

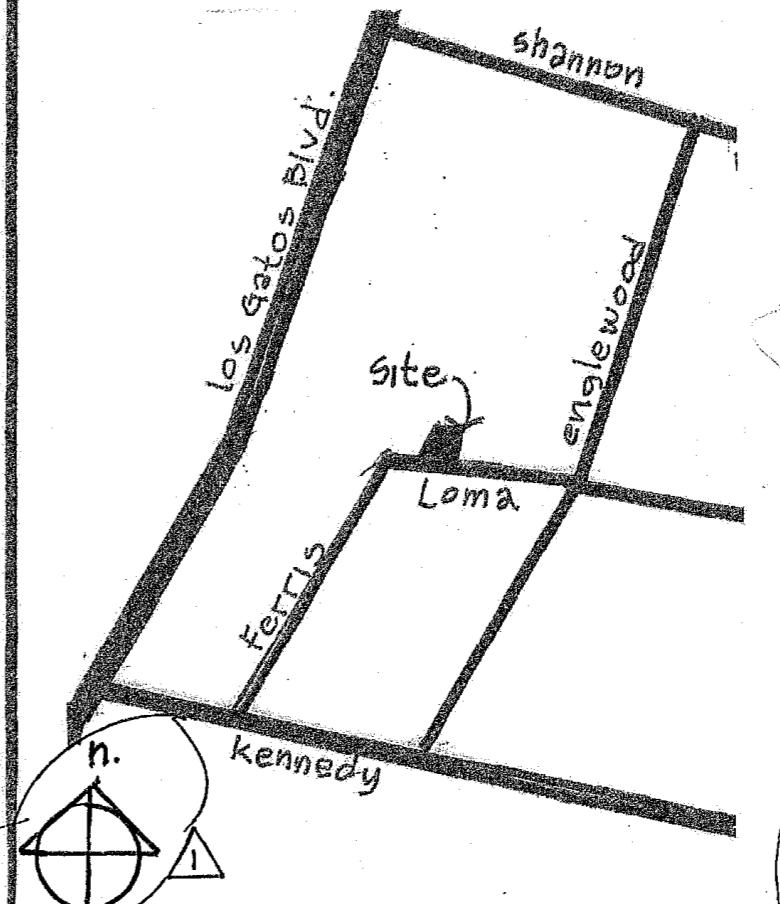
SHEET INDEX

A0 - General Project Info/Arch Site Plan
 A1 - Existing Flr Plan/Prop Flr Plan/Roof Plan
 A2 - Exterior Elevations/Design
 A3 - Impervious Area and Cross Sections
 1 - Town Notes, Gen Notes, Legend and Abbrev
 2 - Blueprint for Clean Bay Sheet
 3 - Topographic Survey
 4 - Demolition Plan and Site Plan
 5 - Grading and Drainage Plan
 6 - Stormwater Control Plan
 7 - Utility Plan
 8 - Erosion Control Plan & Construct Mgmt
 9 - Erosion Control Details/
 L1 - Landscape/Irrigation Plan/
 L2 - Tree Plan/
 L3 - WELD Plan

