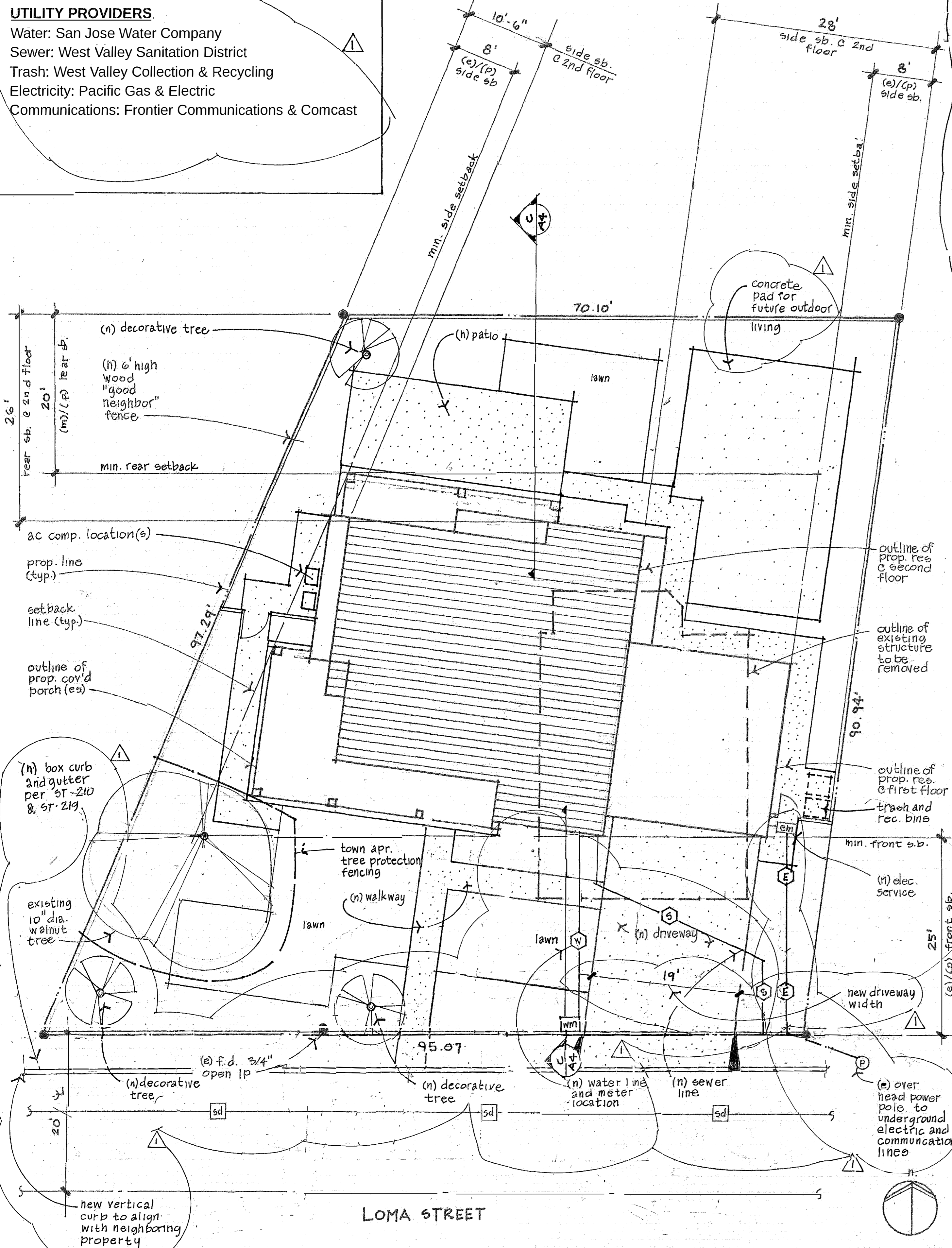


Water: San Jose Water Company  
Sewer: West Valley Sanitation District  
Trash: West Valley Collection & Recycling  
Electricity: Pacific Gas & Electric  
Communications: Frontier Communications & Comcast



Lot Area = 7,461 sq

- A0 - General Project Info/Arch Site Plan
- A1 - Existing Flr Plan/Prop Flr Plan/Roof Plan
- A2 - Exterior Elevations/Design
- A3 - Impervious Area and Cross Sections
- 1 - Town Notes, Gen Notes, Legend and Abbr
- 2 - Blueprint for Clean Bay Sheet
- 3 - Topographic Survey
- 4 - Demolition Plan and Site Plan
- 5 - Grading and Drainage Plan
- 6 - Stormwater Control Plan
- 7 - Utility Plan
- 8 - Erosion Control Plan & Construct Mgmt
- 9 - Erosion Control Details/
  - L1 - Landscape/Irrigation Plan/
  - L2 - Tree Plan/
  - L3 - WELO Plan



North Arrow

Elevation Indicator

Match Line

Section Indicator

A hand-drawn map of the Loma area. The map shows a grid of streets: Los Gatos Blvd. running diagonally from the top left to the bottom right, Shannon running diagonally from the top right to the bottom left, Englewood running vertically on the right, Ferris running vertically on the left, and Kennedy running horizontally at the bottom. A small dark spot is labeled 'site' with an arrow pointing to it. Below the 'site' label is the word 'Loma'. In the bottom left corner, there is a diagram of a circle with a vertical line through its center, a horizontal line through its center, and a triangle inscribed within it. The letter 'n.' is written above the circle, and the number '1' is written inside the triangle.

The image contains two architectural floor plans and associated area calculations.

**FIRST FLOOR**

A	24x2 =	48
B	35x31 =	1,085
C	2.5x14 =	35
D	7x14 =	98
E	6x19 =	114
		<b>= 1,380</b>

**SECOND FLOOR**

F	35x28 =	980
G	2x13 =	26
H	9x15 =	135
I	9x2 =	18
J	12x3 =	36
K	3x24 =	72
-L	11x11 =	-121
M	9x7 =	-72
		<b>= 1,074</b>

**GARAGE**

1.	21x23 =	483
----	---------	-----

**GOV'D PORCHES**

a	4x18 =	72
b	2x13 =	23
c	10x12 =	120
d	31x8 =	248
		<b>= 463</b>

## An architectural elevation drawing of a two-story house. The house features a gabled roof with a small dormer window on the right side. The front facade includes a covered porch with a flat roof supported by columns. There are several windows: a large multi-paned window on the left, a smaller window in the center, and a large window on the right. The drawing is rendered in a sketchy, hand-drawn style with cross-hatching for shading.

**Scope of Work:** Demolition of existing pre-1941 one-story single-family residence with no garage, and construction of new two-story single family residence.

**Property Owner:** William and Brenna Nundram  
16805 Loma Street  
Los Gatos, CA 95032

Project location: 16865 Loma Street  
Los Gatos, CA 95032

**APN:** 532-07-101  
**Zoning:** R1-8  
**Lot Area:** 7,461  
**Avg Lot Slope:** less than 2%

<u>FAR</u>	<u>Existing</u>	<u>Proposed</u>	<u>Allowed</u>
Main Dwelling:	861 (.11)	2,454 (.32)	2,462 (.33)
Garage:	0 (.0)	483 (.06)	671 (.09)

<u>Setbacks</u>	<u>Existing</u>	<u>Proposed</u>	<u>Allowed</u>
Front:	17'-5"	25'-0"	25'-0"
Rear:	33'-6"	20'-0"	20'-0"
Sides (left/right)	38'-7"/9'-3"	8'-0"/8'-0"	8'-0"/8'-0"

<u>Lot Coverage:</u>	<u>Existing</u>	<u>Proposed</u>	<u>Allowed</u>
First Floor/Porches/Garage	905 (12%)	2,326 (31%)	(40%)

<u>Building Height:</u>	<u>Existing</u>	<u>Proposed</u>	<u>Allowed</u>
Measured from exist. grade)	14'	27'	30'

**NOTE: Fire Sprinklers Required.** Approved automatic sprinkler systems in new building and structures shall be provided in Sections 903.2.1 through 903.2.12

NOTE: A separate building permit is required for the PV system that is required by the California Energy Code Performance or Prescriptive standards. The separate PV system must be finalized prior to issuance of Certificate of Occupancy.

Britt • Rowe

108 N. Santa Cruz Ave  
Los Gatos, CA 95030

408.354.6224 (office)  
408.354.6514 (fax)

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AS-25-043

WUNDRAM RESIDENCE

16805 Loma Street  
Los Gatos, California

SHEET: titlesheet / Proj Info

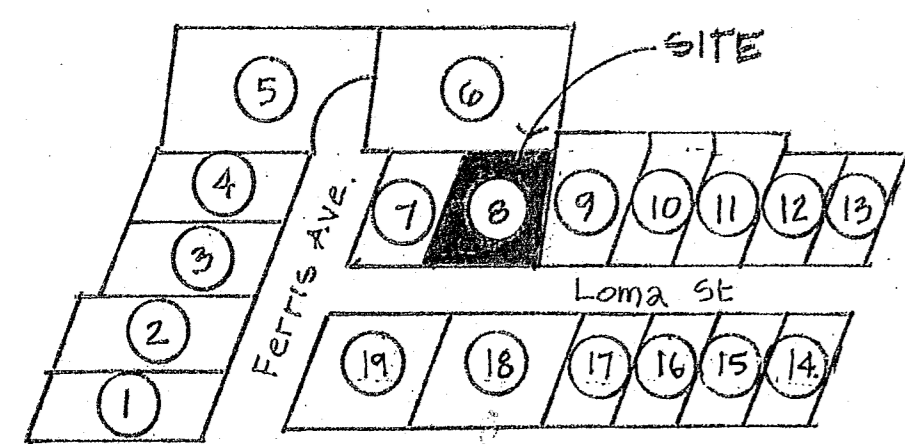
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DATE: 9. 8. 25

**DRAWN:**

A0

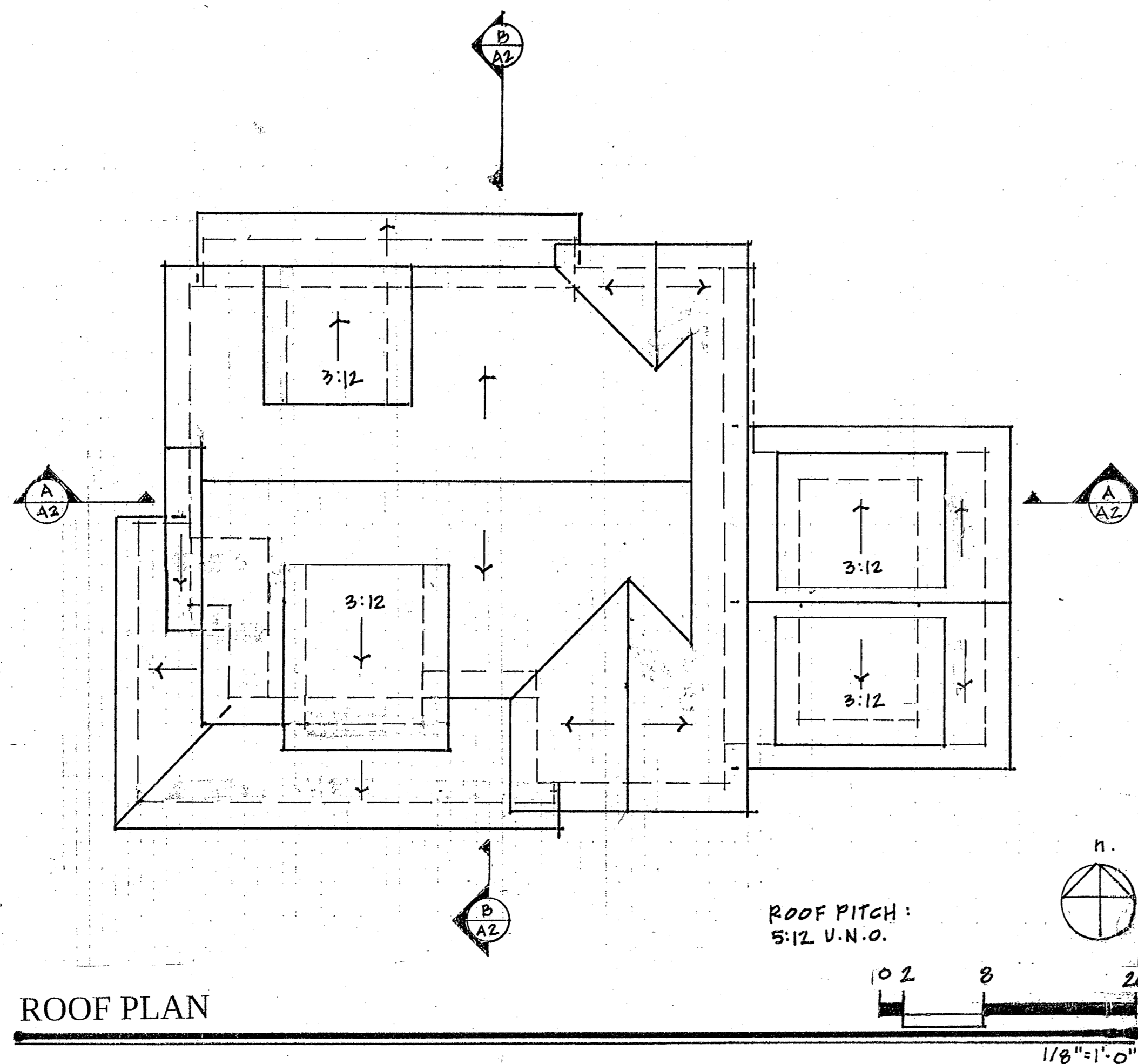
# NEIGHBORHOOD SURVEY



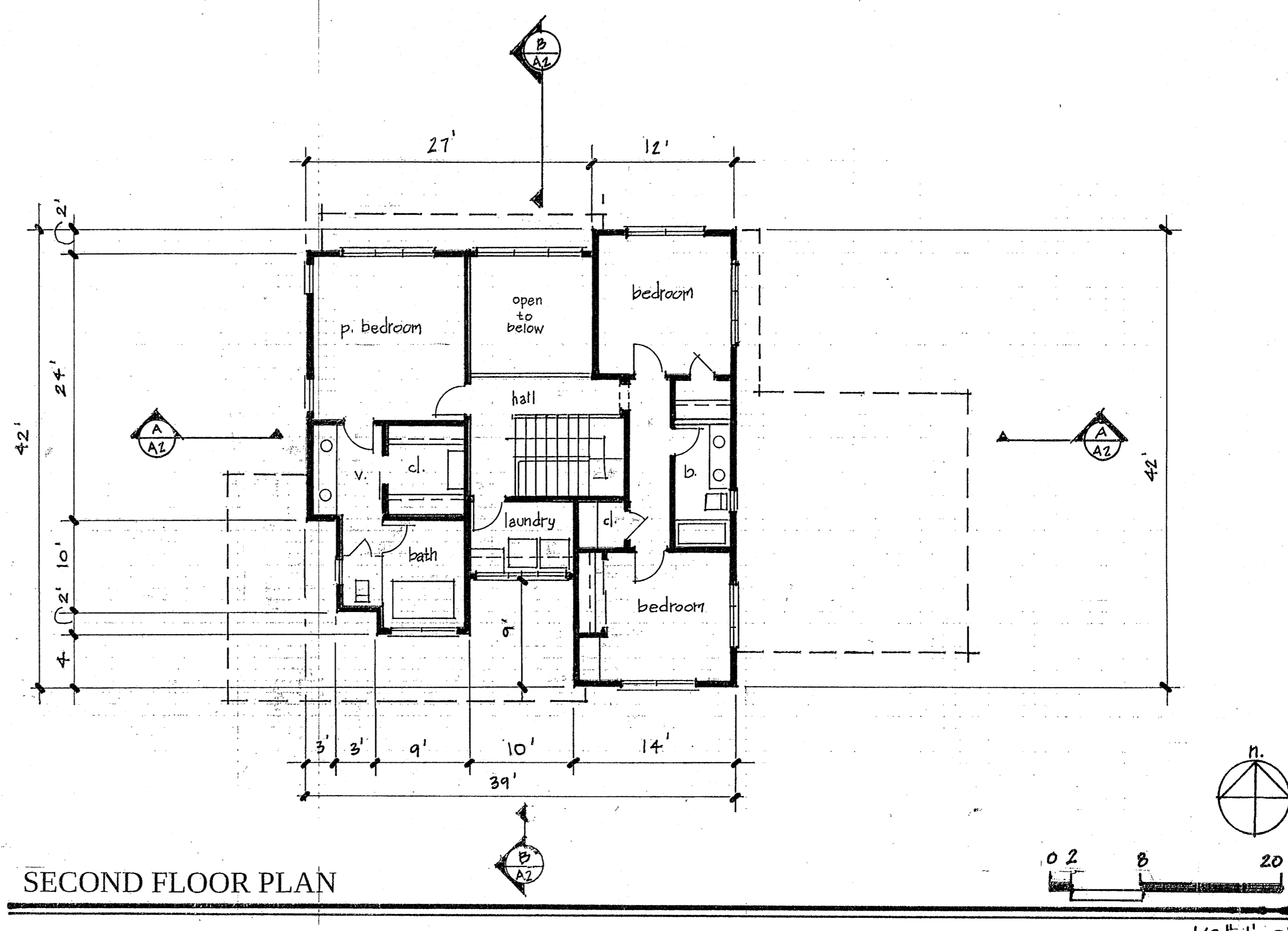
#	ADDRESS	LOT SIZE	STRUCT.	FAR	FL.	YR. BUILT
1	16495 Ferris	9,147	3,064	.35	2	2004
2	16475 Ferris	9,300	2,283	.25	2	1950
3	16575 Ferris	7,752	3,872	.50	2	2007
4	16461 Ferris	8,060	2,000	.25	2	?
5	16455 Ferris	14,374	3,000	.21	1	?
6	16456 Ferris	15,137	2,750	.18	2	1995
7	16460 Ferris	5,880	2,386	.40	2	1986/1900
8	16805 Loma	7,461	2,454	.32	2	
9	16801 Loma	7,578	2,478	.33	2	2000/?
10	16791 Loma	6,325	2,068	.32	2	1997/1930
11	16761 Loma	6,098	1,975	.32	2	1993/?
12	16771 Loma	5,390	708	.13	1	1940
13	16761 Loma	5,390	1,844	.34	1	2000/1941
14	16760 Loma	5,400	690	.13	1	?
15	16770 Loma	5,227	896	.17	1	1940
16	16780 Loma	5,390	1,956	.37	2	?
17	16790 Loma	5,390	1,856	.34	2	2010/?
18	16810 Loma	10,800	4,400	.41	2	?
19	16490 Ferris	9,800	2,505	.26	2	1999

