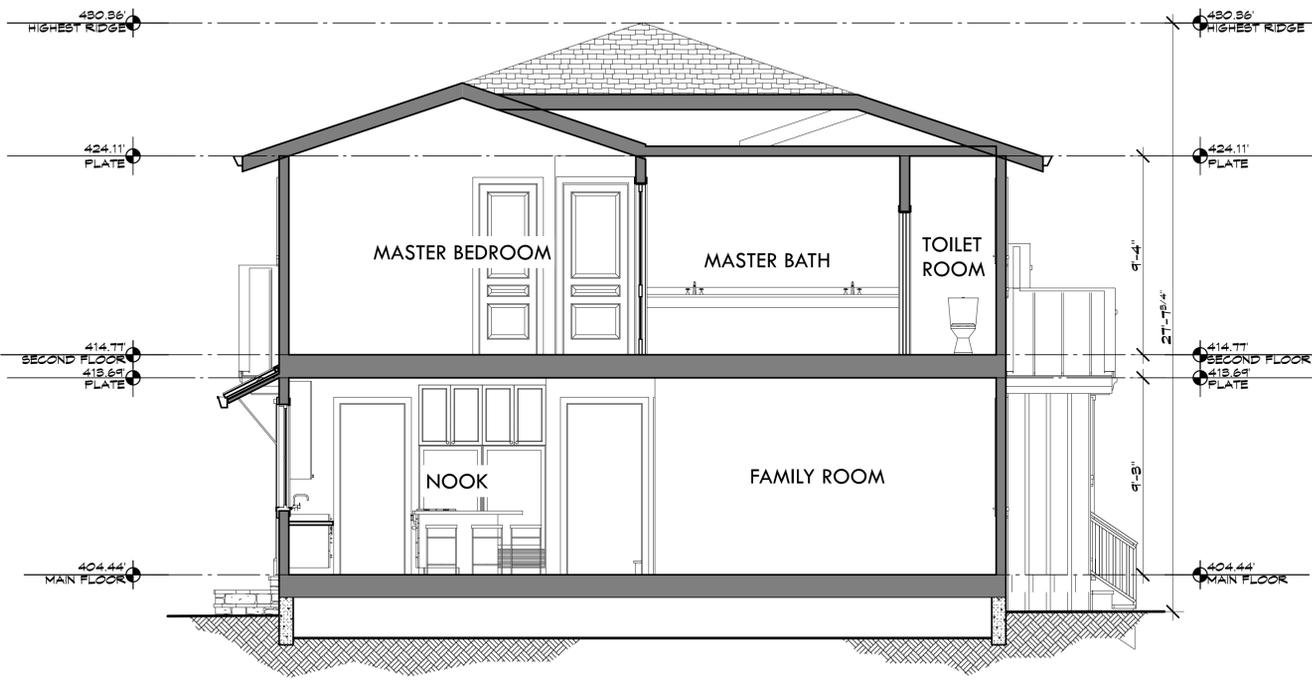
DATE: 7/14/20

SCALE: AS SHOWN

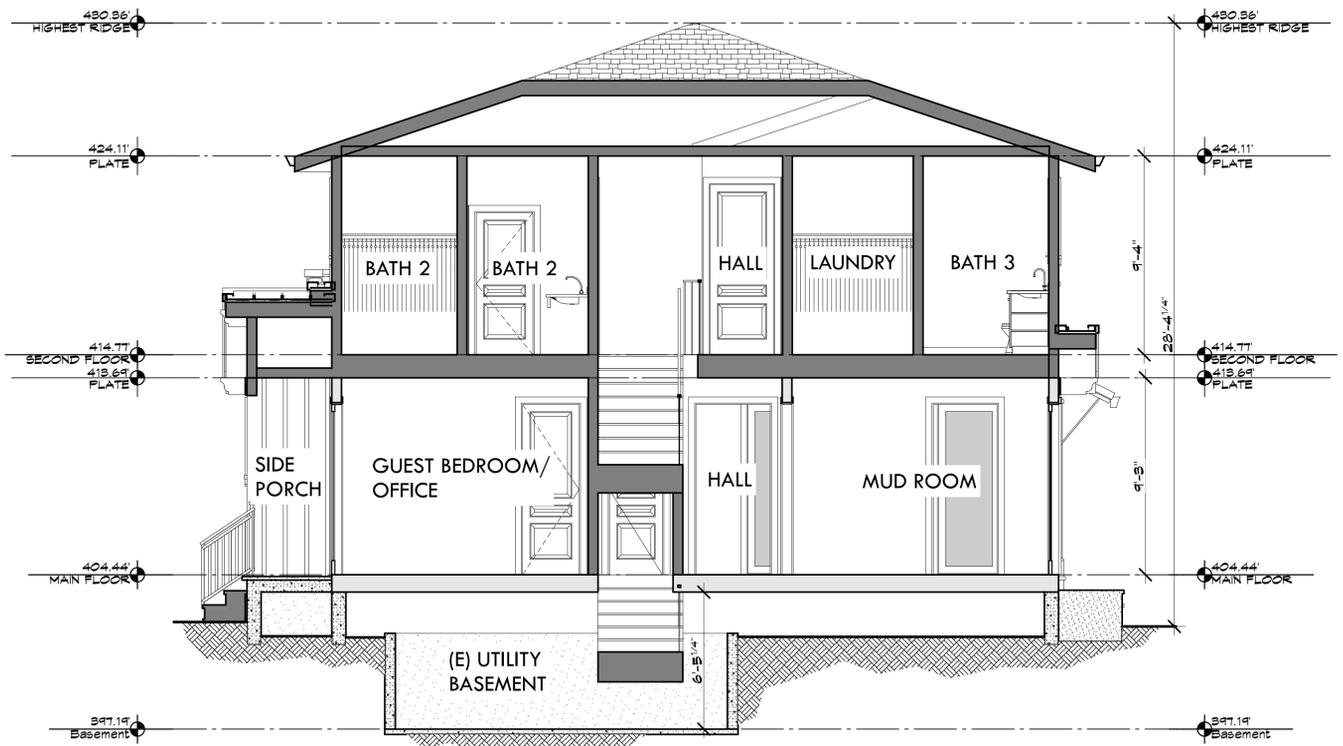
SHEET

A-9