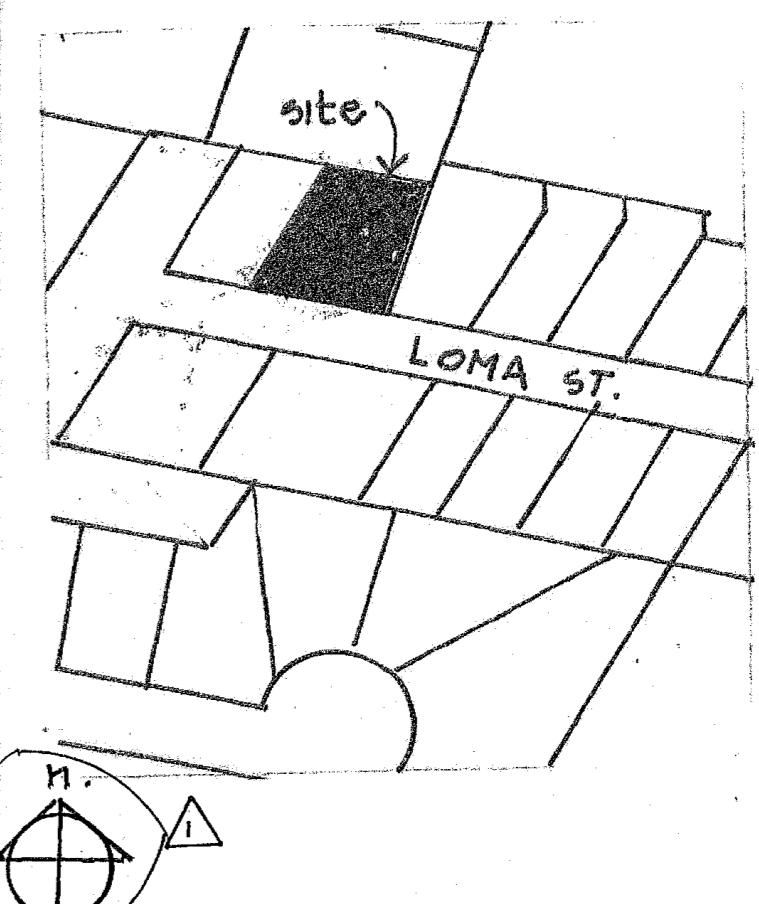
DRAWING SYMBOLS

North Arrow
 Elevation Indicator
 Match Line
 Section Indicator

VICINITY MAP



LOCATION MAP



REVISIONS BY

10/11/25 Jb

BR

Britt • Rowe

108 N. Santa Cruz Ave
 Los Gatos, CA 95030

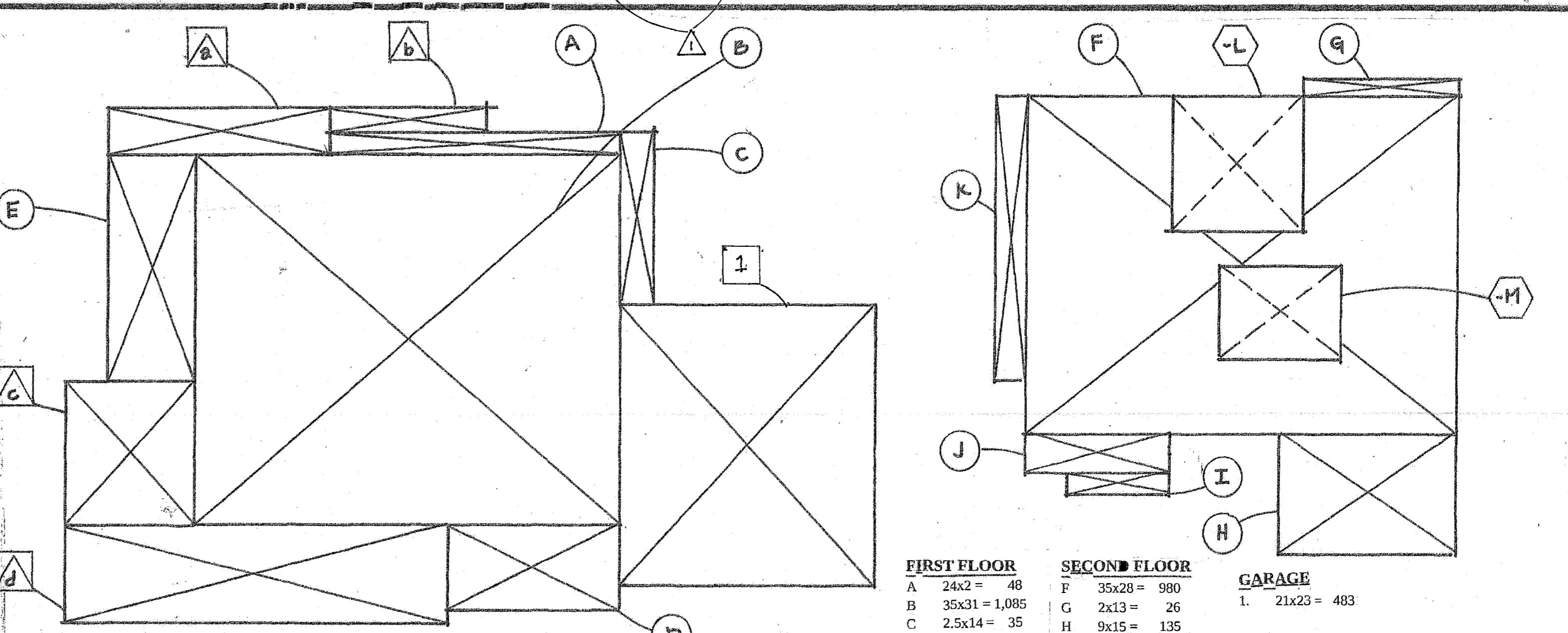
408.354.6224 (office)
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AS-25-043

WUNDRAM RESIDENCE
 16805 Loma Street
 Los Gatos, California

SQUARE FOOTAGE CALCULATIONS



FIRST FLOOR

A	24x2 =	48
B	35x31 =	1,085
C	2.5x14 =	35
D	7x14 =	98
E	6x19 =	114
		= 1,380

SECOND FLOOR

F	35x28 =	980
G	2x13 =	26
H	9x15 =	135
I	9x2 =	18
J	12x3 =	36
K	3x24 =	72
L	11x11 =	-121
M	9x7 =	-72
		= 1,074

GARAGE

1.	21x25 =	483
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COV'D PORCHES

a	4x18 =	72
b	2x13 =	23
c	10x12 =	120
d	31x8 =	248
		= 463

FRONT VIEW OF PROPOSED RESIDENCE



GENERAL PROJECT INFO

Scope of Work: Demolition of existing pre-1941 one-story single-family residence with no garage, and construction of new two-story single family residence.