## FIRE DEPARTMENT NOTES

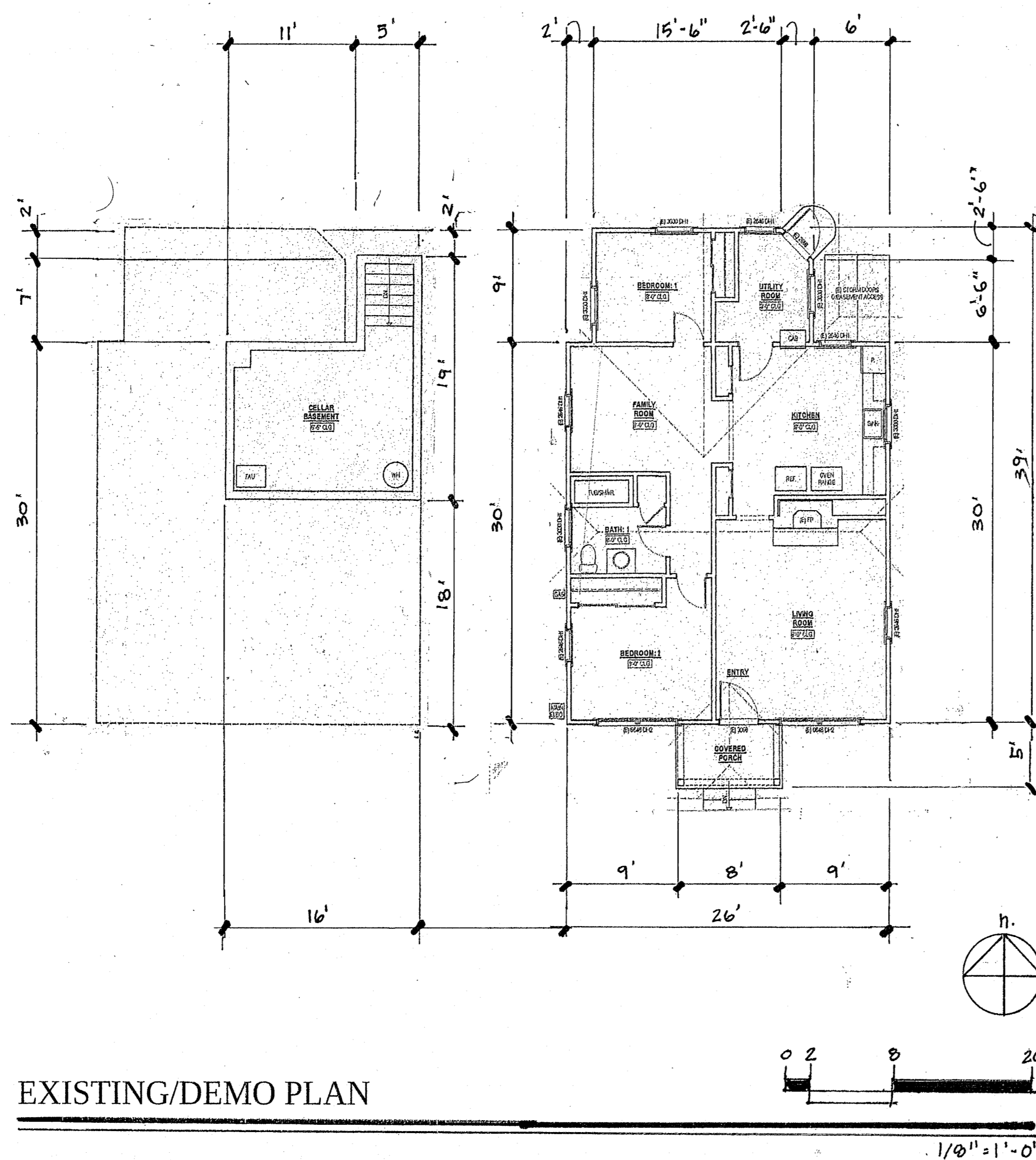
NOTE: Fire Sprinklers Required. Approved automatic sprinkler systems in new building and structures shall be provided in Sections 903.2.1 through 903.2.12



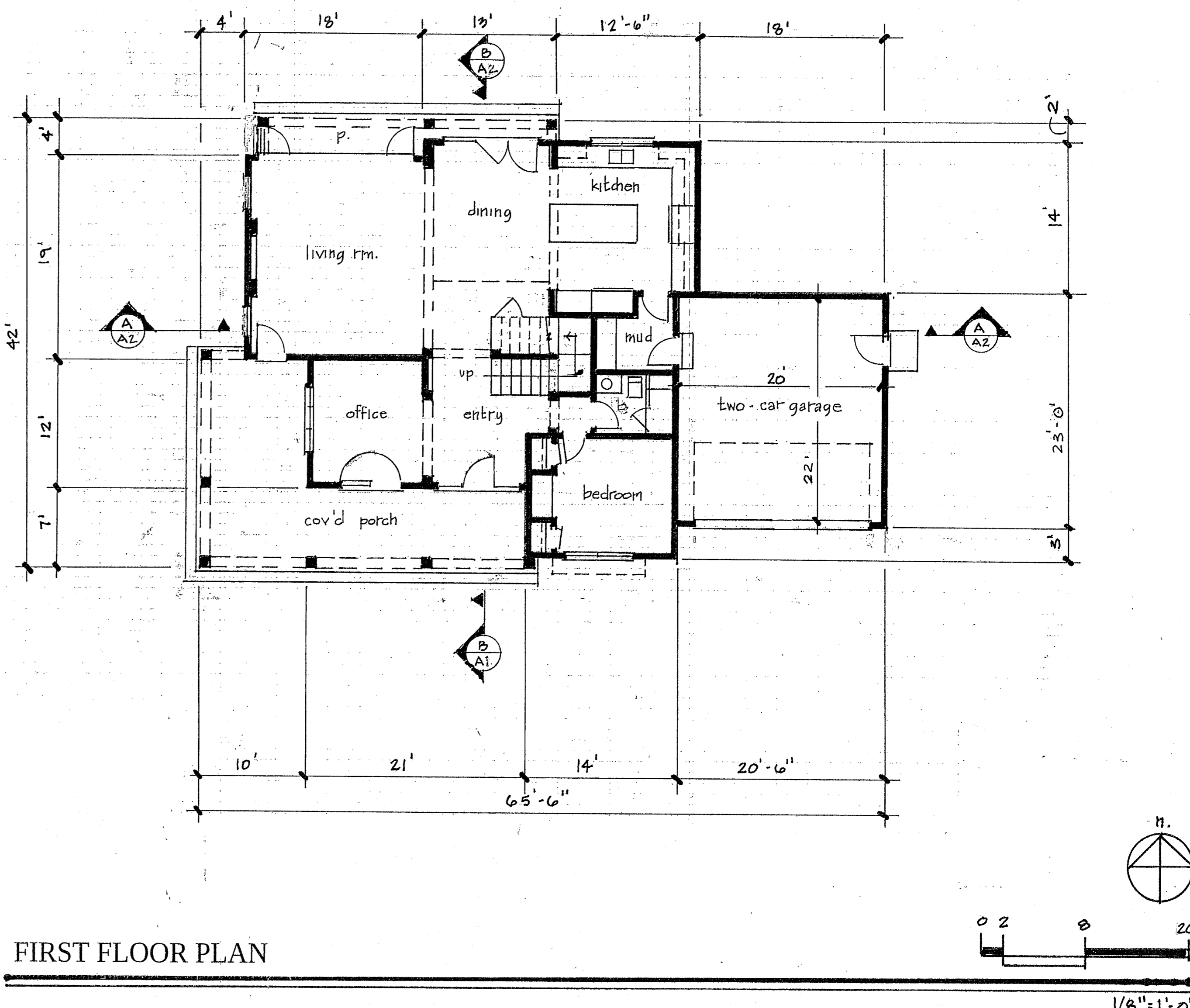
ROOF PLAN



SECOND FLOOR PLAN



EXISTING/DEMO PLAN



FIRST FLOOR PLAN

REVISIONS BY

10/17/25 db

BR

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WUNDHAM RESIDENCE  
16805 Loma Street  
Los Gatos, California

SHEET: Floor Plans

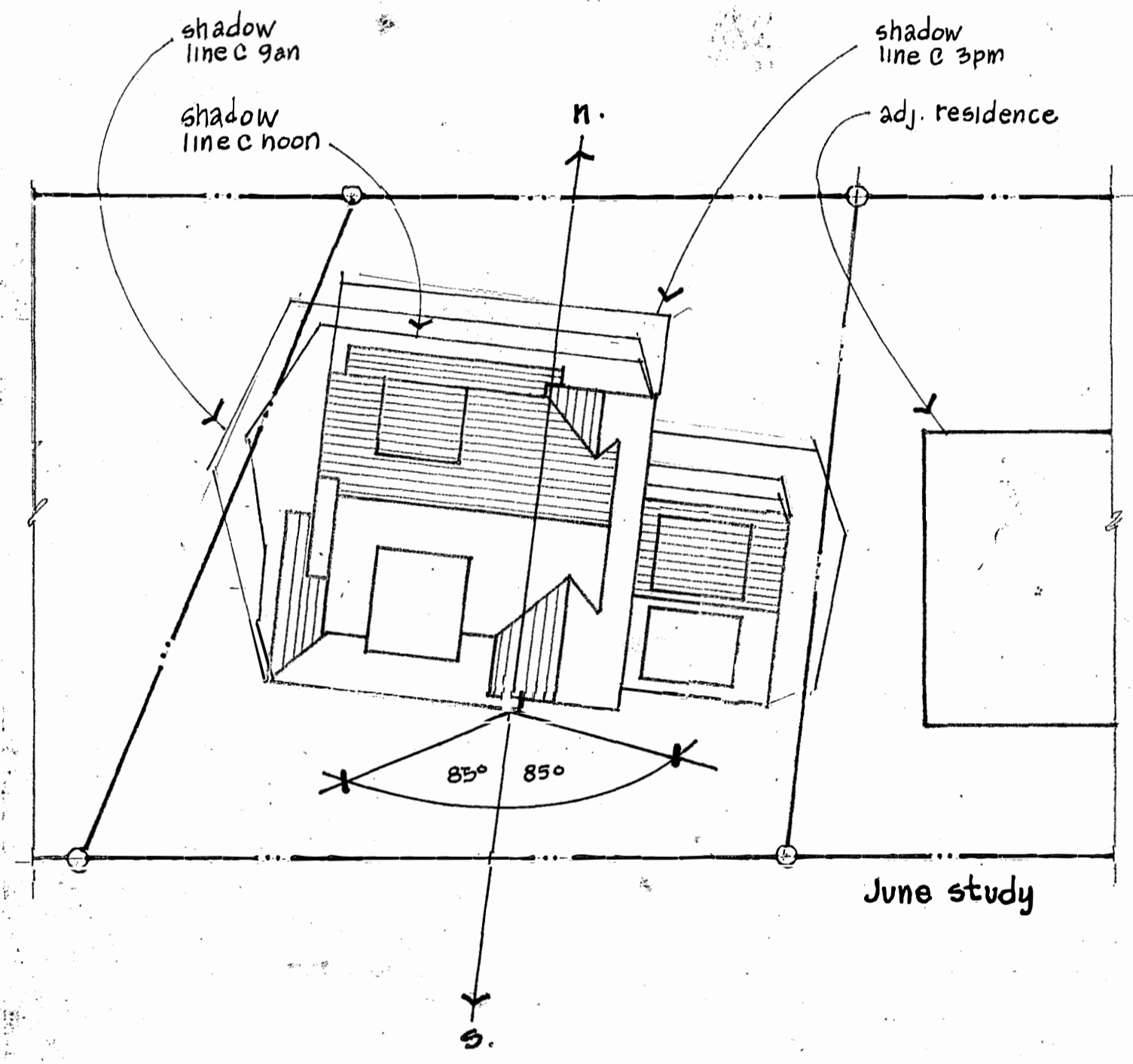
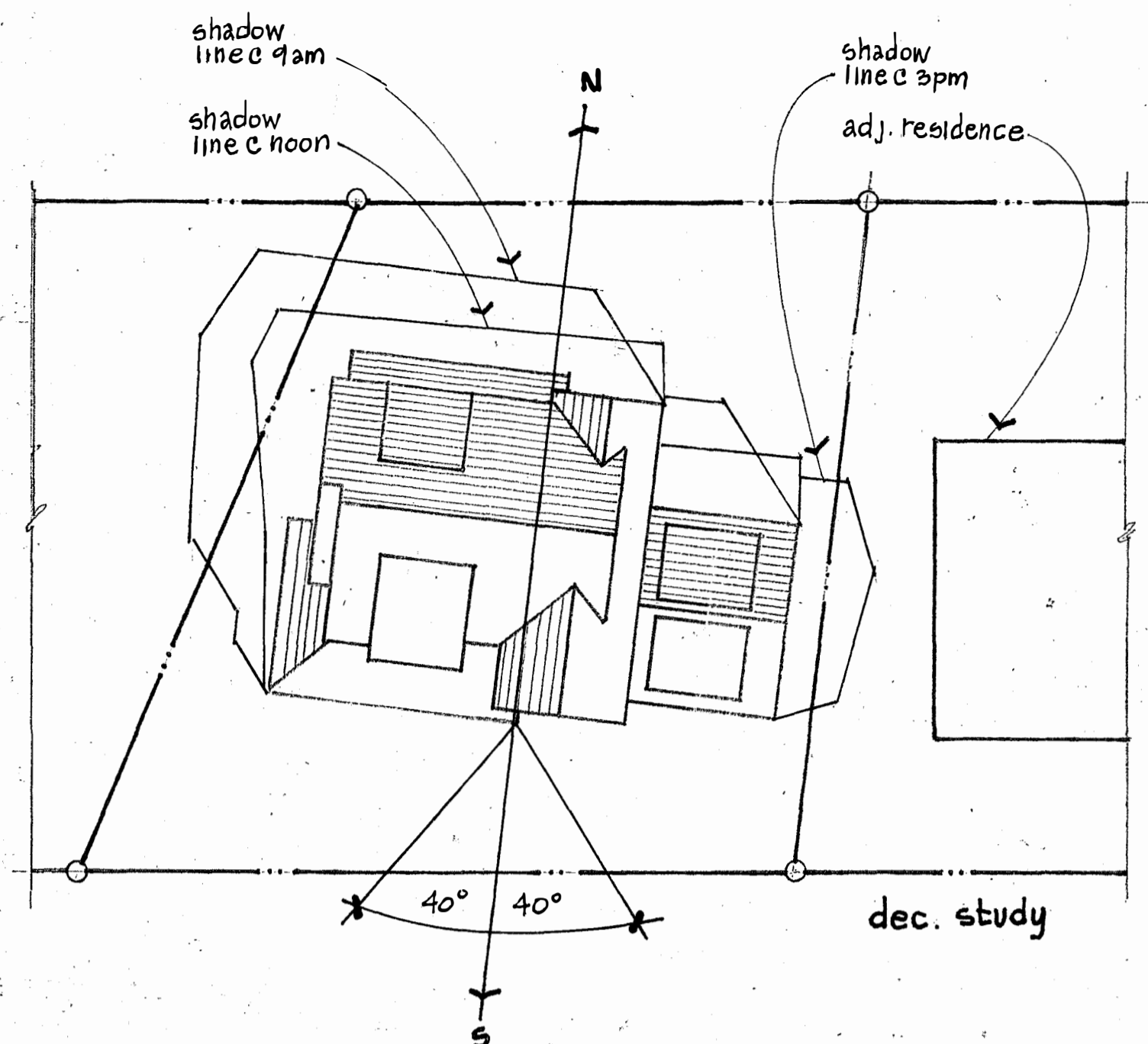
SCALE: noted

DATE: 9.8.25

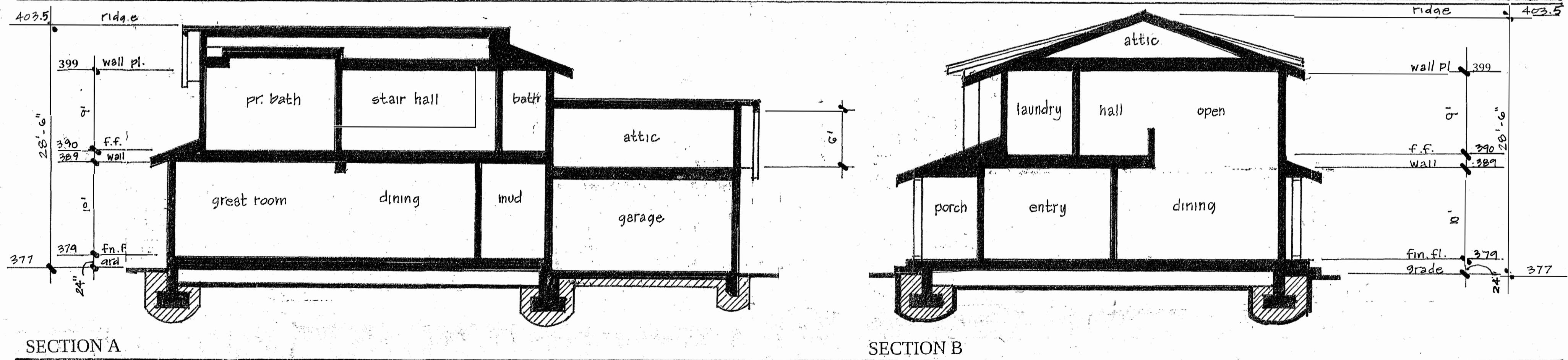
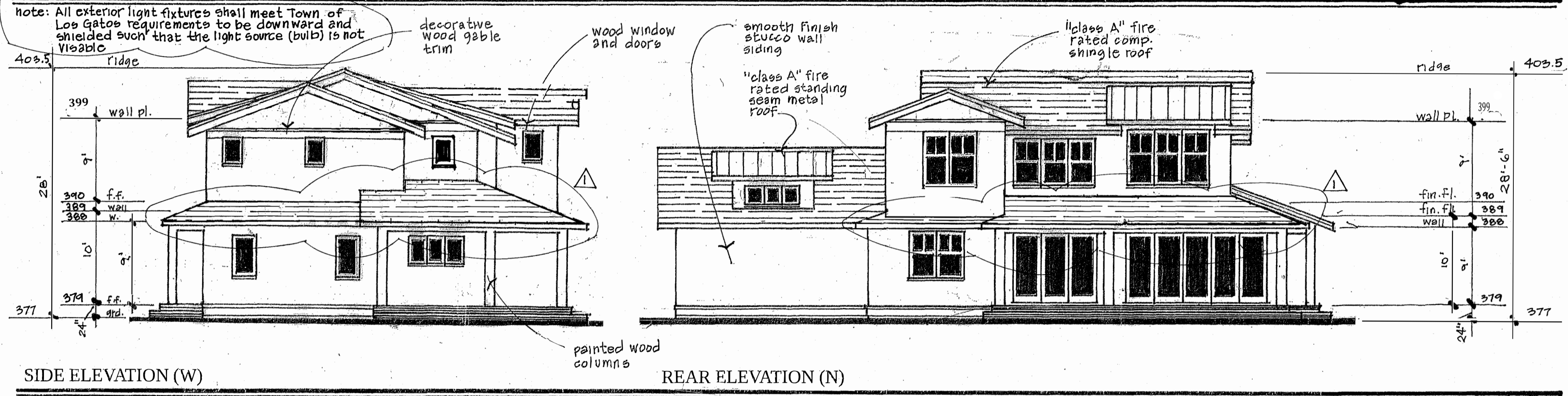
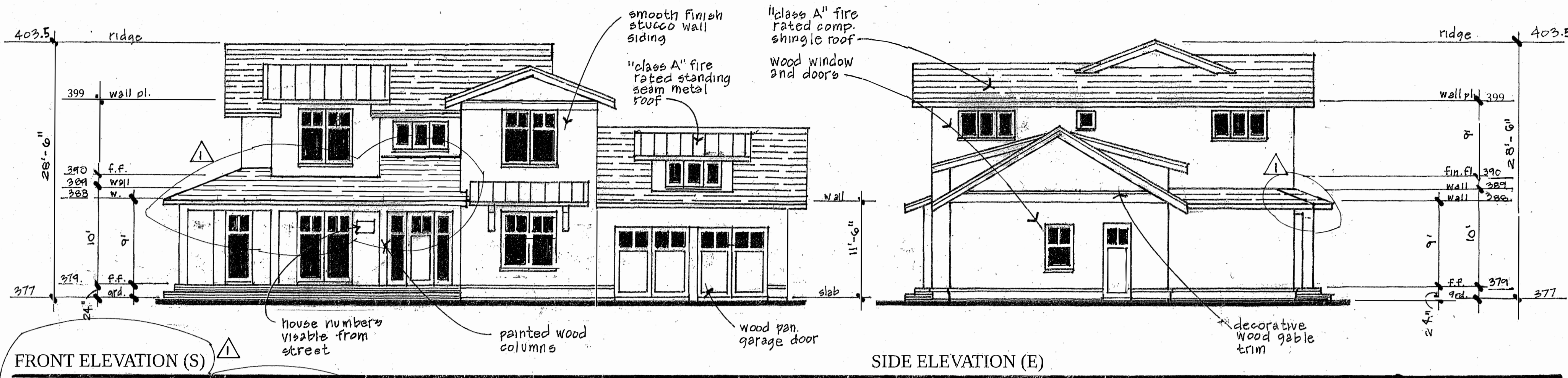
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A1