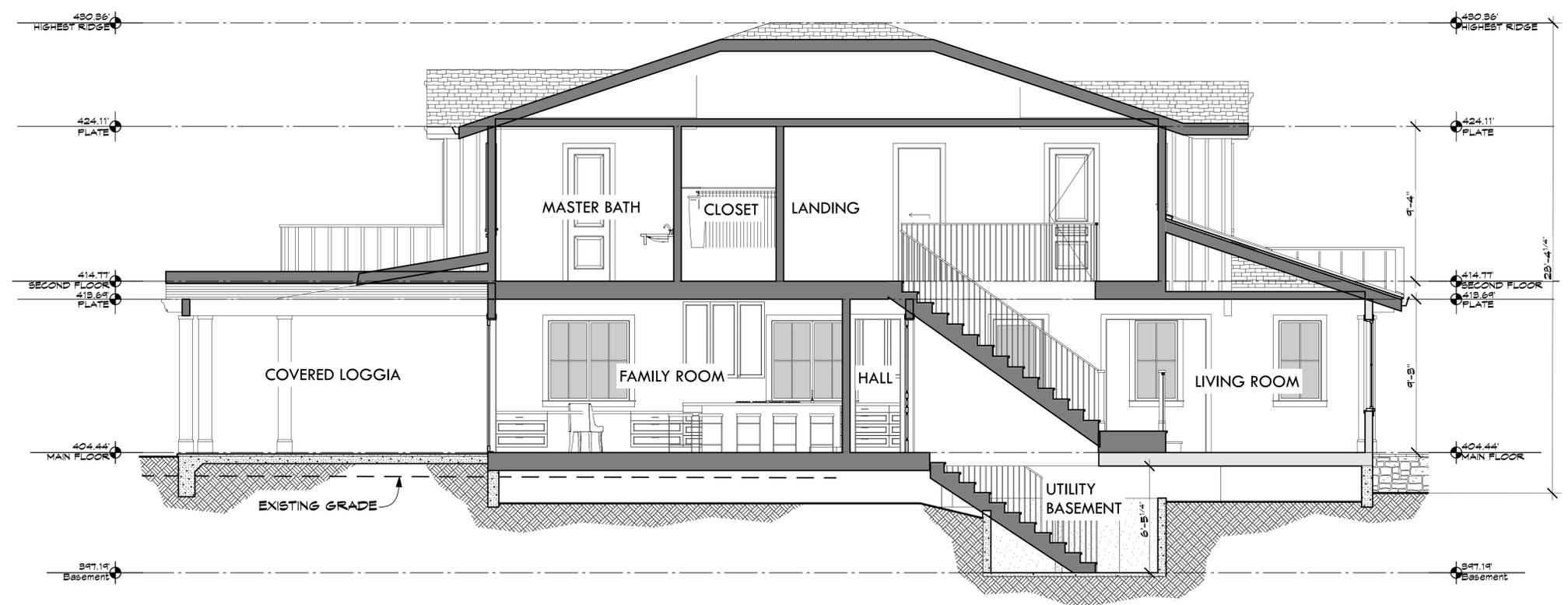
14 OF -



SECTION B-B
 SCALE: 1/4" = 1'-0"



SECTION A-A
 SCALE: 1/4" = 1'-0"