Property Owner: William and Brenna Wundram
 16805 Loma Street
 Los Gatos, CA 95032

Project Location: 16805 Loma Street
 Los Gatos, CA 95032

APN: 532-07-101
Zoning: R1-8
Lot Area: 7,461
Avg Lot Slope: less than 2% (flat)

FAR: Existing Proposed Allowed
 Main Dwelling: 861 (.11) 2,454 (.32) 2,462 (.33)
 Garage: 0 (0) 483 (.06) 671 (.09)

Setbacks: Existing Proposed Allowed
 Front: 17'-5" 25'-0" 25'-0"
 Rear: 33'-6" 20'-0" 20'-0"
 Sides (left/right): 38'-7" / 9'-3" 8'-0" / 8'-0" 8'-0" / 8'-0"

Lot Coverage: Existing Proposed Allowed
 First Floor/Porches/Garage: 905 (12%) 2,326 (31%) (40%)

Building Height: Existing Proposed Allowed
 Measured from exist. grade: 14' 27' 30'

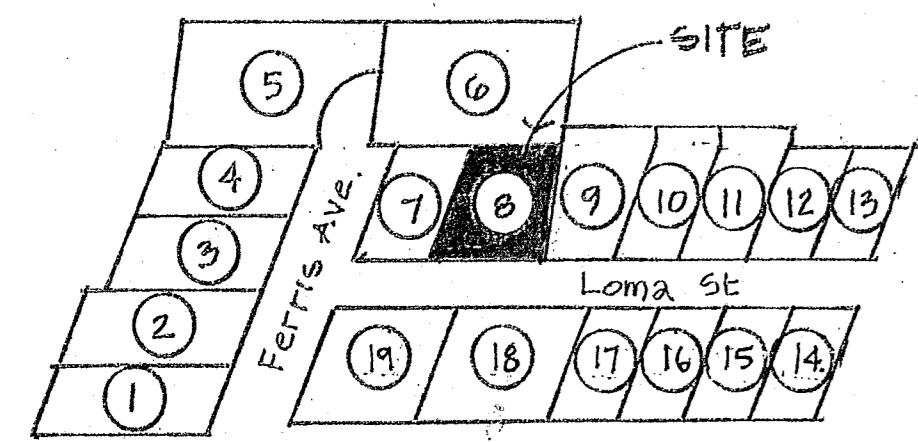
NOTE: Fire Sprinklers Required. Approved automatic sprinkler systems in new building and structures shall be provided in Sections 903.2.1 through 903.2.12

NOTE: A separate building permit is required for the PV system that is required by the California Energy Code Performance or Prescriptive standards. The separate PV system must be finalized prior to issuance of Certificate of Occupancy.

SHEET: 1 of 1 Sheet / Proj Info
SCALE: n/a
DATE: 9.8.25
DRAWN:

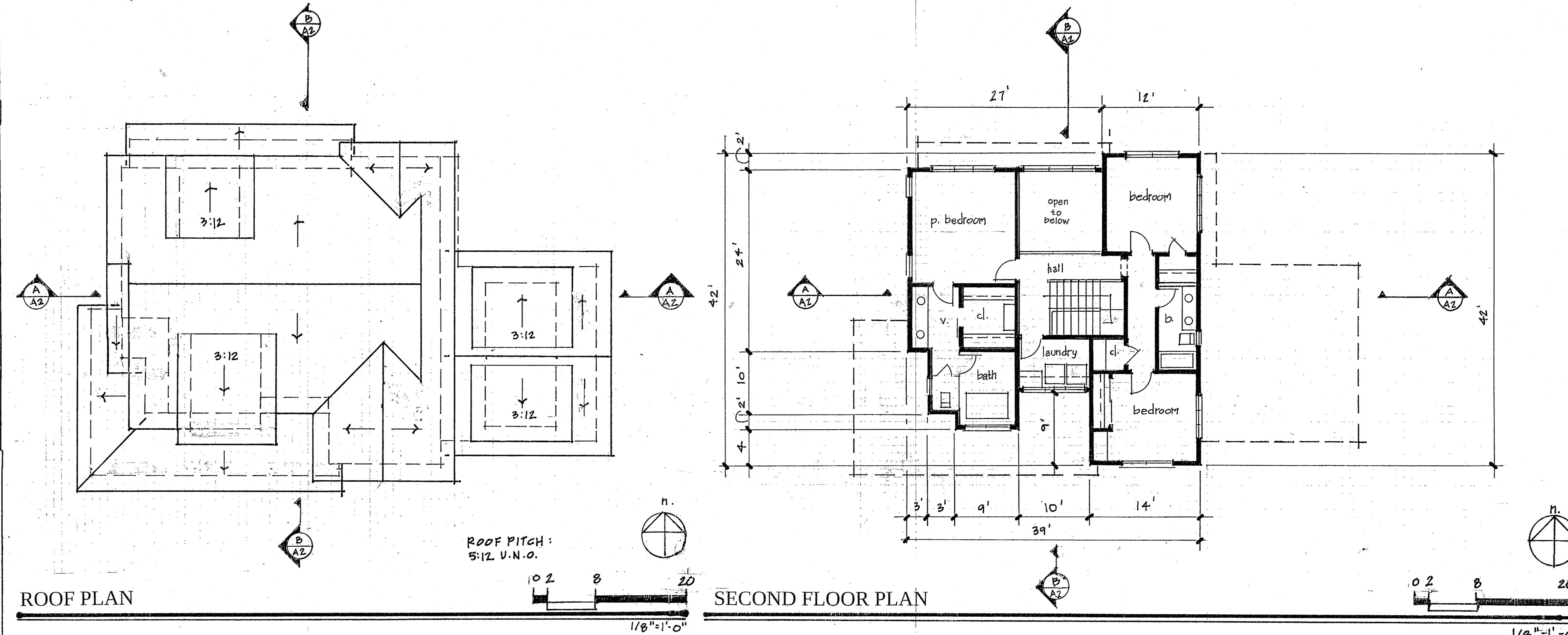
A0

NEIGHBORHOOD SURVEY

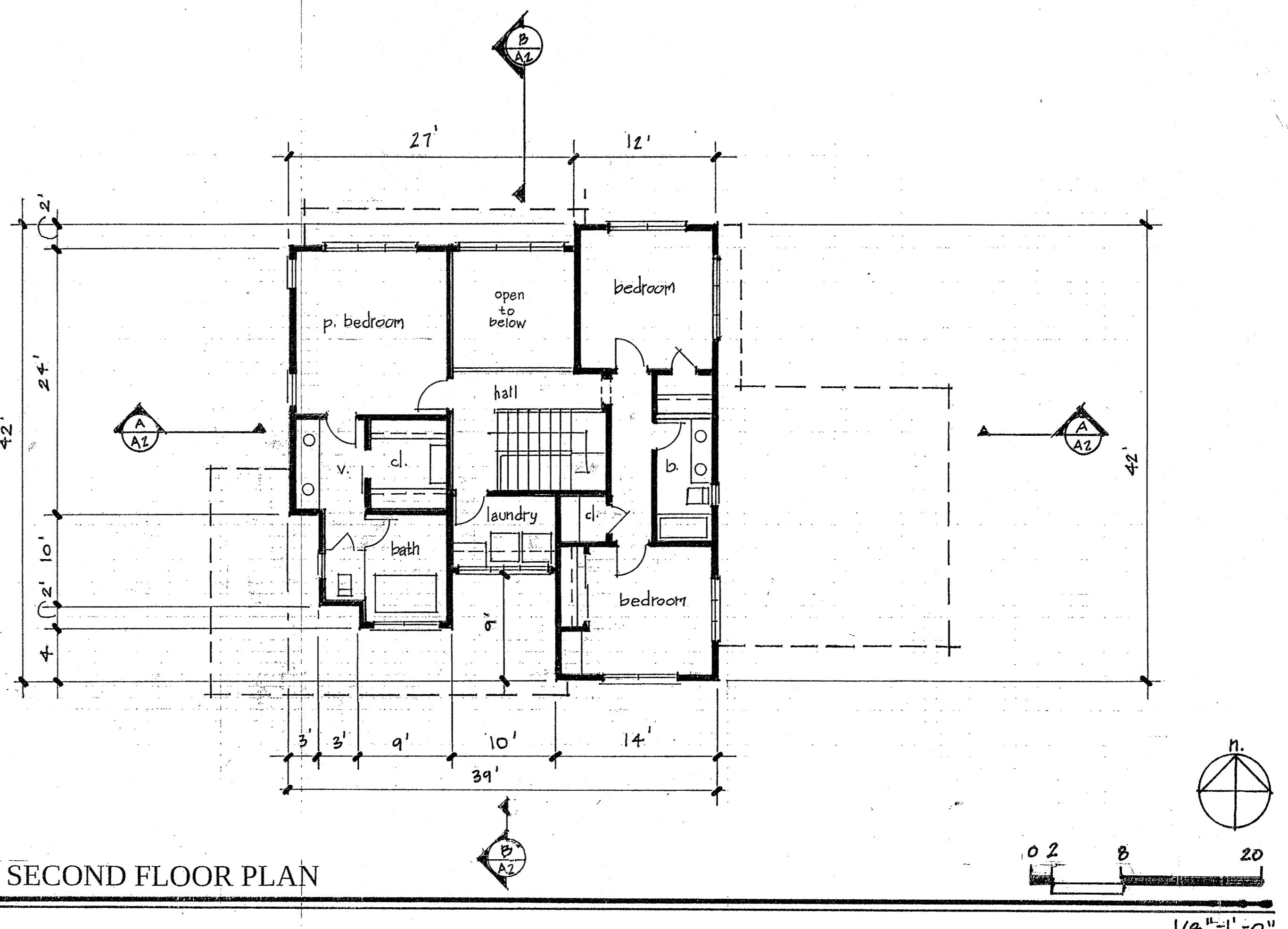


#	ADDRESS	LOT SIZE	STRUCT.	FAR	FL.	YR. BUILT
1	16495 Ferris	9,147	3,064	.35	2	2004
2	16475 Ferris	9,300	2,283	.25	2	1950
3	16575 Ferris	7,752	3,872	.50	2	2007
4	16461 Ferris	8,060	2,000	.25	2	?
5	16455 Ferris	14,374	3,000	.21	1	?
6	16456 Ferris	15,137	2,750	.18	2	1995
7	16460 Ferris	5,880	2,386	.40	2	1986/1900
8.	16805 Loma	7,461	2,454	.32	2	
9.	16801 Loma	7,578	2,478	.33	2	2000/?
10.	16791 Loma	6,325	2,068	.32	2	1997/1930
11.	16761 Loma	6,098	1,975	.32	2	1993/?
12.	16771 Loma	5,390	708	.13	1	1940
13.	16761 Loma	5,390	1,844	.34	1	2000/1941
14.	16760 Loma	5,400	690	.13	1	?
15.	16770 Loma	5,227	896	.17	1	1940
16.	16780 Loma	5,390	1,956	.37	2	?
17.	16790 Loma	5,390	1,856	.34	2	2010/?
18.	16810 Loma	10,800	4,400	.41	2	?
19.	16490 Ferris	9,800	2,505	.26	2	1999