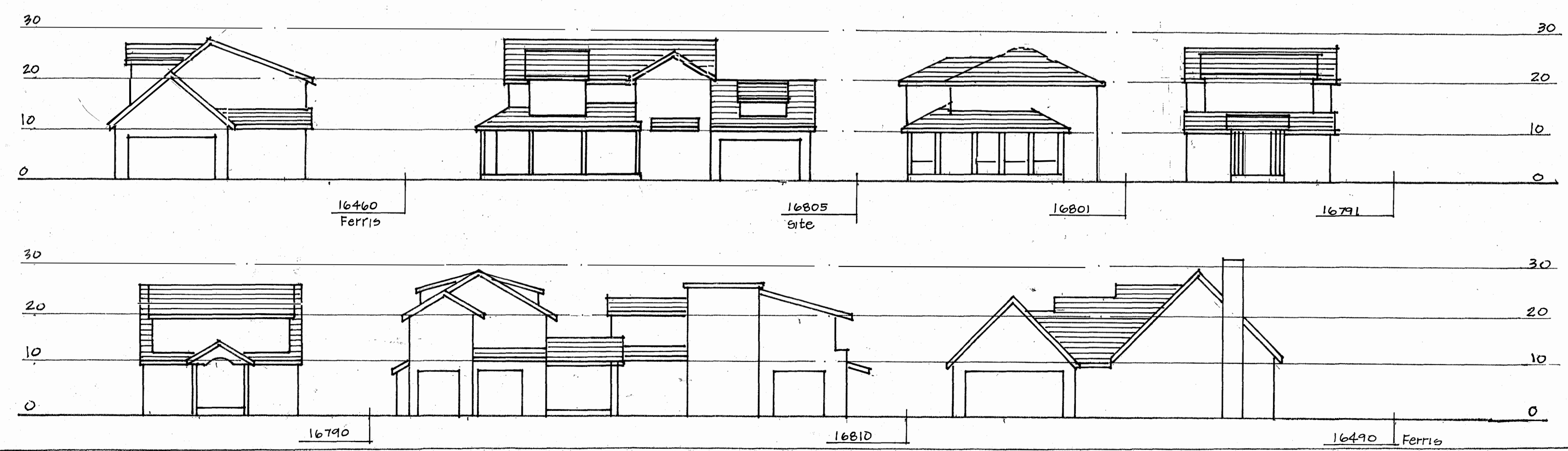
# SHADOW STUDIES 1" = 20'-0"



# EXTERIOR ELEVATIONS/SECTIONS



# STREETSCAPES 1" = 15'-0"



# PUBLIC WORKS NOTES

# PLANNING NOTES

REVISIONS	BY
10/17/25	db

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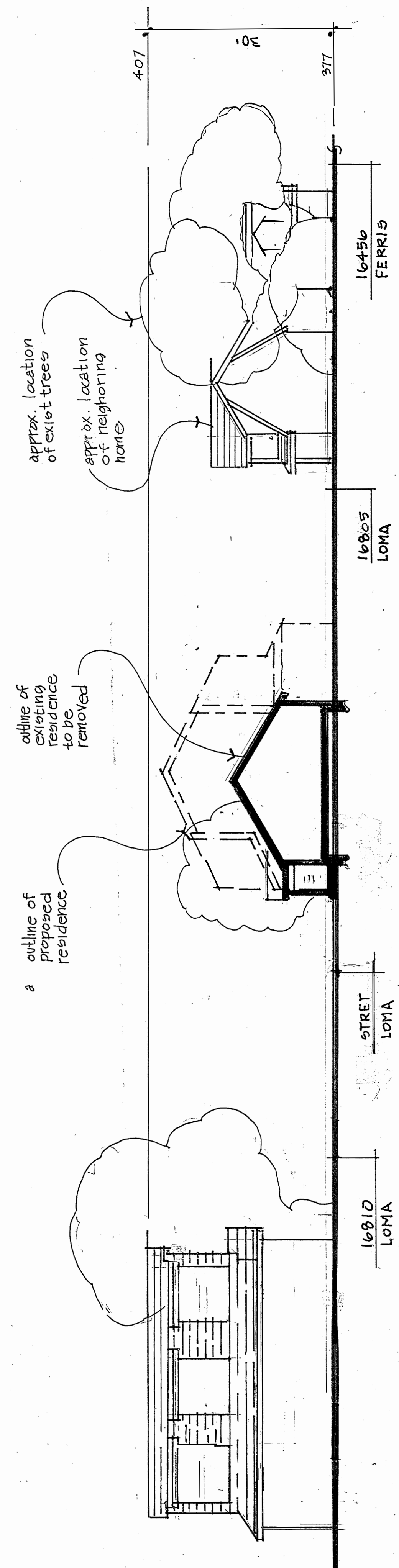
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**WUNDRAM RESIDENCE**  
16805 Loma Street  
Los Gatos, California

SHEET: elev. / sec. 9-8-25  
SCALE: noted  
DATE: 9-8-25  
DRAWN: *[signature]*

**A2**



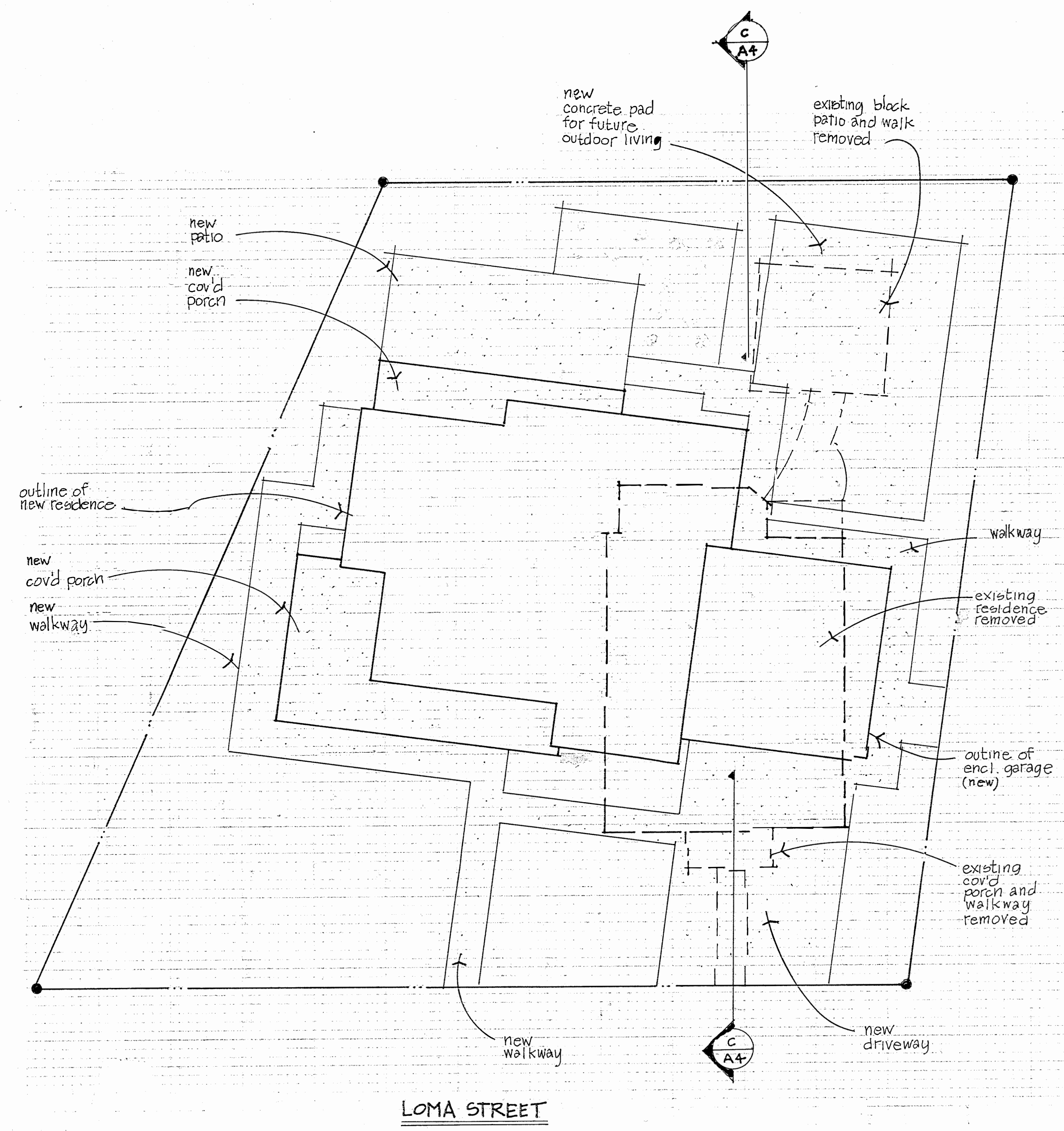
# SITE SECTION

### IMPERVIOUS CALCULATIONS

**A. Total Site Area: 7,461 sq. ft.**  
**B. Total Land Area Disturbed During Construction (including clearing, grading, stockpiling, or excavation.**

IMPERVIOUS AREA:

	Total Exist. Pre-project	Exiting Area (Retained)	Existing Area (Replace)	Retained Area	New Area	Total
<b>Total On Site:</b>	920 sf.	920 sf.	0	0	3,686 sf	3,686 sf.
<u><b>PEVEROUS AREA:</b></u>						
	6,541 sf.	0	0	0	3,775 sf.	3775 sf.



## IMPERVIOUS COVERAGE PLAN

$$1/8" = 1' - 0"$$

REVISIONS	BY

BR

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WUNDRAM RESIDENCE  
16805 Loma Street  
Los Gatos, California

SHEET: 14 PERU 05 / section

SCALE: noted

DATE: 10.17.25

DRAWN: a b

A3

1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.

2. NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.

3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (4080 399-5771) AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:

a. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;

b. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.

4. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

5. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.

6. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).

7. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.

8. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.

9. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.

10. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.

11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:

a. RETAINING WALL TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).

b. TOE AND TOP OF CUT AND FILL SLOPES.

12. PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.

SOILS ENGINEER \_\_\_\_\_

REFERENCE REPORT NO. \_\_\_\_\_, DATED \_\_\_\_\_

LETTER NO. \_\_\_\_\_, DATED \_\_\_\_\_, 20\_\_\_\_, SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.

13. DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).

14. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.

15. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.

16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.

17. OWNER/APPLICANT: \_\_\_\_\_ WUNDRAM \_\_\_\_\_ PHONE: \_\_\_\_\_

18. GENERAL CONTRACTOR: \_\_\_\_\_ PHONE: \_\_\_\_\_

19. GRADING CONTRACTOR: \_\_\_\_\_ PHONE: \_\_\_\_\_

- ## OWN OF LOS GATOS NPDES NOTES
1. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
  2. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
  3. APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
  4. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
  5. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
  6. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
  7. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
  8. DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INfiltrATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

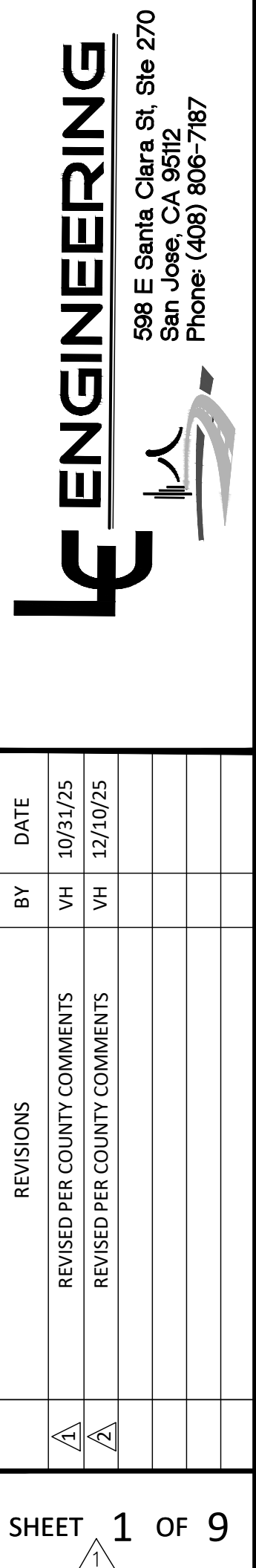
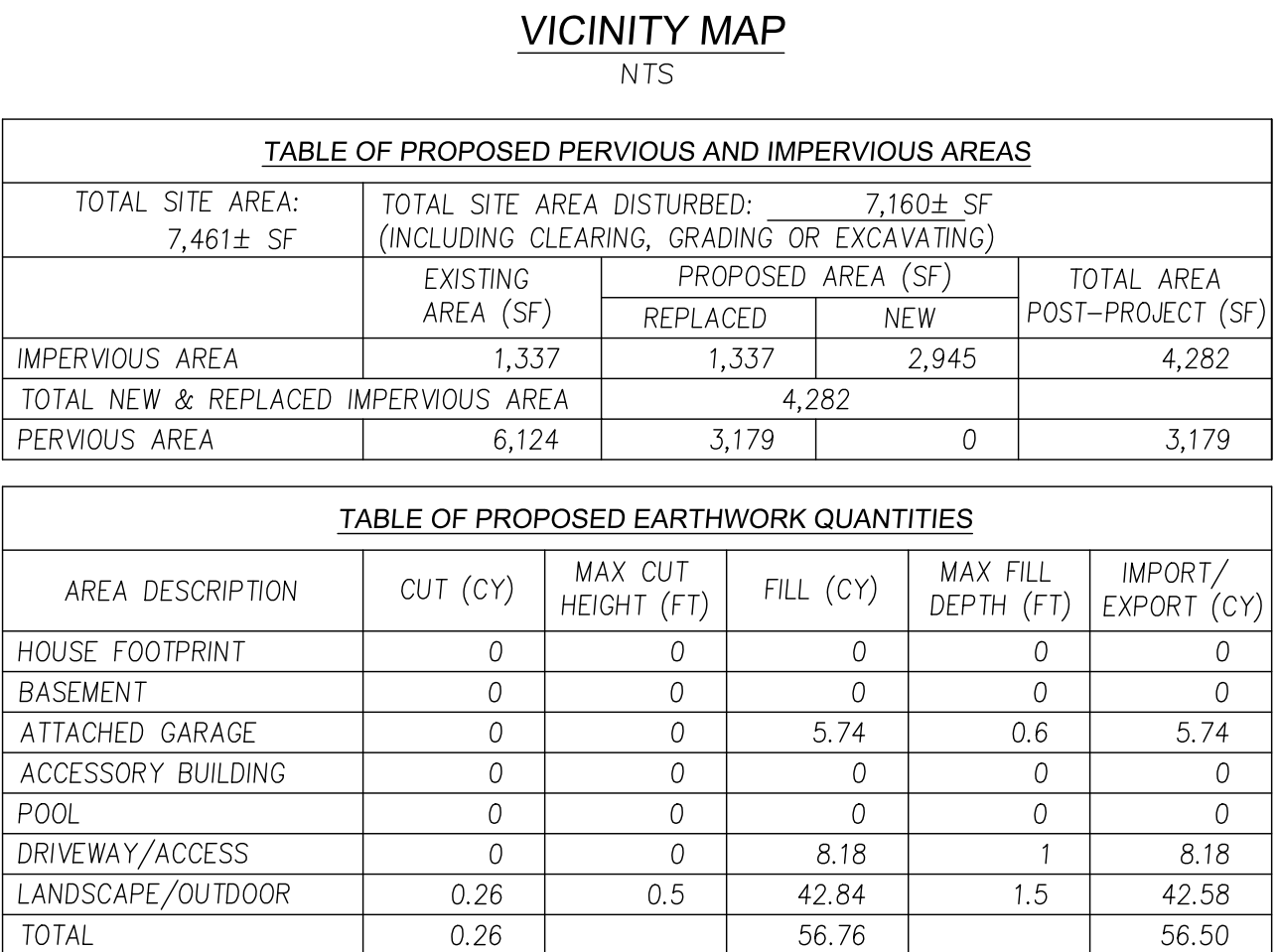
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6. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
7. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

PROJECT DATA		
1	PROJECT ADDRESS:	16805 LOMA STREET, LOS GATOS, CA 95032
2	PROJECT OWNER:	WUNDRAM WILLIAM
3	ASSESSORS PARCEL NUMBER:	532-07-101
4	EXISTING USE:	RESIDENTIAL
5	EXISTING ZONING:	R-1-D
6	PROPOSED USE:	RESIDENTIAL
7	PROPOSED ZONING:	R-1-D
8	SITE AREA:	0.1 ACRES MORE OR LESS
9	APPLICANT/DEVELOPER:	WUNDRAM WILLIAM
10	CONSULTANTS:	
	A. ARCHITECT:	CALIFORNIA HORTICULTURE 753 CAMDEN AVE, CAMPELL, CA 95008 TEL: (408) 364-3199
	B. SOIL ENGINEERING:	
	C. SURVEYOR:	LC ENGINEERING 598 E. SANTA CLARA ST, #270 SAN JOSE, CA 95112 TEL: (408) 806-7187
	D. CIVIL ENGINEER:	LC ENGINEERING 598 E. SANTA CLARA ST, #270 SAN JOSE, CA 95112 TEL: (408) 806-7187
11	WATER SUPPLY:	SAN JOSE WATER COMPANY
12	SANITARY SEWER DISPOSAL:	WEST VALLEY SANITATION DISTRICT (WVSD)
13	GAS AND ELECTRIC:	PACIFIC GAS AND ELECTRIC
14	TELEPHONE:	
15	CABLE:	
16	STORM DRAIN:	THE TOWN OF LOS GATOS
17	FIRE PROTECTION:	SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT
18	DATUM:	MAG NAIL ELEV = 376.98' (NAVD 88) GPS OBSERVATION
19	BENCHMARK INFORMATION	PROJECT VERTICAL DATUM IS BASED ON NGVD 88
20	BASIS OF BEARINGS	THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF LOMA STREET, AS SHOWN AS N78°17'15"W ON CERTAIN MAP OF PARCEL MAP, RECORDED IN BOOK 292 OF MAPS AT PAGE 50, SANTA CLARA COUNTY RECORDS.