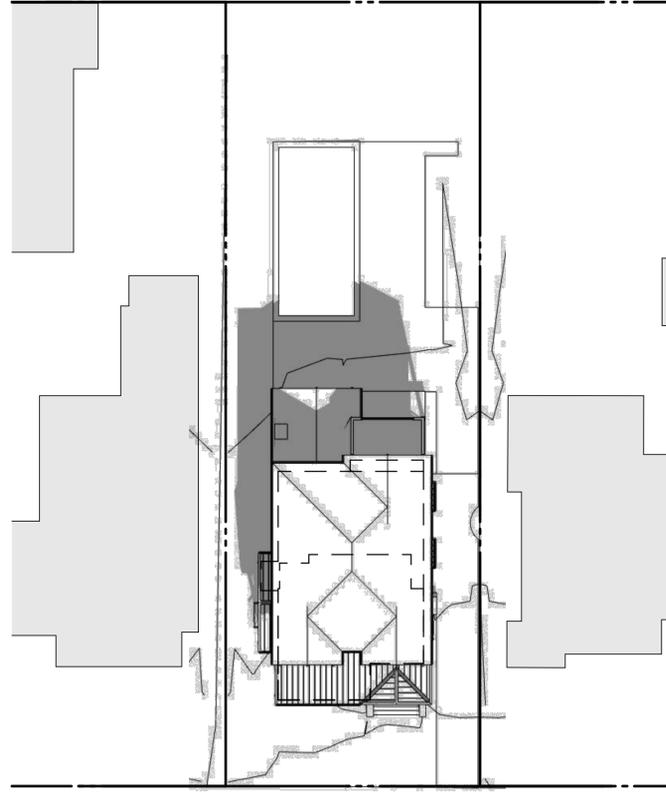


SECTION C-C
 SCALE: 1/4" = 1'-0"



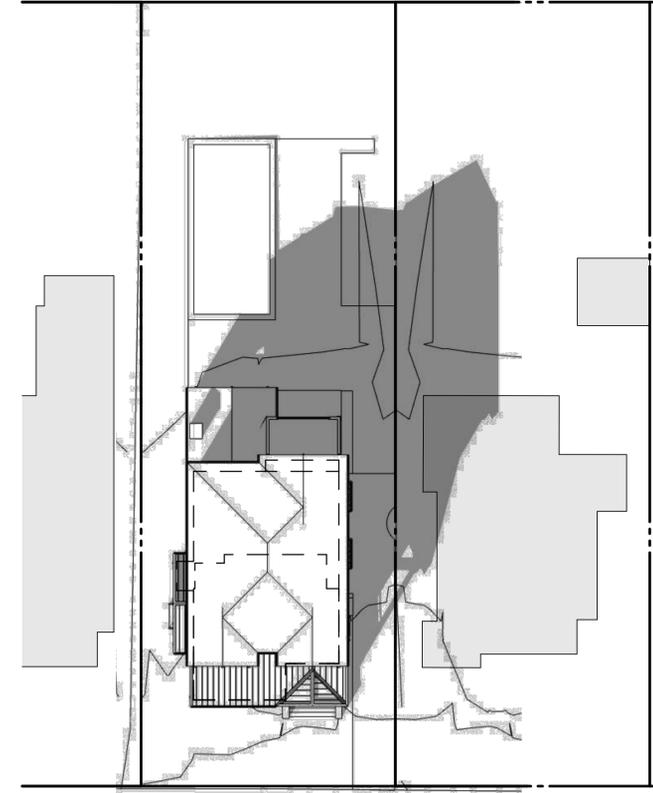
Dec 21, 9am

SCALE: 1" = 10'