ROOF PLAN



SECOND FLOOR PLAN



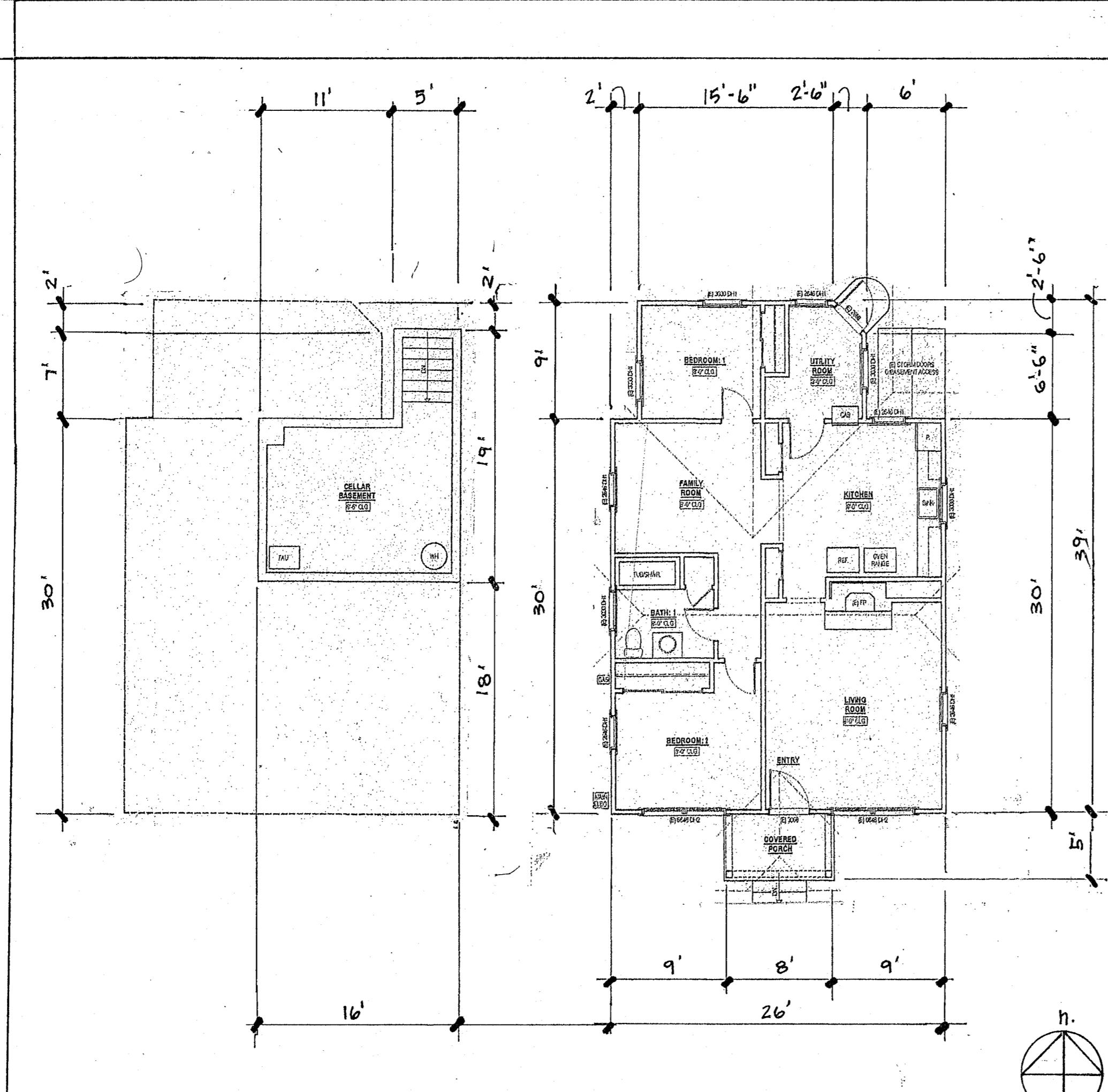
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Los Gatos, CA 95030
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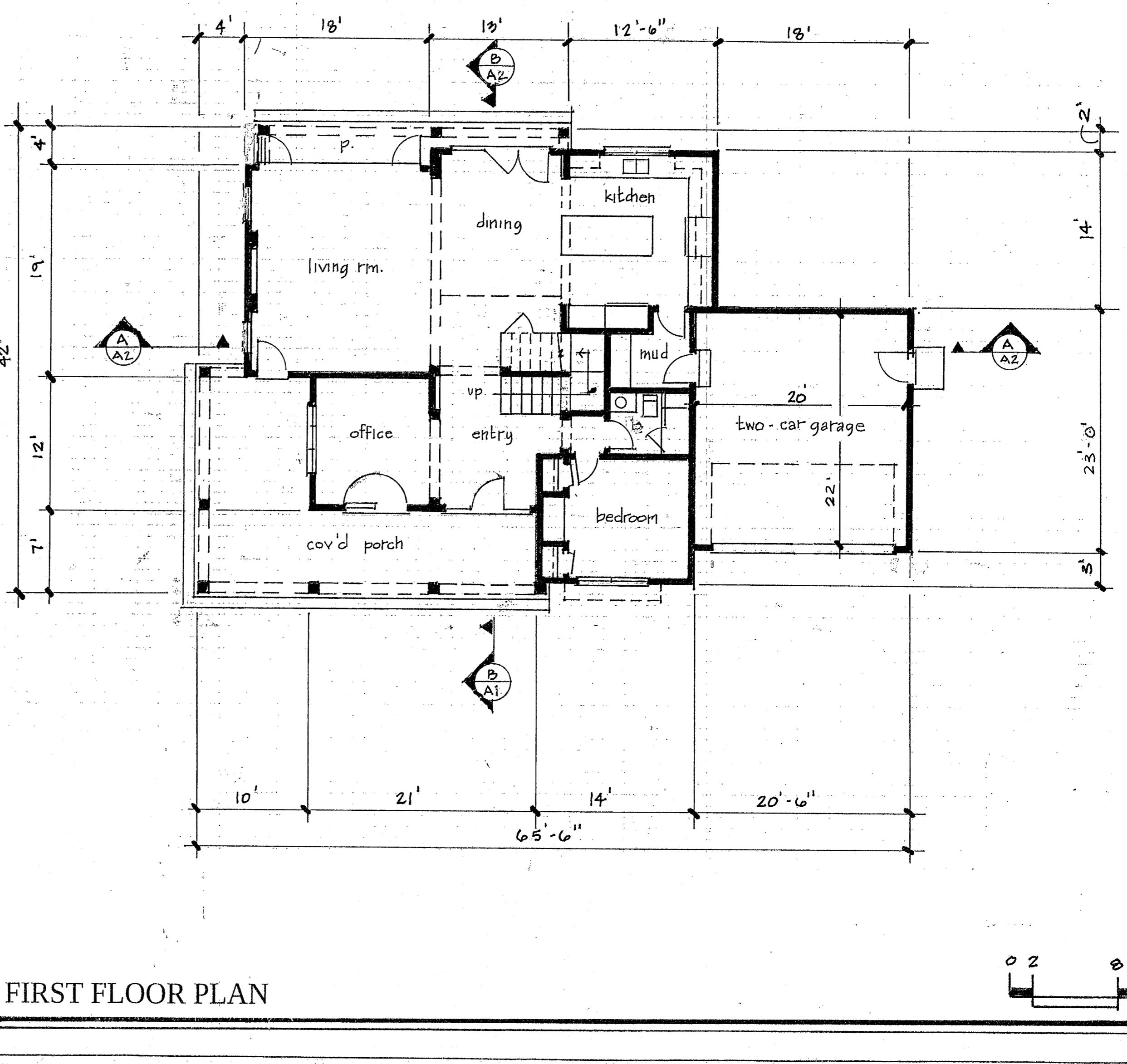
AS-25-043