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	N&S	NAIL AND SILVER
AD	AREA DRAIN	NTS	NOT TO SCALE
AE	ANCHOR EASEMENT	OH	OVERHEAD
BB	BUBBLER BOX	OG	ORIGINAL GROUND
BLDG	BUILDING	OS	OFFSET
BWL	BACK OF WALK	P	PAVEMENT FINISH GRADE
BWL	BOTTOM OF WALL	PA	PATIO
CATV	CABLE TELEVISION	PAD	PAD ELEVATION
CED	COBBLE ROCK ENERGY DISSIPATOR	FDC	FIRE DEPARTMENT CONNECTION
CG	CURB & GUTTER	R	PROPERTY LINE
CE	CENTERLINE	PEE	PEDESTRIAN EASEMENT
CLF	CHAIN LINK FENCE	PERF	PERFORATED
CO	SANITARY SEWER CLEANOUT	PM	PARCEL MAP
CO	CURB OPENING	PP	POWER POLE PROP. P
CONC	CONCRETE	PSDE	PRIVATE STORM DRAIN
CSD	COUNTY STANDARD DETAIL	PSE	PUBLIC SERVICE EASE
DE	DRAINAGE EMITTER	PUE	PUBLIC UTILITY EASEMENT
DI	DRAINAGE INLET	PVMT	PAVEMENT
DOC	DOCUMENT	PVC	POLYVINYL CHLORIDE
DW	DOWNSPOUT	R	RADIUS
DWY	DRIVEWAY	RW	RETAINING WALL
EA	EASEMENT	RE	ROAD EASEMENT
ELEV	ELEVATION	REM	REMOVE
EM	ELECTRIC METER	R/W	RIGHT OF WAY
E(OH)	ELECTRIC OVERHEAD	SB	SETBACK
E(UG)	ELECTRIC UNDERGROUND	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SDE	STORM DRAIN EASEMENT
EV	ELECTRIC VAULT	SE	SLOPE EASEMENT
EX	EXISTING	SS	SANITARY SEWER/LAT
FC	FACE OF CURB	SSE	SANITARY SEWER EASE
FD	FOUND	STA	STATION
FF	FINISH ELEVATION OF SUBFLOOR	STD	STANDARD DETAIL
FG	GROUND FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TOB	TOP OF BANK
F	FLOW LINE	TC	TOP OF CURB
FM	FORCED MAIN	TEMP	TEMPORARY
FS	FIRE SERVICE	TOC	TOP OF COVER
FT	FEET	TOE	TOE OF BANK
G	GARAGE SLAB ELEVATION/GAS LINE	TG	TOP OF GRATE
GPE	GENERAL PUBLIC EASEMENT	TIF	TREE PROTECTION FENCE
GSR	GRADING SETBACK	TW	TOP OF WALL
GM	GAS METER	TYF	TYPICAL
HP	HI POINT	UE	UTILITY EASEMENT
IEE	INGRESS/EGRESS EASEMENT	VG	VALLEY GUTTER
INVERT	INVERT	W	WATER
IP	IRON PIPE	WCE	WIRE CLEARANCE EASEMENT
JP	JOINT POLE	WE	WATER EASEMENT
LIP	LIP OF GUTTER	WLK	WALKWAY
LRDA	LEAST RESTRICTIVE DEVELOPMENT AREA	WM	WATER METER
LS	LANDSCAPED AREA	WCE	WIRE OVERHANG EASEMENT
MAX	MAXIMUM	WV	WATER VALVE
M	BOOK OF MAPS AT PAGE	WVSD	WEST VALLEY SANITARY
MH	MANHOLE		OF SANTA CLARA COUNTY

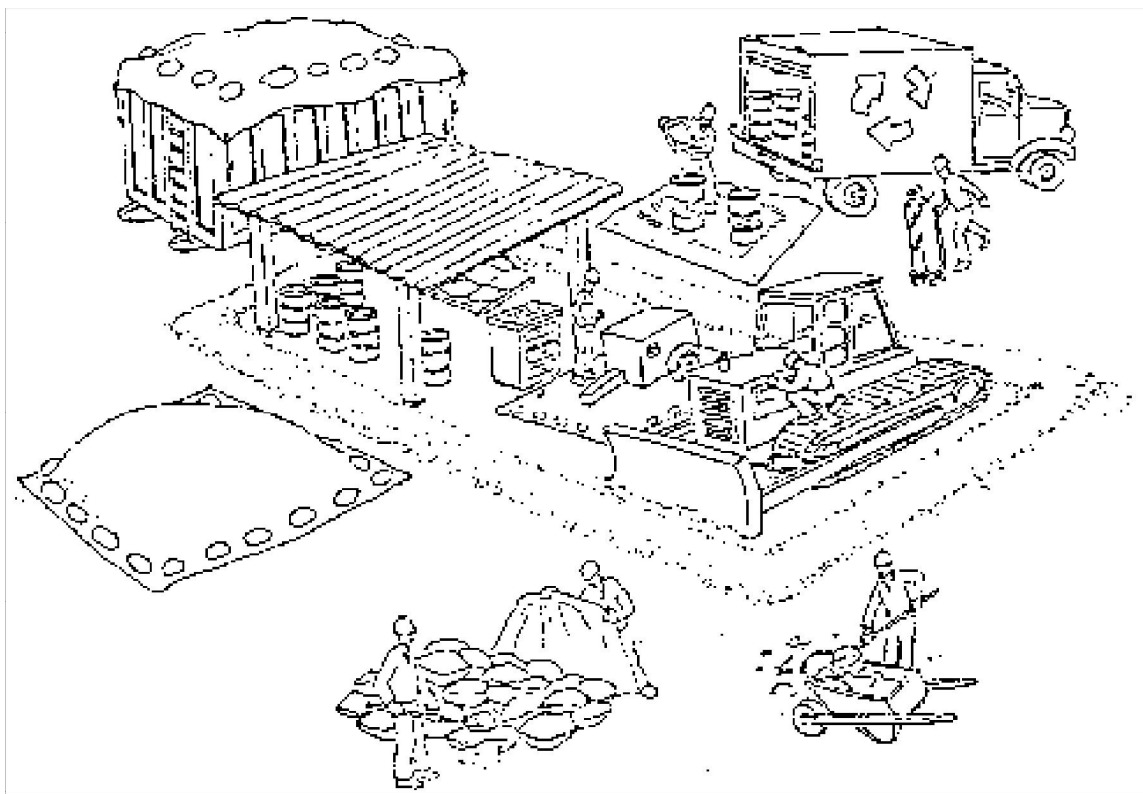
SIDEWALK  
 CURB AND GUTTER  
 CENTER LINE  
 PROPERTY LINE  
 LOT LINE  
 EASEMENT LINE  
 EDGE OF PAVEMENT  
 DRIVEWAY  
 PCC  
 AC  
 STANDARD MONUMENT  
 BENCH MARK  
 MANHOLE  
 SANITARY SEWER CLEANOUT  
 SANITARY SEWER MANHOLE  
 STORM DRAIN MANHOLE  
 STORM DRAIN INLET  
 WATER METER  
 VALVE  
 FIRE HYDRANT  
 STREET LIGHT  
 POWER POLE  
 DOWNSPOUT WITH 4" PVC  
 DOWNSPOUT WITH SPLASH BLOCKS  
 CABLE TELEVISION LINE  
 ELECTRICAL LINE  
 ELECTRICAL METER  
 GAS METER  
 IRRIGATION LINE  
 NATURAL GAS LINE  
 OVERHEAD LINE  
 SANITARY SEWER LINE  
 STORM DRAIN LINE  
 TELEPHONE LINE  
 WATER LINE  
 TRAFFIC SIGNAL CONDUIT  
 LIGHTING CONDUIT  
 ROADSIDE SIGN & SIGN CODE  
 FENCE  
 TREE/SHRUB  
 CONTOUR LINES  
 RETAINING WALL  

 ← SECTION NUMBER  
 ← SHEET NUMBER



CONTRACTOR AGREES THAT THE ASSUMED USE AND COVER THE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS, AND THAT THE CONTRACTOR SHALL DESIGN, INSTALL, MAINTAIN AND REPAIR THE CONTROLS AND MEASURES TO PREVENT POLLUTION FROM THE PROJECT, EXCEPT FOR POLLUTION ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE SUBMITTER.

# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

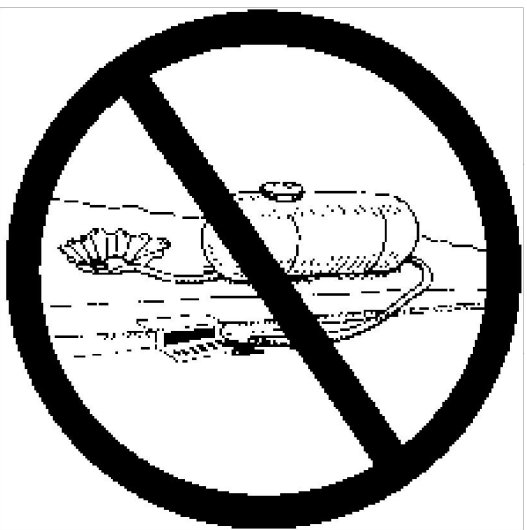
### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



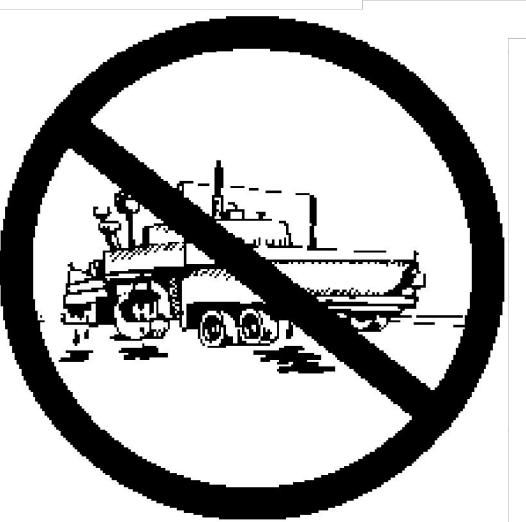
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

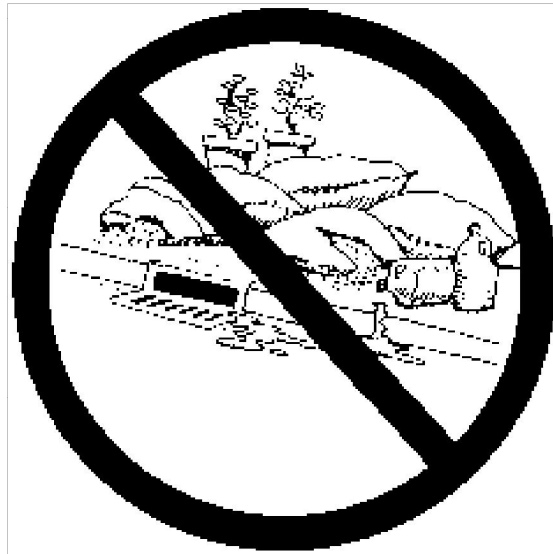
### Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A STANDARD OR SHALLOW EXCAVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.
5. EASEMENTS, SETBACKS AND OTHER ENCUMBRANCES SHOWN ON THIS SURVEY MAP ARE OBTAINED FROM THE RECORDED MAPS. A TITLE REPORT WAS NOT PROVIDED BY THE CLIENT FOR THIS SURVEY. HENCE, ANY OTHER EASEMENTS, SETBACKS AND ENCUMBRANCES IDENTIFIED IN THE TITLE REPORT ARE NOT SHOWN ON THIS MAP
6. DISTANCES FROM BUILDING SHOWN ARE TO THE WALL FINISH SURFACE AND PERPENDICULARLY TO THE PROPERTY LINES.
7. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

	AREA DRAIN
	BENCHMARK
	BOLLARD
	BOUNDARY
	CATCH BASIN
	CENTERLINE
	BRICK
	CONCRETE
	WOOD
	ELECTRICAL LINE
	ELECTRICAL OVERHEAD
	EXISTING CONTOUR
	EASEMENT LINE
	ELECTRICAL METER
	EXISTING ELEVATION
	EXISTING HYDRANT
	EXISTING CHAIN LINK FENCE
	EXISTING WOOD FENCE
	EXISTING IRON FENCE
	EXISTING TREE AND DIAMETER
	FLOW LINE
	GAS LINE
	GAS METER
	GUY POLE
	GUY WIRE ANCHOR
	INLET
	JOINT POLE
	LIGHT POST
	MANHOLE
	MONUMENT LINE
	MAIL BOX
	FOUND MONUMENT
	PARCEL LINE/RIGHT OF WAY

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AE	ANCHOR EASEMENT
APN	ASSESSOR'S PARCEL NUMBER
BB	BUBBLER BOX
BD	BRASS DISK
BLDG	BUILDING
BRK	BUILDING
BSL	BUILDING SETBACK LINE
BW	BOTTOM OF WALL
CG	CURB & GUTTER
C	CENTERLINE
CLM	CHAIN LINK FENCE
CLF	COLUMN
CLST	CLOSET
CS	SANITARY SEWER CLEANOUT
CONC	CONCRETE
CSD	CITY STANDARD DETAIL
DI	DRAINAGE INLET
DS	DOWNSPOUT
DMG	DAMAGE
DWY	DRIVEWAY
E	EASEMENT
ELEC	ELECTRICAL
ELEV	ELEVATION
EM	ELECTRIC METER
E(OH)	ELECTRIC OVERHEAD
E(UH)	ELECTRIC UNDERGROUND
EDG	EDGING
EP	EDGE OF PAVEMENT
EX	EXISTING
FC	FACE OF CURB
FD	FOUND
FF	FINISH FLOOR
GH	FIRE HYDRANT
FL	FLOW LINE
GD	GROUND
QM	GAS METER
INV	INVERT
IP	IRON PIPE
LD	LANDING
LIP	LIP OF GUTTER
MH	MANHOLE
MIN	MINIMUM
MB	MONUMENT BOX
MW	MONUMENT WELL
(N)	NEW
N&S	NAIL AND SILVER
NTS	NOT TO SCALE
OH	OVERHEAD
OG	ORIGINAL GROUND
PF	PAVEMENT FINISH GRADE
PN	PIN
PAD	PAD ELEVATION
P	PROPERTY LINE
PGE	PACIFIC GAS & ELECTRIC
PSE	PUBLIC SERVICE EASEMENT
PT	PACIFIC TELEPHONE
PUE	PUBLIC UTILITY EASEMENT
PVMT	PAVEMENT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RC	ROLLING CURB
RW	RETAINING WALL
R/W	RIGHT OF WAY
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SE	SLOPE EASEMENT
SF	SQUARE FEET
SS	SANITARY SEWER/LATERAL
SSE	SANITARY SEWER EASEMENT
STA	STATION
STD	STANDARD DETAIL
SW	SIDEWALK
TC	TOP OF CURB
TEMP	TEMPORARY
TOE	TOE OF BANK
TG	TOP OF GRATE
TW	TOP OF WALL
TYP	TYPICAL
VG	VALLEY GUTTER
YS	YELLOW STRIPE
W	WATER
WCE	WATER CLEARANCE EASEMENT
WALK	WALKWAY
WM	WATER METER
WOE	WIRE OVERHANG EASEMENT
WV	WATER VALVE
WS	WHITE STRIPE

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF LOMA STREET, AS SHOWN AS N78°17'15"W ON CERTAIN MAP OF PARCEL MAP, RECORDED IN BOOK 292 OF MAPS AT PAGE 50, SANTA CLARA COUNTY RECORDS.

ZONES:  
100-YEAR BASE FLOOD ELEVATION:  
COMMUNITY:  
MAP NUMBER:  
EFFECTIVE DATE:


FEMA INFORMATION  
SHOWN ON THIS SURVEY MAP WAS INTERPOLATED  
USING FEMA FIRM AND GIS MAPS  
FROM FEMA FLOOD MAP SERVICE WEBSITE:  
<https://msc.fema.gov>

THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS  
PERFORMED BY ME OR UNDER MY DIRECTION.

Woon Chun  
H. W. CHUI  
RCE NO. 32912 EXP.06-30-2026



GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

ROAD NAME : LOMA STREET

# BOUNDARY AND TOPOGRAPHIC SURVEY

**16805 LOMA STREET**

**APN 532-07-101**


# Los Gatos

9  
OF  
3  
1

CONTRACT NO.	PROJECT NO.
--------------	-------------

# ENGINEERING

598 E Santa Clara St, Ste 270  
San Jose, CA 95112  
Phone: (408) 806-7187



DATE:	09/19/25
SCALE:	VH
DESIGN:	VH
DRAWN:	VH
CHECK:	HV
ENGR:	HV
PROJECT NO.:	

GRADING AND DRAINAGE PLANS  
**16805 LOMA STREET**  
DEMOLITION PLAN & SITE PLAN  
GRADING PERMIT APPLICATION NO.