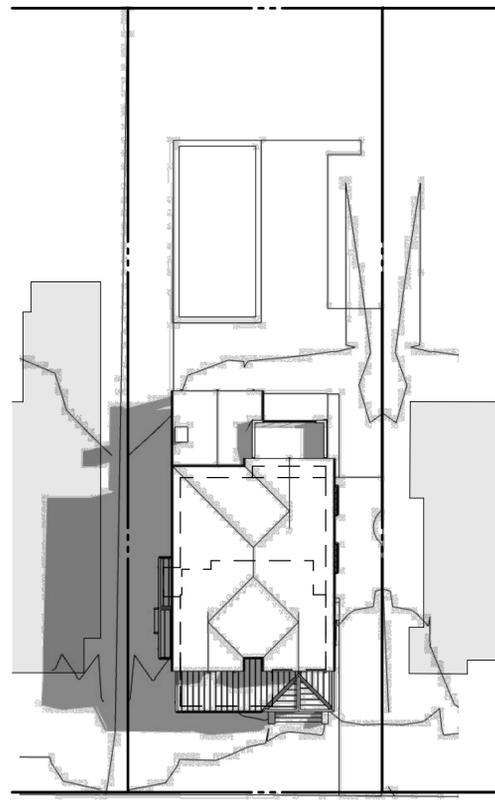
Dec 21, 12pm

SCALE: 1" = 10'



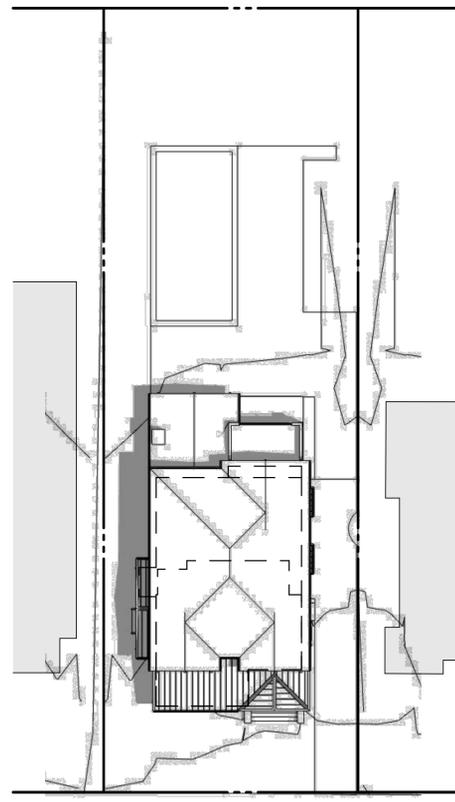
Dec 21, 3pm

SCALE: 1" = 10'



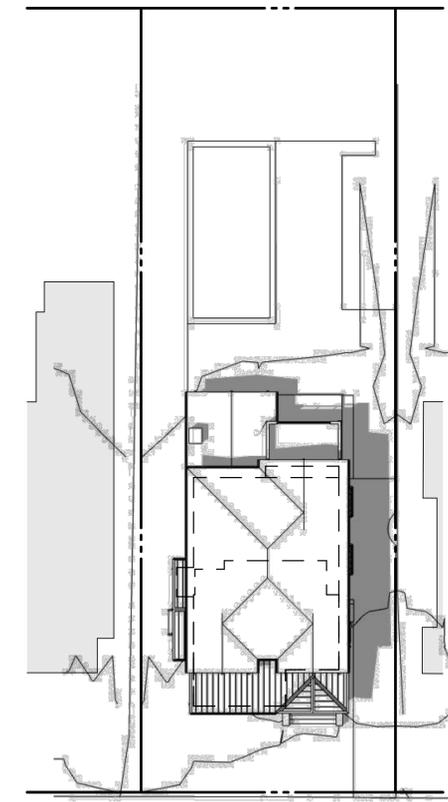
June 21, 9am

SCALE: 1" = 10'



June 2, 12pm

SCALE: 1" = 10'



June 21, 3pm

SCALE: 1" = 10'



SHADOW STUDIES

REVISIONS

A.	8/20/20
B.	9/17/20

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A REMODEL AND ADDITION OF:
THE ROULEAU RESIDENCE
 17361 E. VINELAND AVE. LOS GATOS, CA. 95030

SHADOW STUDIES

DATE: 7/14/20

SCALE: AS SHOWN

SHEET

A-10

15 OF -