FIRE DEPARTMENT NOTES

NOTE: Fire Sprinklers Required. Approved automatic sprinkler systems in new building and structures shall be provided in Sections 903.2.1 through 903.2.12



EXISTING/DEMO PLAN



FIRST FLOOR PLAN

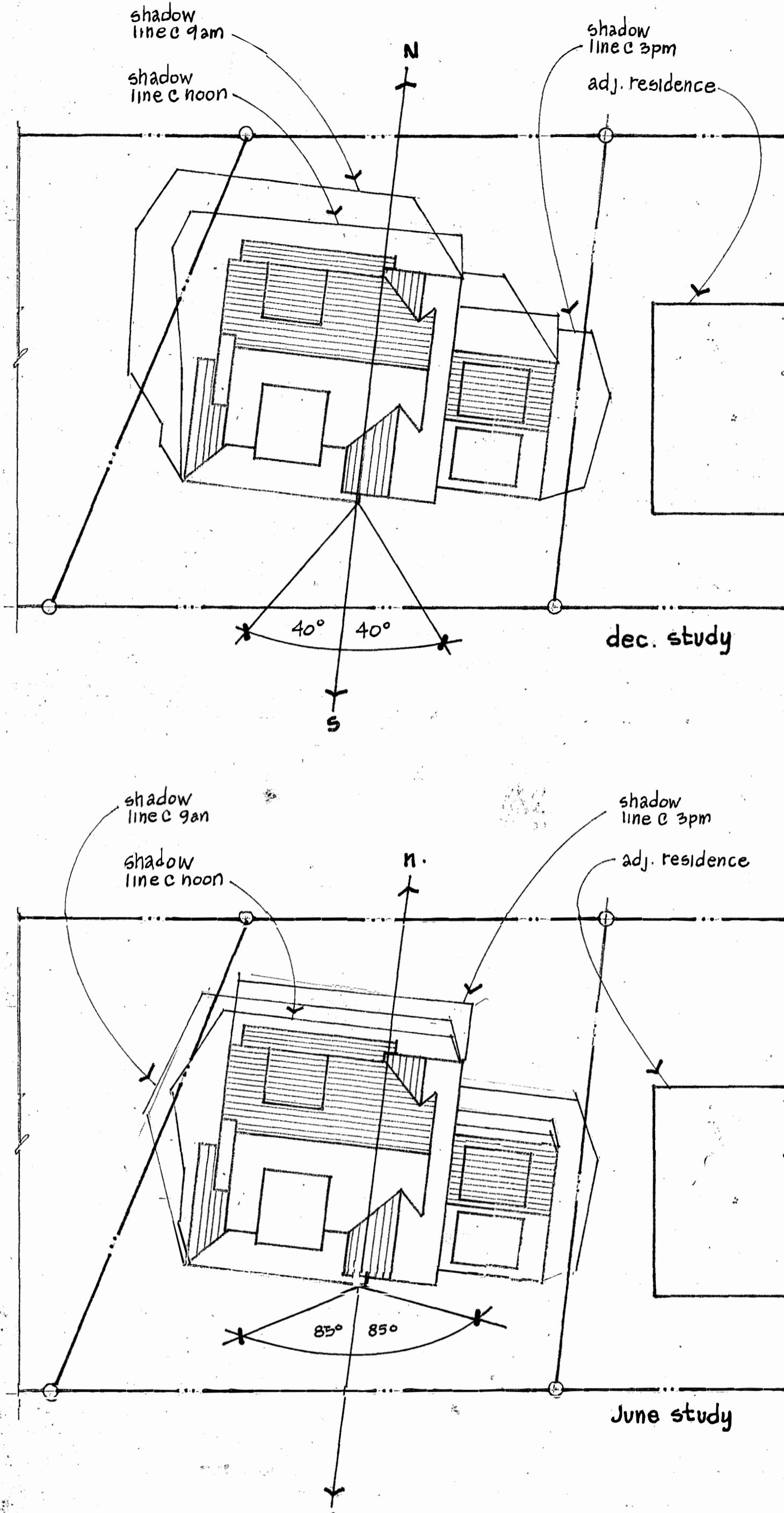
WUNDRAM RESIDENCE
16805 Loma Street
Los Gatos, California