**ENGINEERING**  
508 E Santa Clara St., Ste 270  
San Jose, CA 95131  
Phone: (408) 500-7187

REVISIONS	DATE	BY
REVISED PER COUNTY COMMENTS	10/31/25	VH
REVISED PER COUNTY COMMENTS	12/10/25	VH

SHEET 4 OF 9

**LEGEND**

- ITEM OR AREA TO BE REMOVED
- ITEM OR AREA TO REMAIN
- BRICK
- ASPHALT CONCRETE
- LAWN
- PROPOSED CONCRETE
- PORCH
- BUILDING
- EXISTING TREE TO REMAIN

**ONSITE PRE - DEVELOPMENT**

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	BLDG	REMOVE	941 SF	
A2	PORCH/WLK	REMOVE	92 SF	
A3	LANDING/CRAWL	REMOVE	80 SF	
A4	BRICK WLK	REMOVE	224 SF	
L	LANDSCAPE			6,124 SF
TOTAL			1,337 SF	6,124 SF

**ONSITE POST - DEVELOPMENT**

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
B1	BLDG	NEW	1,729 SF	
B2	PORCH	NEW	389 SF	
B3	DECK/WLK	NEW	410 SF	
B4	PAD	NEW	640 SF	
B5	WLK	NEW	278 SF	
B6	DWY	NEW	549 SF	
B7	WLK	NEW	161 SF	
B8	PATIO	NEW	126 SF	
L	LANDSCAPE			3,179 SF
TOTAL			4,282 SF	3,179 SF

**SUMMARY**

DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	1,337 SF	6,124 SF
POST-DEVELOPMENT	4,282 SF	3,179 SF
DIFFERENCE	2,945 SF	-2,945 SF

**OFFSITE PRE - DEVELOPMENT**

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A5	ASPHALT CONCRETE	REMOVE	294 SF	
A6	DWY APP	REMAIN	56 SF	
L	LANDSCAPE			505 SF
TOTAL			350 SF	505 SF

**OFFSITE POST - DEVELOPMENT**

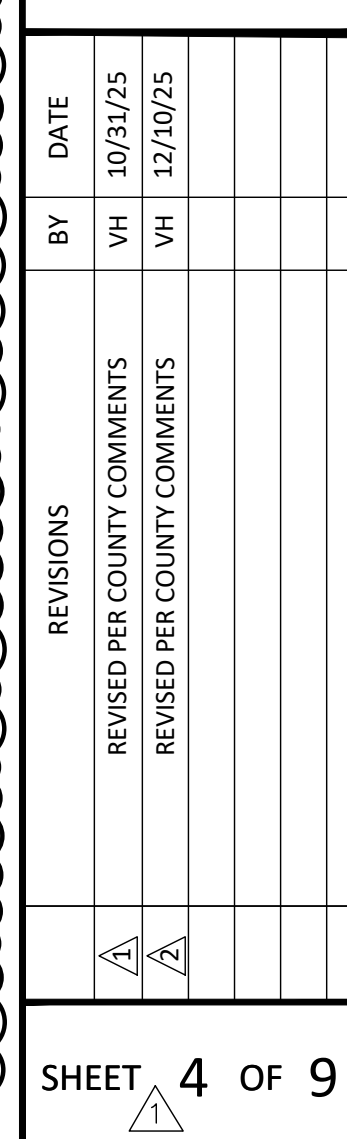
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A6	DWY APP	REMAIN	56 SF	
B9	DWY APP/SW/C&G	NEW	583 SF	
B10	ASPHALT CONCRETE	NEW	27 SF	
L	LANDSCAPE			189 SF
TOTAL			666 SF	189 SF

**SUMMARY**

DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	350 SF	505 SF
POST-DEVELOPMENT	666 SF	189 SF
DIFFERENCE	316 SF	-316 SF

**GRAPHIC SCALE**

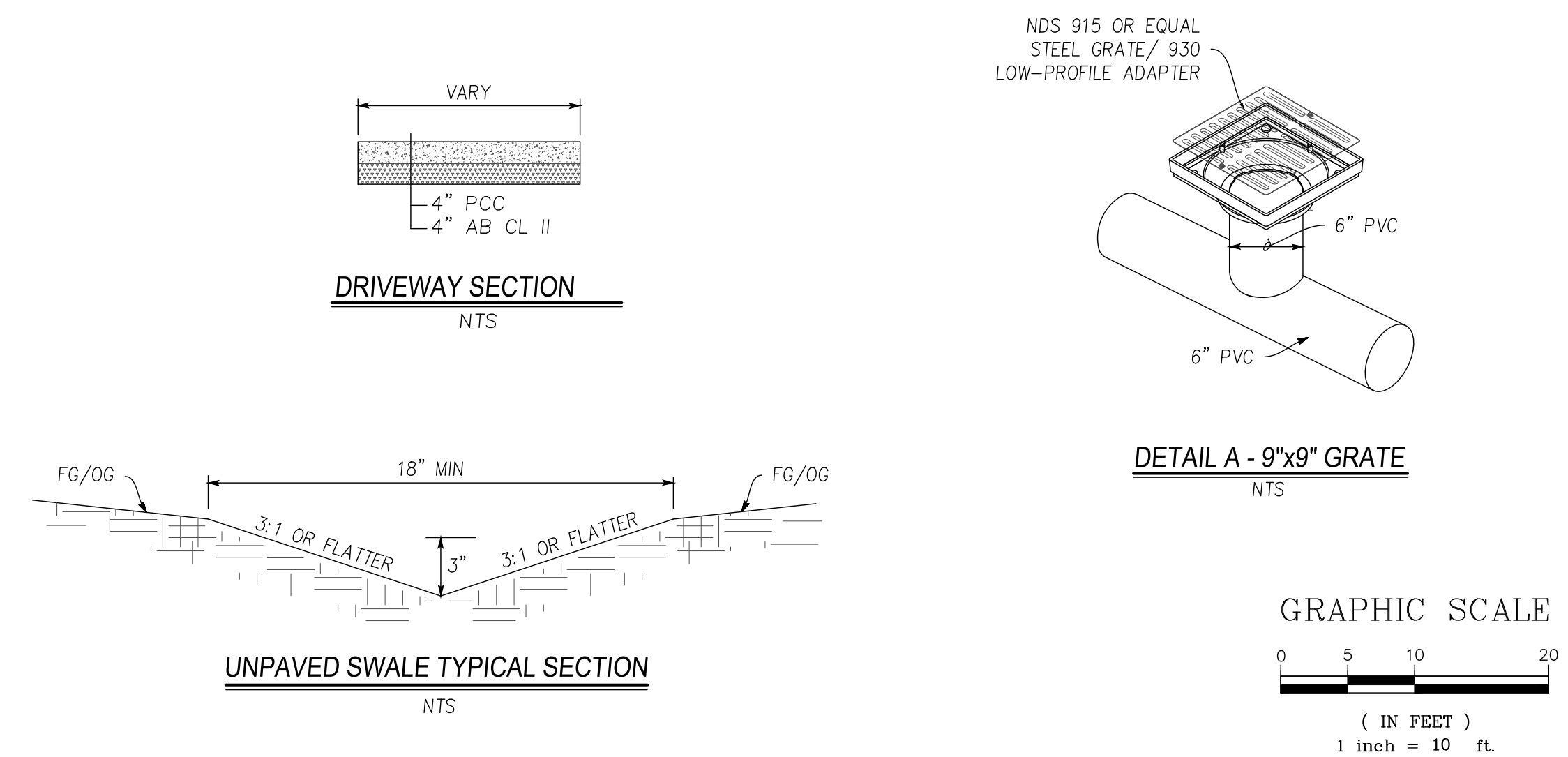
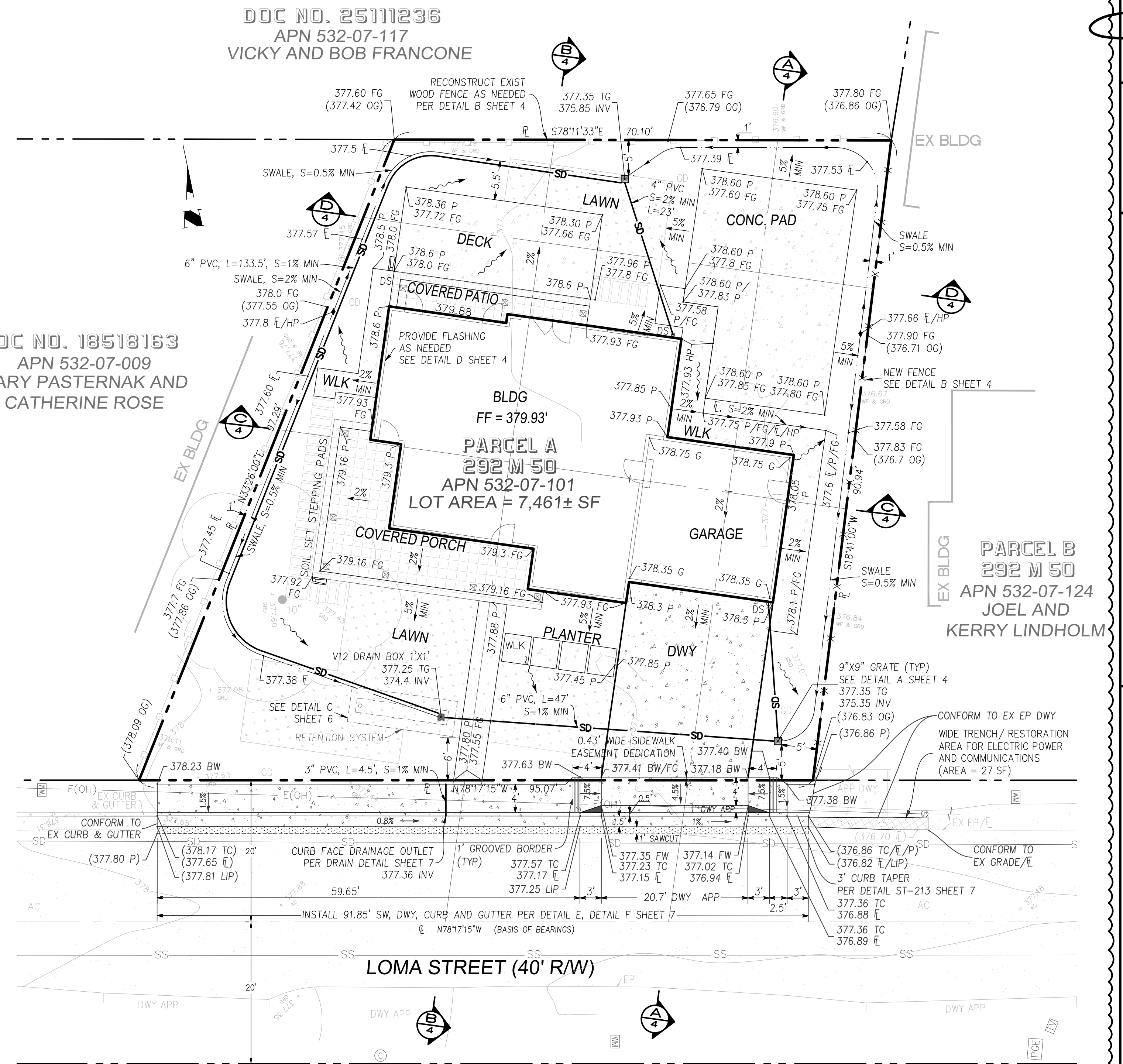
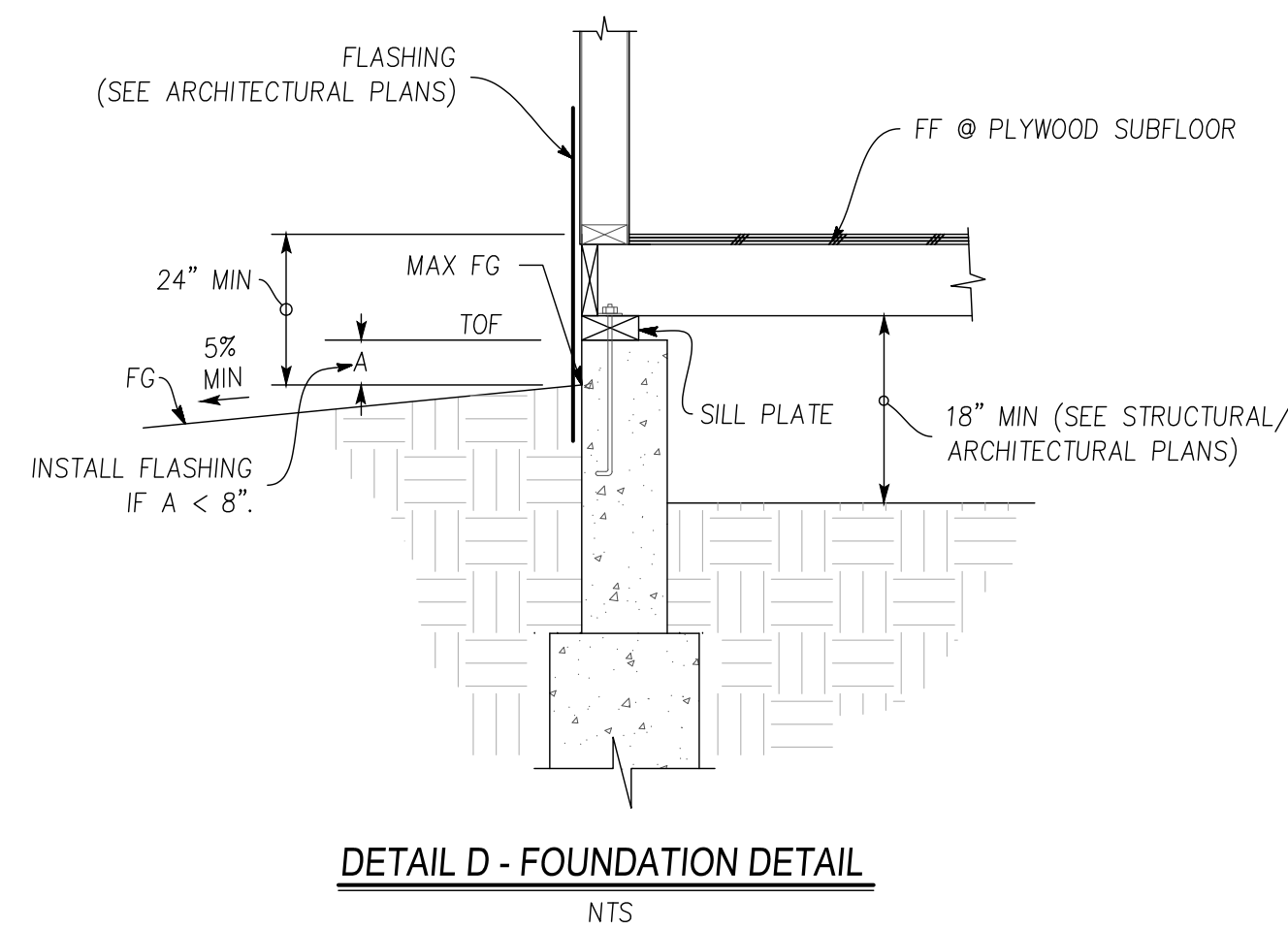
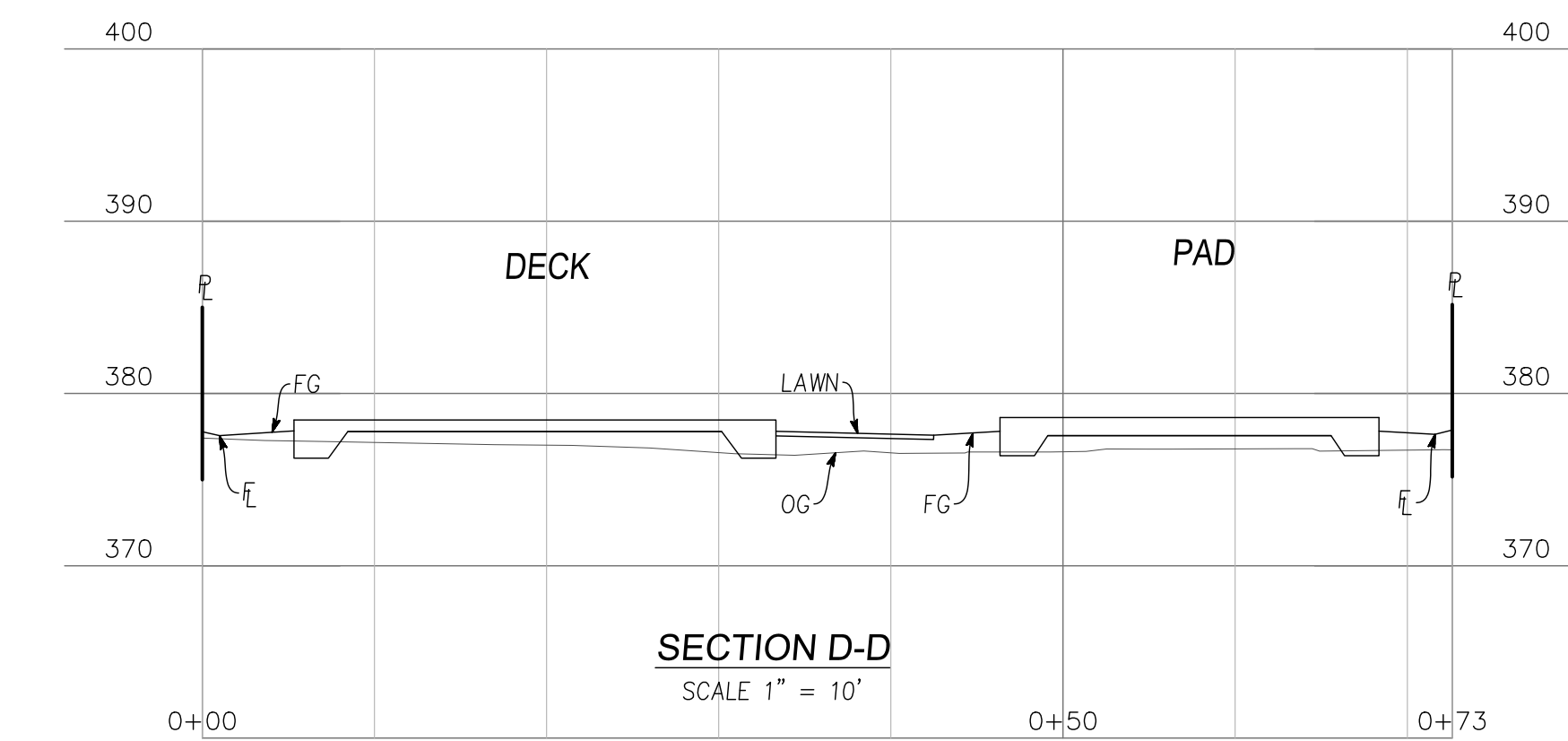
( IN FEET )  
1 inch = 10 ft



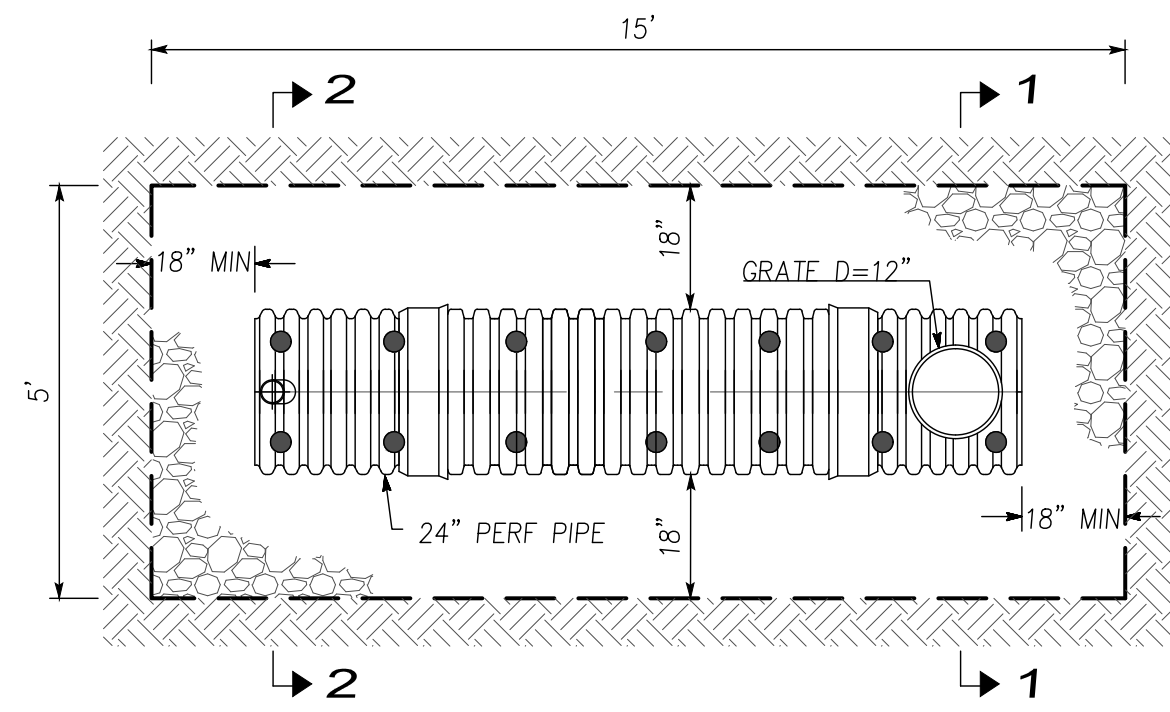
**ENGINEERING**

598 E Santa Clara St, Ste 270  
San Jose, CA 95112  
Phone: (408) 806-7187

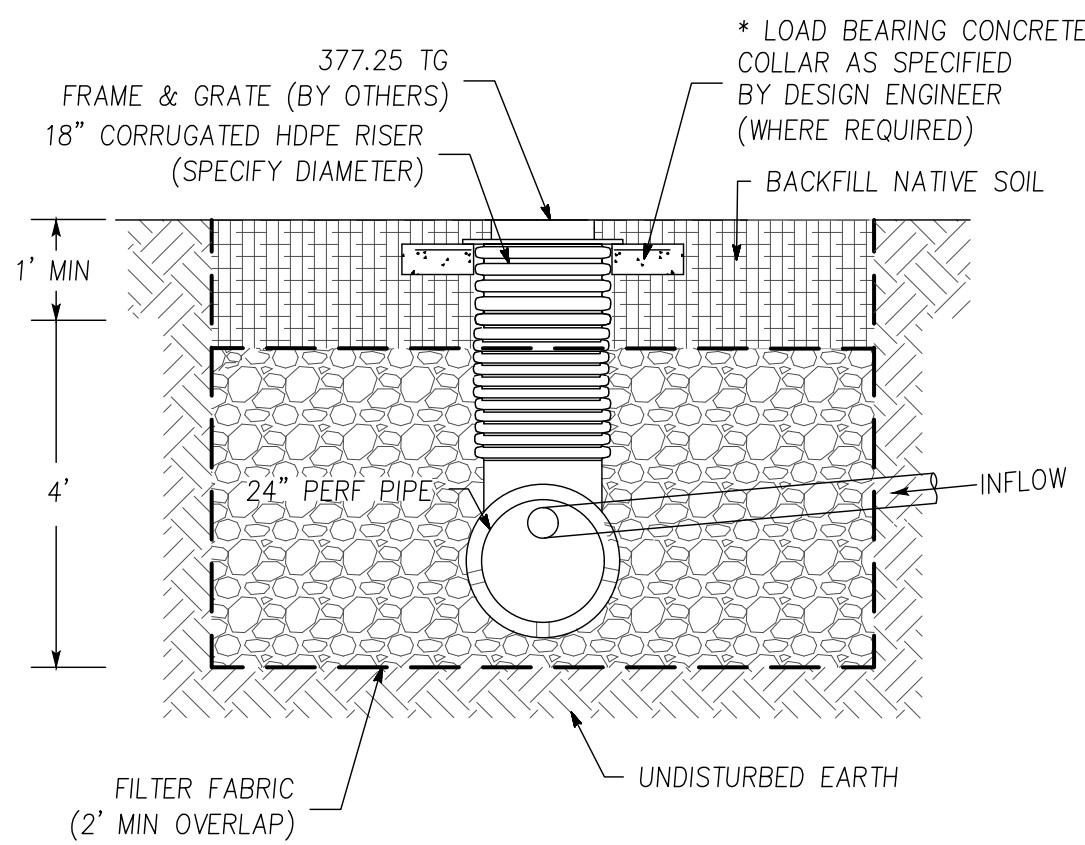
SHEET 4 OF 4



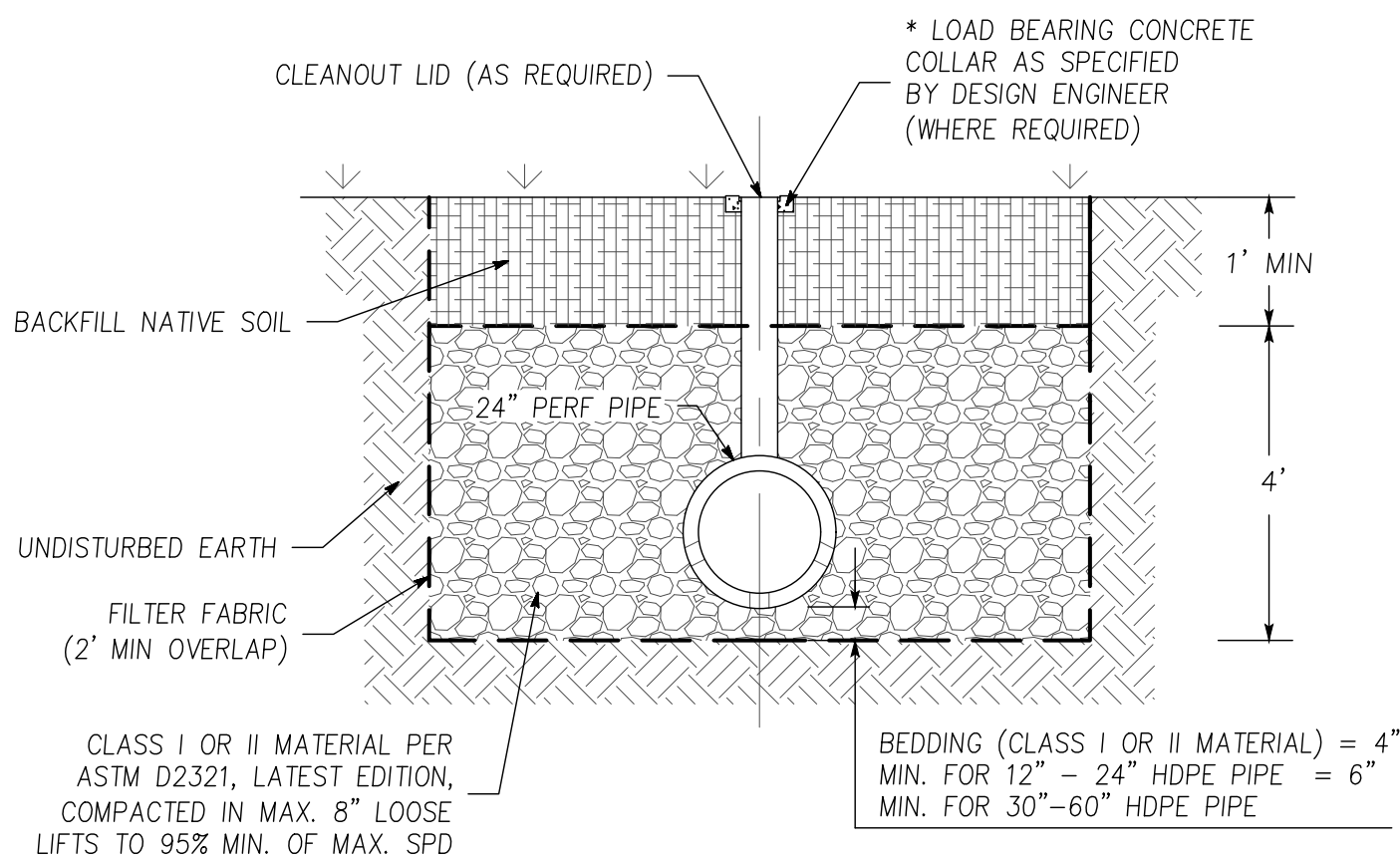
REVISIONS	DATE	BY	REVISIONS	DATE	BY
1	10/31/25	VH	REVISED PER COUNTY COMMENTS	10/31/25	VH
2	12/10/25	VH	REVISED PER COUNTY COMMENTS	12/10/25	VH



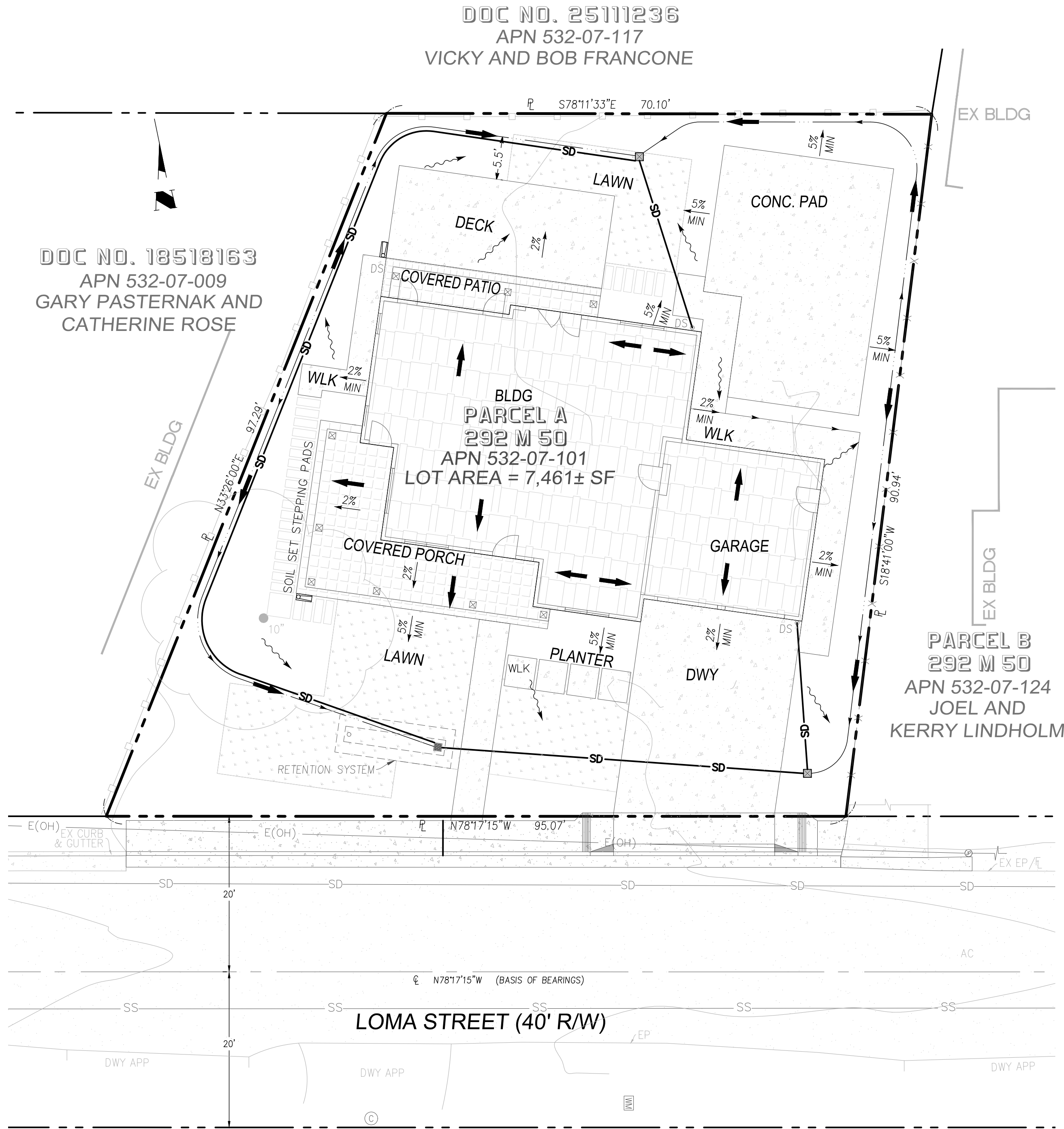
DETAIL C - RETENTION SYSTEM  
NTS



SECTION 1-1



SECTION 2-2



**TREATMENT SYSTEM:**

1. RETENTION SYSTEM

**INSPECTION & MAINTENANCE :**

1. UPON PROJECT COMPLETION, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ROUTINE INSPECTION AND MAINTENANCE OF ALL ON-SITE DRAIN SYSTEM. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON BIENNIAL BASIS OR AS FOUND NECESSARY.
2. RETENTIONS & DETENTIONS SHALL BE INSPECTED PERIODICALLY BEFORE & DURING THE RAINY SEASON. THE MAINTENANCE REQUIREMENTS OF SWALES & RETENTIONS INCLUDE PERIODIC INSPECTION FOR EROSION AND FORMATION OF GULLIES, REMOVAL OF SEDIMENT BUILDUP & DEBRIS FROM THE BOTTOM OF CHANNEL, AND MOWING GRASS LINED SWALES SHOULD BE MOWED REGULARLY TO MAINTAIN A HEIGHT OF APPROX. 4-6 INCHES. NATURALIZED SWALES REDUCE THE MOWING REQUIREMENTS TO ONLY ONCE PER SEASON.

**SITE DESIGN MEASURES:**

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

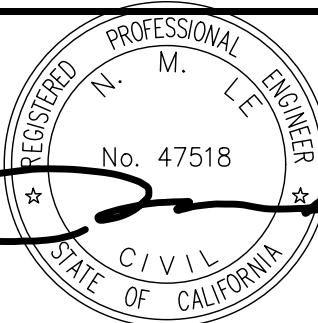
**SOURCE CONTROL MEASURES:**

1. GOOD HOUSEKEEPING, EG, SWEEP PAVEMENT AND CLEAN CATCH BASIN
2. STORM DRAIN LABELING.

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.



DATE:	09/19/25
SCALE:	VH
DESIGN:	VH
DRAWN:	VH
CHECK:	HV
ENGR:	HV
PROJECT NO.:	

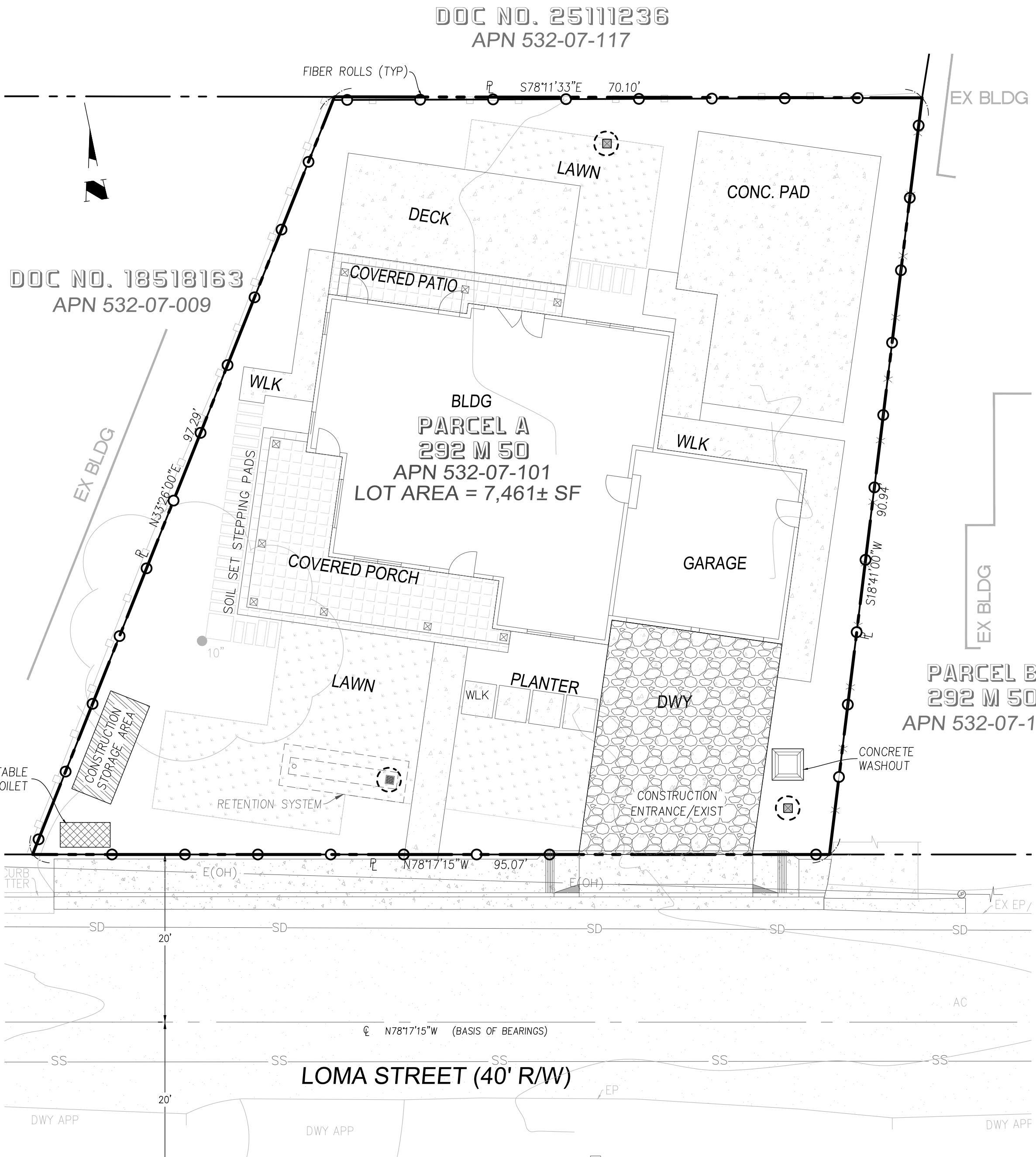
GRADING AND DRAINAGE PLANS  
16805 LOMA STREET  
STORMWATER CONTROL PLAN  
GRADING PERMIT APPLICATION NO. \_\_\_\_\_

**ENGINEERING**  
598 E Santa Clara St, Ste 270  
San Jose, CA 95128  
Phone: (408) 806-7187

REVISIONS	DATE	BY
REVISED PER COUNTY COMMENTS	10/31/25	VH
REVISED PER COUNTY COMMENTS	12/10/25	VH



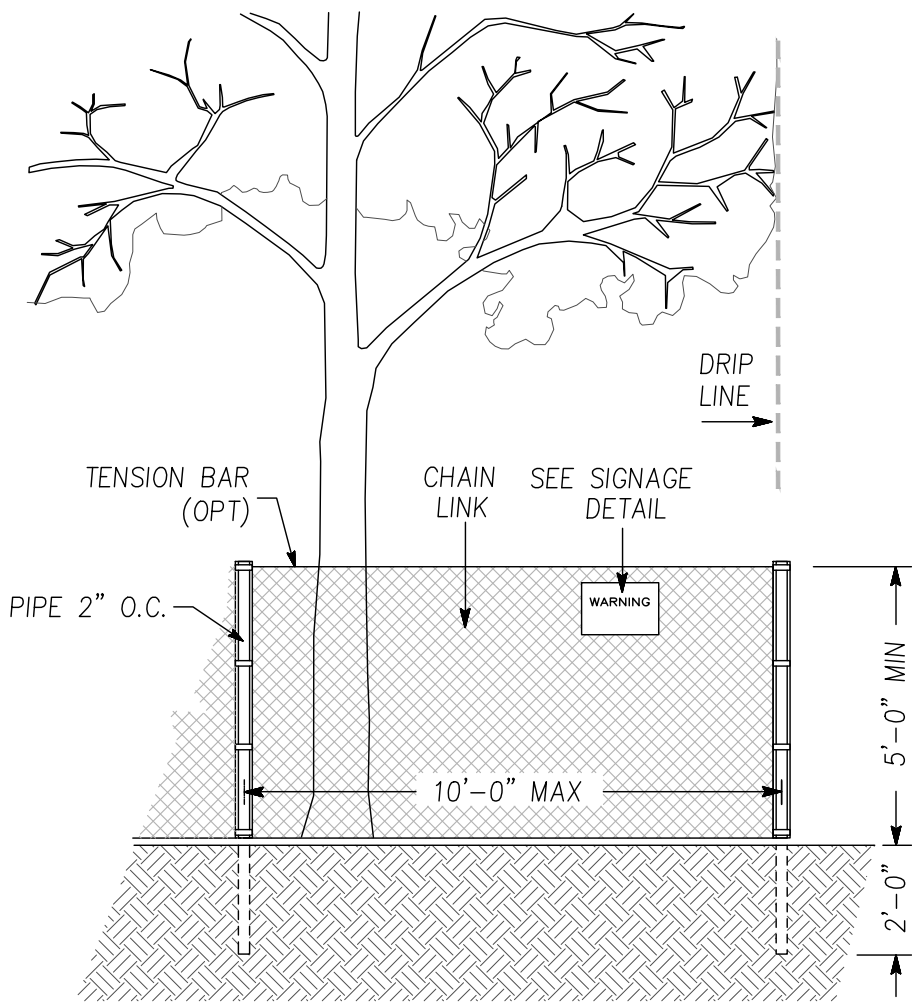
CONTRACTOR AGREES THAT HE SHALL ASSUME RESPONSIBILITY FOR THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS, AND THAT THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN THE EROSION CONTROL MEASURES AND THE CONSTRUCTION MANAGEMENT PLAN AND THE EROSION CONTROL MEASURES AND THE CONSTRUCTION MANAGEMENT PLAN.