Sheet: Floor Plans
Scale: noted
Date: 9.8.25
Drawn: *[Signature]*

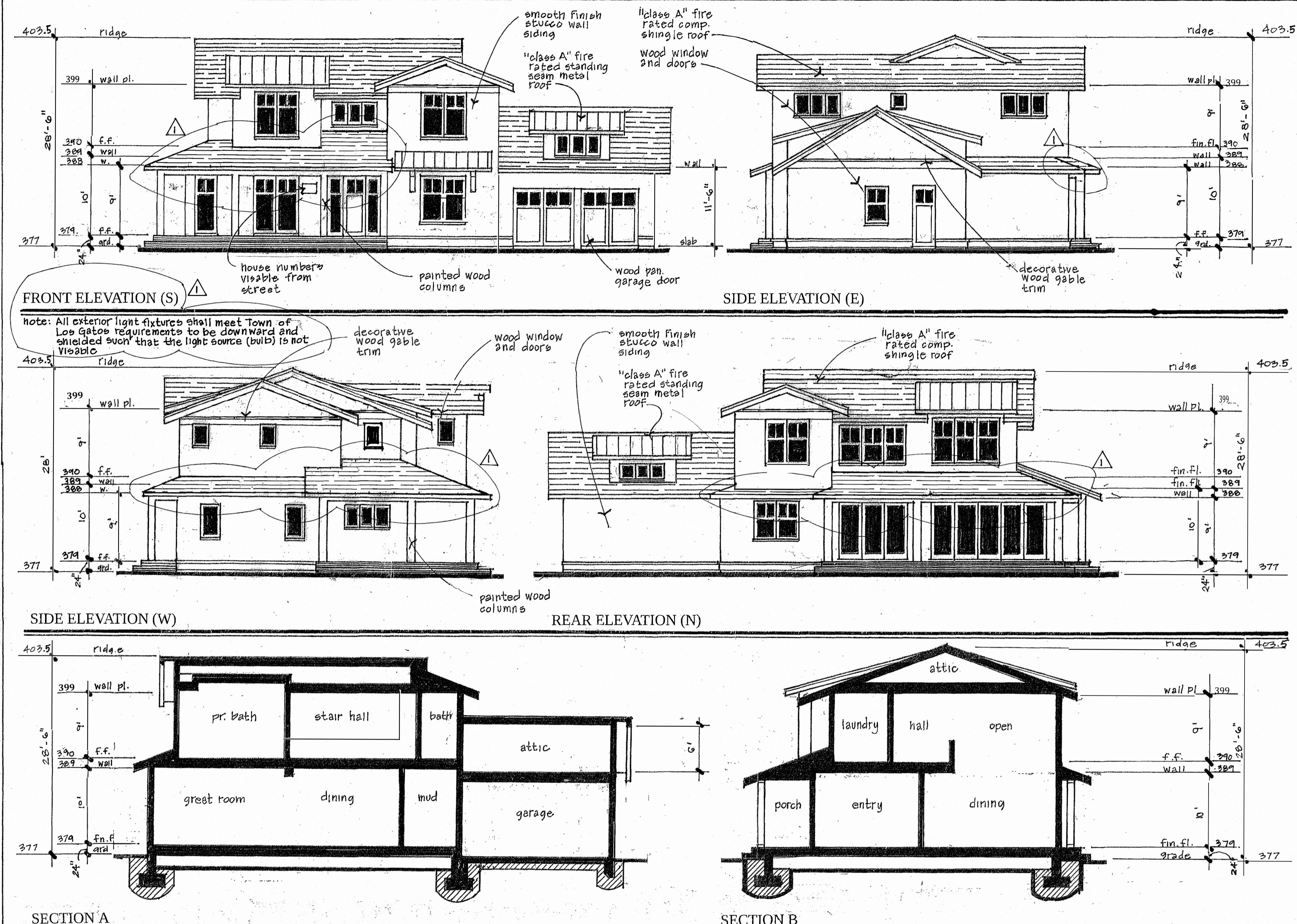
A1

SHADOW STUDIES

$$I'' = 20^{\circ} - 0''$$



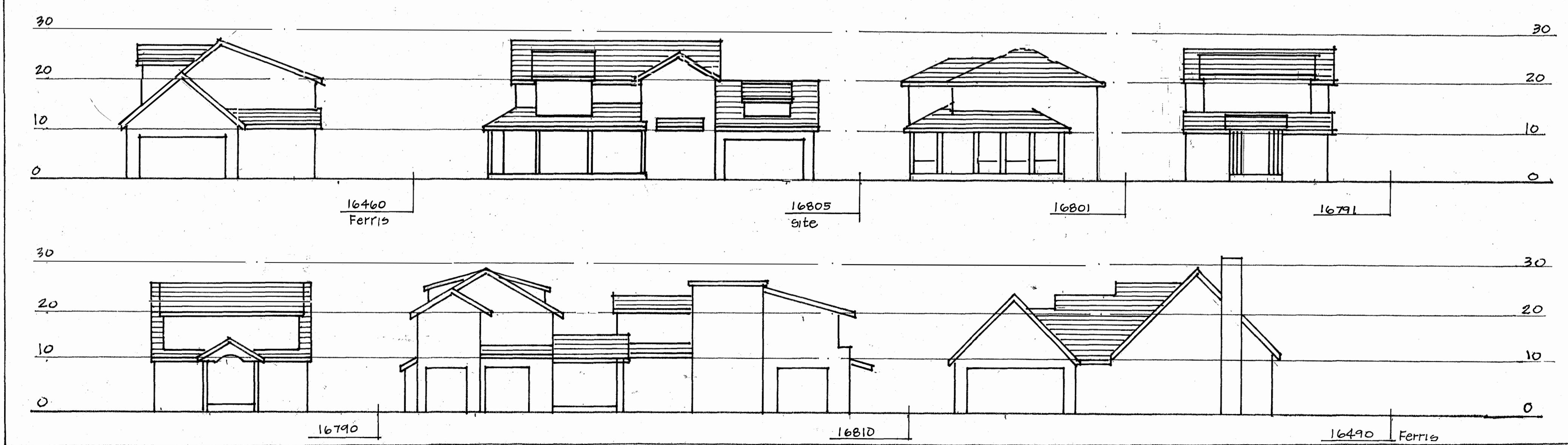
EXTERIOR ELEVATIONS/SECTIONS



PUBLIC WORKS NOTES

PLANNING NOTES

STREETSCAPES ("= 15'-0")



SHEET : elev. / sec. 55 / 55.
SCALE : noted
DATE : 9-8-25
DRAWN : *[Signature]*

A2

BR

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1960-1961: 1960-1961

1980-1981

152 *John C. H. Studd*