EROSION CONTROL PLAN

NOTES:

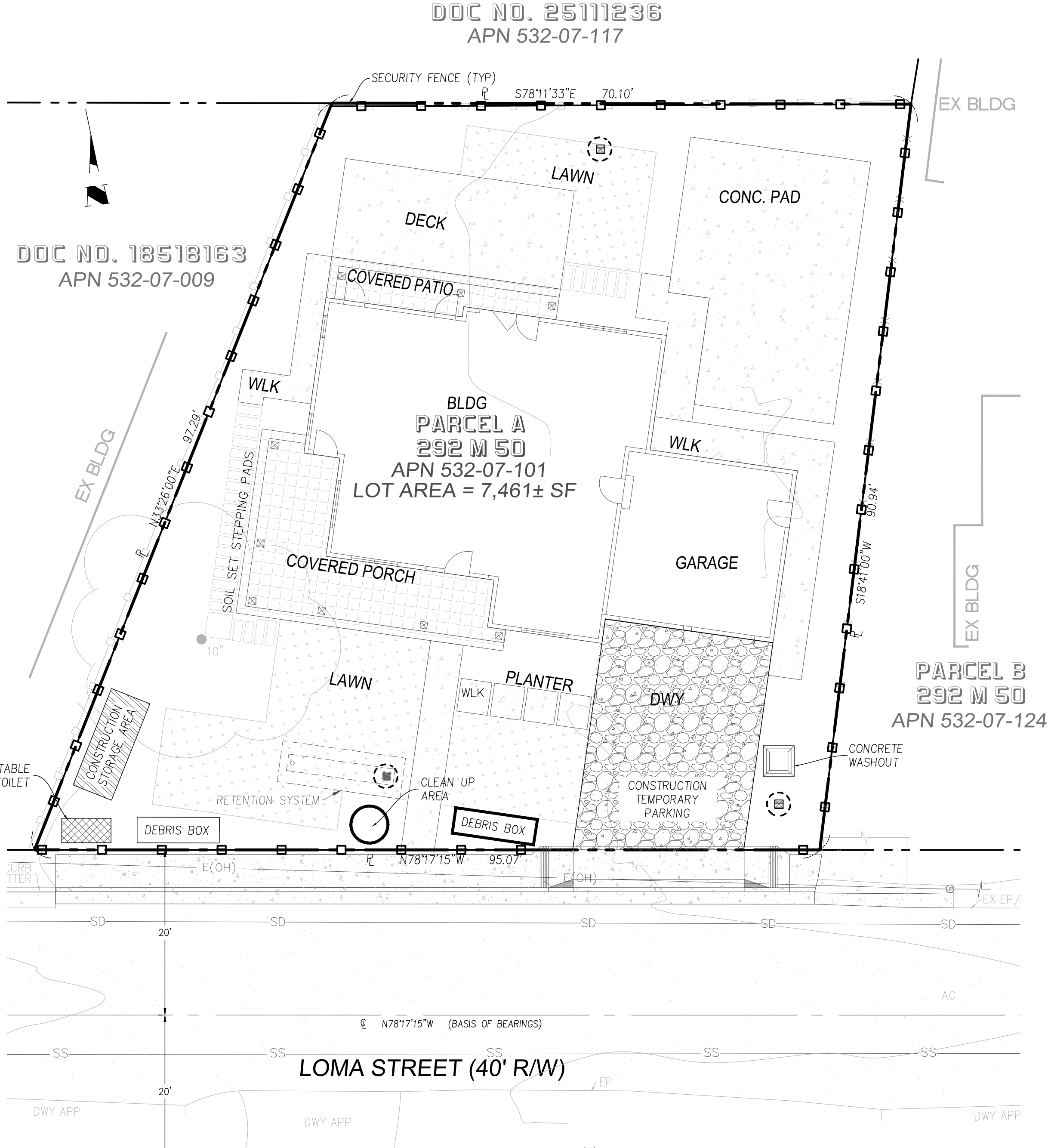
1. EROSION AND SEDIMENTS CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANENT LANDSCAPING IS INSTALLED.
2. CONTRACTOR TO PROVIDE STORMDRAIN INLET PROTECTION AT NEAREST INLET DOWNSTREAM OF PROJECT SITE



EXISTING TREE PROTECTION DETAIL

LEGEND

- CONCRETE WASHOUT
- CONSTRUCTION STORAGE AREA
- FIBER ROLLS
- PORTABLE TOILET
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST
- TEMPORARY DRAINAGE INLET PROTECTION

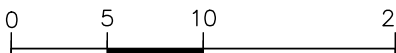


CONSTRUCTION MANAGEMENT PLAN

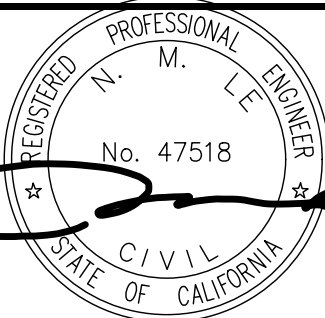
CONSTRUCTION SITE FIRE SAFETY:

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAILS AND SPECIFICATION S1-7.

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.



DATE:	09/19/25
SCALE:	VH
DESIGN:	VH
DRAWN:	VH
CHECK:	HV
ENGR:	HV
PROJECT NO.:	

GRADING AND DRAINAGE PLANS  
16805 LOMA STREET  
EROSION CONTROL PLAN  
CONSTRUCTION MANAGEMENT PLAN  
GRADING PERMIT APPLICATION NO.

**ENGINEERING**  
598 E Santa Clara St. Ste 270  
San Jose, CA 95128  
Phone: (408) 806-7187

REVISIONS	DATE	BY
REVISED PER COUNTY COMMENTS	10/31/25	VH
REVISED PER COUNTY COMMENTS	12/10/25	VH

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

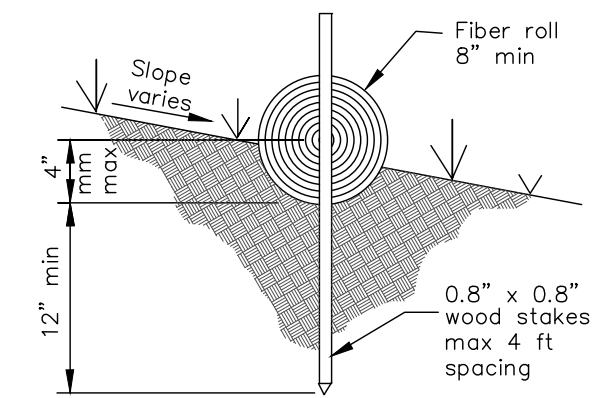
2. CIVIL ENGINEER: LC ENGINEERING 598 E SANTA CLARA ST, SUITE STE 270, SAN JOSE, CA 95112. (408) 806-7187

4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

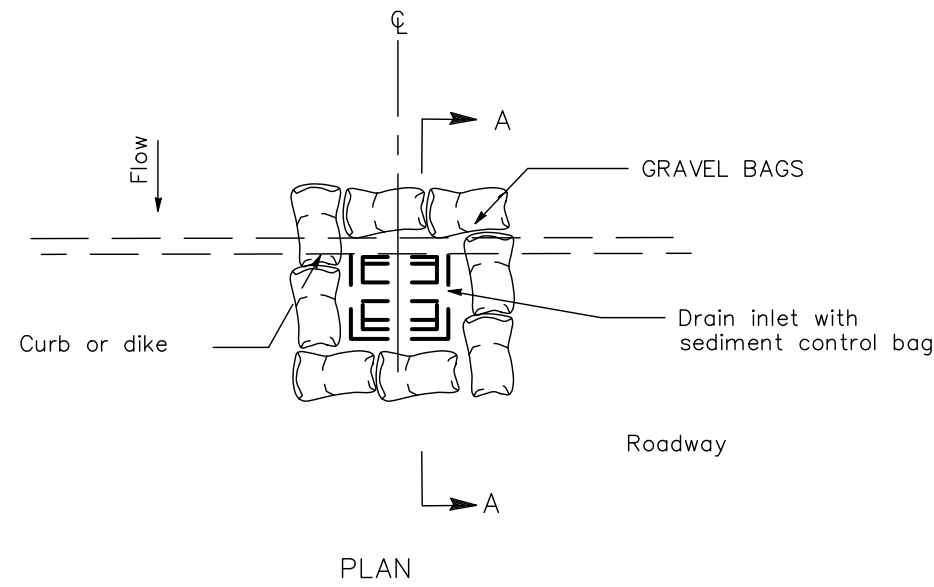
1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON. OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BESITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.
9. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND FULLES MUST BE REPAIRED.
2. SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.
3. EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.

## CASQA Detail SE-5

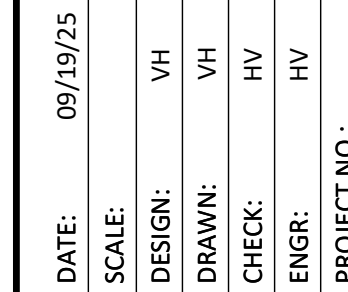
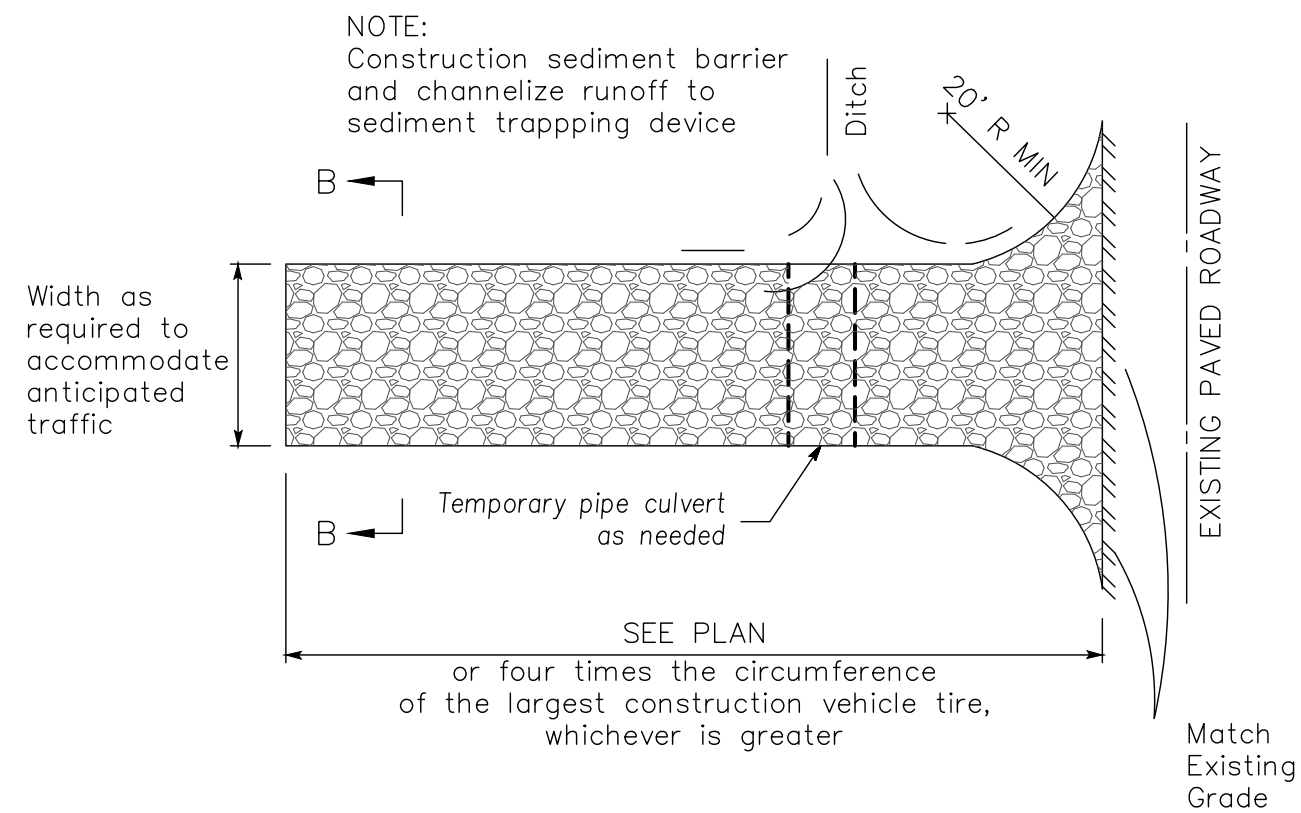


**ENTRENCHMENT DETAIL**  
NOT TO SCALE



For paved areas exposed to traffic

## CASQA Detail TC-1



**LE ENGINEERING**

598 E Santa Clara St, Ste 270  
San Jose CA 95112  
Phone: (408) 806-7187

	REVISIONS		BY	DATE
<u>A</u>	REVISED PER COUNTY COMMENTS		VH	10/31/25
<u>A</u>	REVISED PER COUNTY COMMENTS		VH	12/10/25



## CODE COMPLIANCE


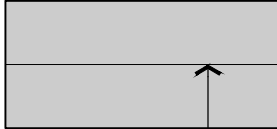
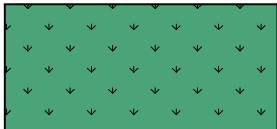






ALL WORK SHALL CONFORM TO LOCAL CODES & ORDINANCES INCLUDING THE FOLLOWING:

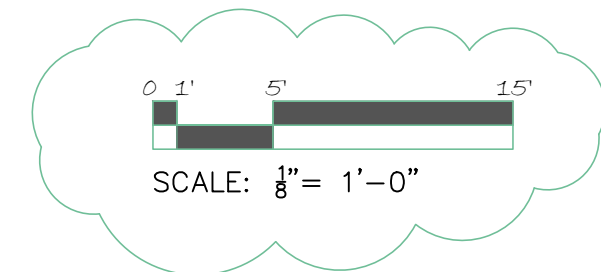
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CEC ELECTRICAL CODE
- 2022 ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN RESIDENTIAL CHECKLIST)

## WELO STATEMENTS:

"I agree to comply with the requirements for the performance compliance option of the MWEL0 and submit a complete Landscape Documentation Package."

## LEGEND

-  DRIVEWAY PAVING: 6" THICK POURED COLORED CONCRETE SET OVER 6" DEPTH CLASS II BASEROCK COMPACTED TO 95%.
-  PEDESTRIAN PAVING: 4" MIN. THICK CONCRETE W/ #3 REBAR @ 18" O.C.B.W. OVER 6" DEPTH CLASS II BASEROCK COMPACTED TO 95%. INTEGRAL COLOR AS SELECTED AND SOLVENT ETCH FINISH.
-  LAWN: GRASS FROM DELTA BLUEGRASS TO BE SELECTED BY OWNER.
-  SOIL-SET STEPPING PADS: 12"x36" AND 1.5" TO 2" THICK TO BE SELECTED BY OWNER SET ON 1" OF LEVELING SAND
-  HEADER BOARD: BLACK STEEL HEADERBOARD & STAKES. INSTALL BETWEEN GRAVEL AREAS & LAWN & PLANTING AREAS LOCATIONS PER PLAN.
-  PLANTING AREA: AMENDED NATIVE SOIL WITH NEW PLANTING PER PLANTING PLAN
-  EXISTING ELECTRICAL: EXISTING ELECTRICAL RUN TO PANEL
-  EXISTING SEWER LINE: EXISTING SEWER LINE RUN TO FRONT OF HOUSE
-  EXISTING WATER LINE: EXISTING WATER LINE RUN TO FRONT OF HOUSE. WATER IS PROVIDED BY SAN JOSE WATER COMPANY



## SITE DATA

APN: 532-07-101  
ADDRESS: 16805 LOMA STREET  
LOS GATOS, CA 95032  
ZONING DISTRICT: R1-8  
OCCUPANCY USE: SINGLE FAMILY RESIDENTIAL  
LOT AREA: 7,461 S.F.  
AVG LOT SLOPE: 2% FLAT  
STRUCTURAL COVERAGE: FIRST FLOOR, PORCHES, GARAGE 2,326 S.F.  
FRONT, REAR, SIDE SETBACKS: 25'-0" FRONT  
20'-0" REAR  
8'-0" SIDES  
FRONT & REAR YARD IMPERVIOUS COVERAGE:  
CONCRETE DRIVEWAY, WALKWAYS, STEPPING PADS AND PATIO 1,518 S.F.  
TOTAL LANDSCAPE AREA: 2,749 S.F.

## PROJECT DIRECTORY

OWNERS: WILLIAM WUNDRAM  
16805 LOMA STREET  
LOS GATOS, CA 95032  
PH: (408) 421-5494  
APPLICANT: COURTNEY CAMERON  
CALIFORNIA HORTICULTURE LANDSCAPE CONSTRUCTION INC.  
753 CAMDEN AVENUE  
CAMPBELL, CA 95008  
CA LIC. #641851  
PH: (408) 364-3190

## PROJECT DESCRIPTION

SCOPE OF WORK INDICATED IN THESE LANDSCAPE DRAWINGS INCLUDES:  
CARPENTRY ITEMS: NEW 6' TALL GOOD NEIGHBOR FENCING AND GATES.  
LANDSCAPE HARDSCAPE ITEMS: NEW POURED COLORED CONCRETE DRIVEWAY AND SIDE YARD PATHS, SOIL-SET STONE STEPPING PAD WALKWAYS AND A REAR COLORED CONCRETE PATIO.



California  
Horticulture

LANDSCAPE  
CONSTRUCTION  
INCORPORATED

753 Camden  
Avenue  
Campbell, CA  
95008


Phone  
408-364-3190  
FAX 408-364-3199

Contractors  
License  
B & C-27 & C-53  
641851

# Wundram Residence

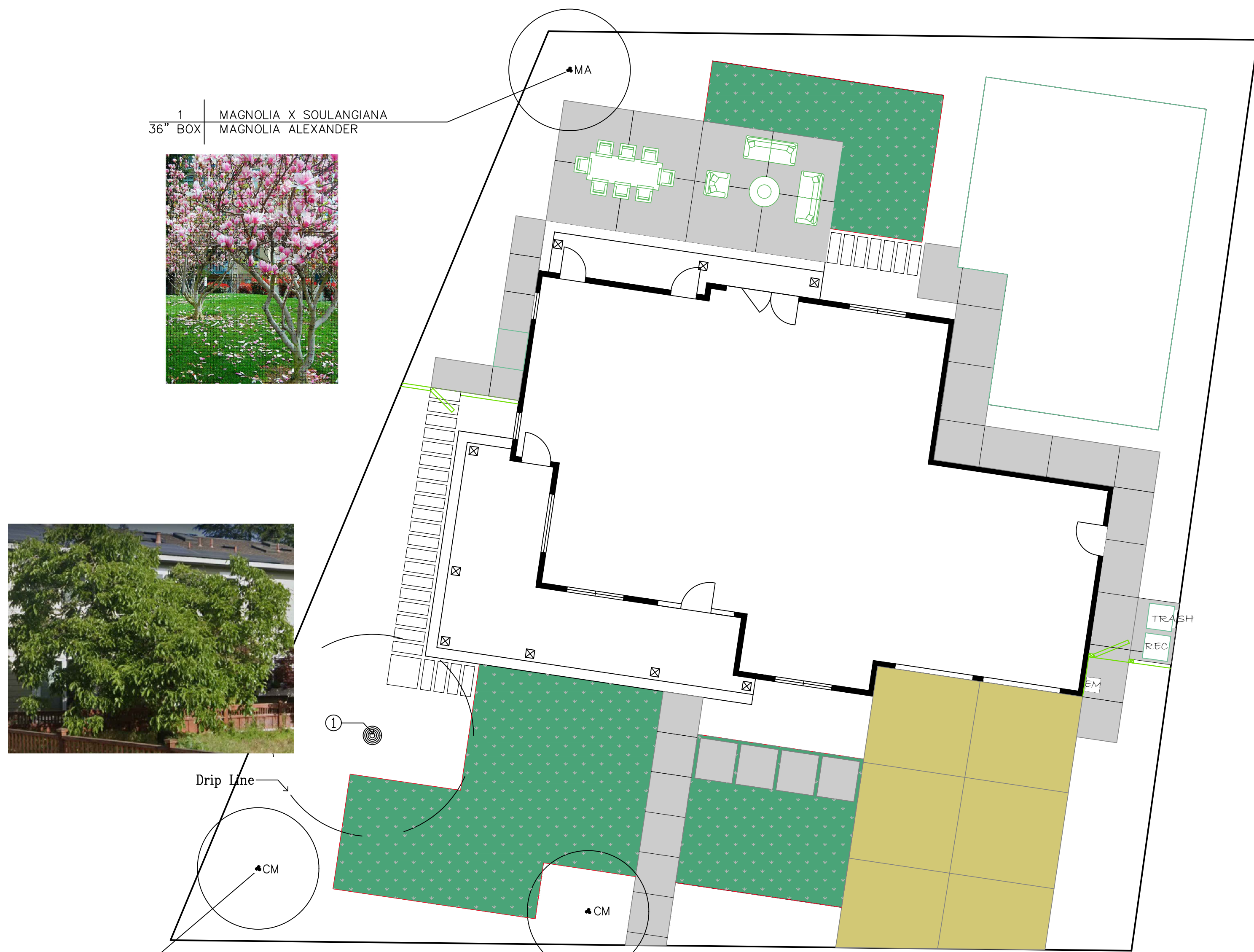
16805 Loma Street, Los Gatos, CA 95032  
APN: 532-07-101

Courtney Cameron

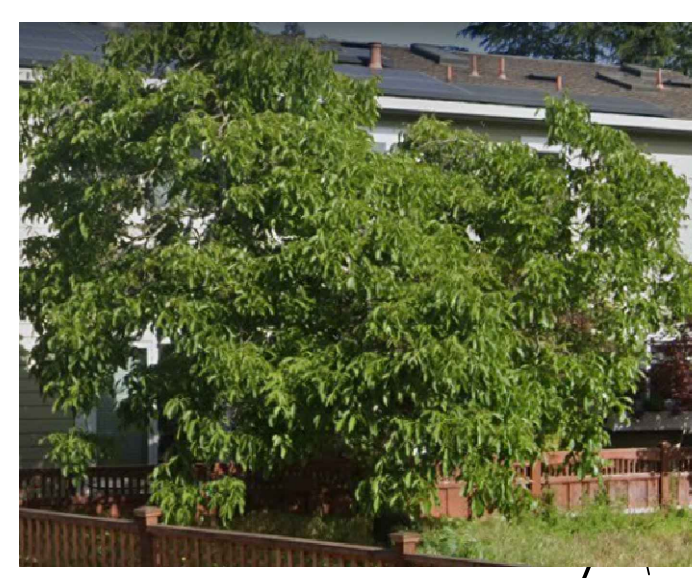
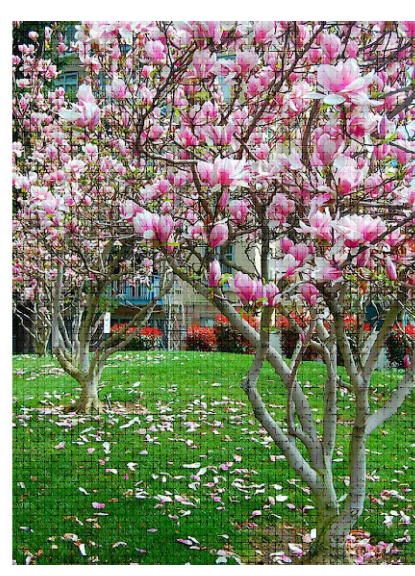
Sheet: Cover Sheet	
Date: 9-2-2025	
Drawn by: CC	
Revisions: 10-17-2025	
Revisions: 11-26-2025	

SHEET

# L1



1  
36" BOX | MAGNOLIA X SOULANGIANA  
MAGNOLIA ALEXANDER



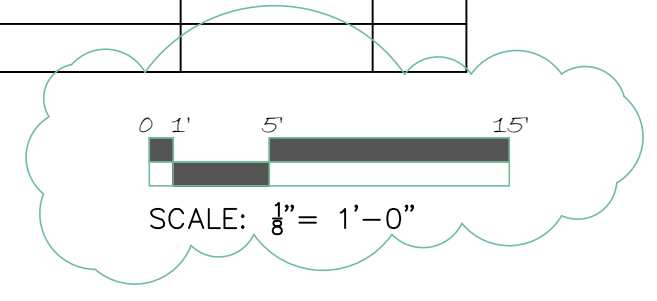
Drip Line

2  
24" BOX | LAGERSTROEMIA INDICA  
CRAPE MYRTLE



PRIVACY TREES						
SYM	COMMON NAME	BOTANICAL NAME	SIZE	QTY	ANTICIPATED HEIGHT & SPREAD	AVERAGE RATE OF GROWTH PER YEAR
MA	MAGNOLIA ALEXANDER	MAGNOLIA X SOULANGIANA	36" BOX	1	20 TO 25 H/S	MODERATE
CM	CRAPE MYRTLE	LAGERSTROEMIA INDICA	24" BOX	2	15 TO 20 H/S	MODERATE

EXISTING TREES TO REMAIN						
#	COMMON NAME	BOTANICAL NAME	DBH	CONDITION	CANOPY	QTY
1	WALNUT TREE	JUGLANS REGIA	10"	GOOD	15'	1



TREE LEGEND

QUANTITY SIZE	LATIN NAME COMMON NAME
------------------	---------------------------

**California Horticulture**

LANDSCAPE  
CONSTRUCTION  
INCORPORATED

753 Camden Avenue  
Campbell, CA 95008


Phone 408-364-3199  
FAX 408-364-3199

Contractors License  
B & C-97 & C-53  
641851

**Wundram Residence**

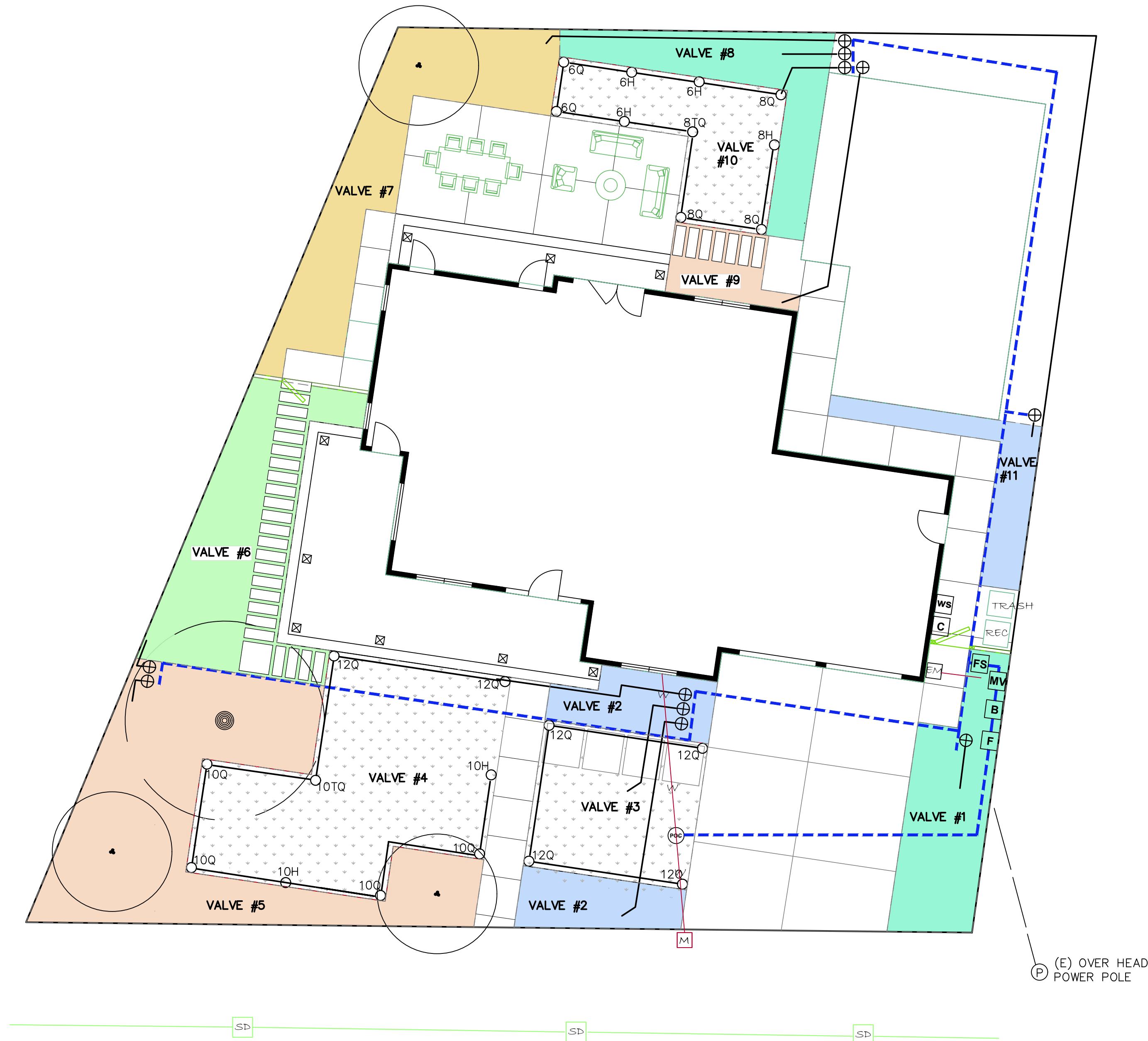
16805 Loma Street, Los Gatos, CA 95032  
APN: 532-07-101

*Courtney Cameron*

Sheet: Tree Plan	
Date: 9-2-2025	
Drawn by: CC	
Revisions: 10-17-2025	
Revisions: 11-26-2025	

**SHEET**

**L2**



## LEGEND

VALVE #	IRRIGATION HYDROZONE: INDICATES LIMITS OF IRRIGATION ZONE AND RESPECTIVE VALVE NUMBER. ALL IRRIGATION ZONES SHALL BE 1 GPH PRESSURE COMPENSATING DRIP EMITTERS UNLESS OTHERWISE NOTED. EACH 1 AND 5 GALLON PLANT SHALL RECIEVE 2 EMITTERS. 15 GALLON PLANTS SHALL RECEIVE 6 EMITTERS. BOX PLANTS AND TRANSPLANTED MATERIAL SHALL RECEIVE 10 EMITTERS.
O8H	POP-UP SPRAY HEAD: LAWN SPRAY IRRIGATIO – RAIN BIRD 1800 SERIES 6" POP UP BODIES W/ RAINBIRD MPR SERIES MATCHED PRECIPITATION RATE SPRAY NOZZLES W/ RESPECTIVE RADIUS & PATTERN AS INDICATED
C	IRRIGATION CONTROL CLOCK: TORO 'TMC-424E-OD' WITH (2) x 'TSM-8F' FLOW SENSING EXPANSION MODULES (20 TOTAL STATIONS). PLUG INTO 120 VOLT GFCI OUTLET ON HOUSE EXTERIOR WALL.
ws	WEATHER SENSOR: TORO 'TWRS' WIRELESS RAIN SENSOR. MOUNT IN LOCATION AS APPROVED BY CONTRACTOR.
M	WATER METER: EXISTING DOMESTIC SERVICE METER
F	FILTER: RAINBIRD QUICK CHECK BASKET FILTER W/ 120 MESH SCREEN. SIZE PER MAINLINE
B	BACKFLOW PREVENTER: TFEBCO 825Y 1" BACKFLOW ASSEMBLY W/ ISOLATION SHUTOFF VALVES. LOCATE 12" ABOVE GRADE IN PLANTING AREA. SCREEN FROM VIEW W/ ADJACENT PLANTING.
MV	MASTER VALVE: IRRITROL 700 SERIES 1 1/2" VALVE ASSEMBLY. LOCATE IN VALVE BOX.
FS	FLOW SENSOR: TORO 'TFS-150' FLOW SENSOR. LOCATE IN VALVE BOX
⊕	SOLENOID VALVE: IRRITROL ULTRAFLOW 700 SERIES 1" VALVE W/ 30 PSI PRESSURE REGULATOR. LOCATE IN VALVE BOX.
⊕	POINT OF CONNECTION: IRRIGATION MAINLINE 'T' CONNECTION TO EXISTING DOMESTIC SERVICE LINE. LOCATE IN VALVE BOX W/ BALL VALVE TO ISOLATE IRRIGATION MAINLINE.
—	DOMESTIC WATER SERVICE LINE: EXISTING BY OTHERS
- - -	IRRIGATION MAINLINE: 1 1/2" SCHEDULE 40 PVC; 18" MIN. BURIAL
—	IRRIGATION LATERAL LINE: SCHEDULE 40 PVC SIZE AS REQUIRED. 12" MIN. BURIAL

Water Efficient Landscape Worksheet									
#	HYDRO ZONE NAME	HYDROZONE DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAP E AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE(ETWU)
<b>Regular Landscape Areas</b>									
#1	FRONT YARD RIGHT SIDE OF DRIVEWAY	low water use	0.2	Drip	0.81	0.25	206	51	1366
#2	FRONT CENTER PLANTERS	low water use	0.2	Drip	0.81	0.25	176	43	1167
#3	CENTER LAWN	High water use	0.8	Spray	0.75	1.07	185	197	5298
#4	FRONT YARD LAWN	High water use	0.8	Spray	0.75	1.07	518	553	14833
#5	WALNUT TREE PLANTER	Low water use	0.2	Drip	0.81	0.25	555	137	3679
#6	FRONT LEFT SIDE PLANTER	Low water use	0.2	Drip	0.81	0.25	255	63	1690
#7	REAR LEFT SIDE PLANTER	Med water use	0.4	Drip	0.81	0.49	297	147	3937
#8	REAR LAWN PLANTER	Low water use	0.2	Drip	0.81	0.25	181	45	1200
#9	REAR STEPPING PAD PLANTER	Low water use	0.2	Drip	0.81	0.25	53	13	351
#10	REAR LAWN	High water use	0.8	Spray	0.75	1.07	219	234	6271
#11	REAR RIGHT SIDE PLANTER	Low water use	0.2	Drip	0.81	0.25	104	26	689
<b>TOTALS</b>							2749	1508	40481
<b>Special Landscape Areas</b>									
						0	0	0	0
<b>TOTALS</b>							0	0	0
Eto for Los Gatos = 43.3							ETWU Total		40481
(43.3) x (62) [(1.55xH46)+(1-1.55)x780]]							Maximum Allowed Water Allowance		40590

Regular Landscape Areas		
Total ETAF x Area	1508	
Total Area	2749	
Average ETAF	0.549	

All Landscape Areas		
Total ETAF x Area	1508	
Total Area	2749	
Sitewide ETAF	0.549	

IRRIGATION SCHEDULE						
#	HYDRO ZONE NAME	TYPE	SCHEDULE	DURATION	LANDSCAP E AREA	WUCOLS
<b>Regular Landscape Areas</b>						
#1	FRONT YARD RIGHT SIDE OF DRIVEWAY	Netafim Techline	MWS	15 min	206	Low water use
#2	FRONT CENTER PLANTERS	Netafim Techline	MWS	15 min	176	Low water use
#3	CENTER LAWN	Spray	MWFS	12 min	185	High water use
#4	FRONT YARD LAWN	Spray	MWFS	12 min	518	High water use
#5	WALNUT TREE PLANTER	Netafim Techline	MWS	15 min	555	Low water use
#6	FRONT LEFT SIDE PLANTER	Netafim Techline	MWS	15 min	255	Low water use
#7	REAR LEFT SIDE PLANTER	Netafim Techline	MWFS	15 min	297	Medium water use
#8	REAR LAWN PLANTER	Netafim Techline	MWFS	12 min	181	Low water use
#9	REAR STEPPING PAD PLANTER	Netafim Techline	MWFS	15 min	53	Low water use
#10	REAR LAWN	Spray	MWFS	12 min	219	High water use
#11	REAR RIGHT SIDE PLANTER	Netafim Techline	MWFS	15 min	104	Low water use

0 1' 5'  
SCALE: 3/8" = 1'-0"



California  
Horticulture

LANDSCAPE  
CONSTRUCTION  
INCORPORATED

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95008

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Courtney Cameron

Sheet: IRRIGATION &  
WELO PLAN

Date: 9-2-2025

Drawn by: CC

Revisions: 10-17-2025

Revisions: 11-26-2025

SHEET

L3