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AS-25-043

WUNDRAM RESIDE
16805 Loma Street
Los Gatos, California

SHEET : elev. / sec. 5.5 / 5.5.	SCALE : noted	DATE : 9-8-25	DRAWN : <u>A.</u>
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BR

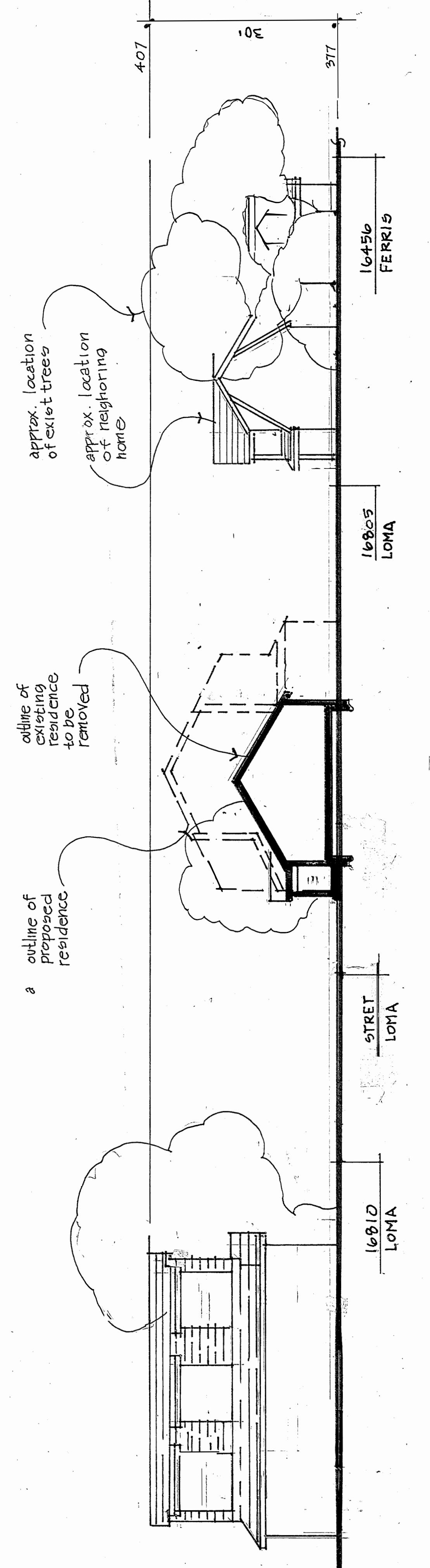
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Los Gatos, CA 95030408.354.6224 (office)
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AS-25-043

WUNDRAM RESIDENCE
16805 Loma Street
Los Gatos CalifSHEET M PERIOD / section
SCALE: noted
DATE: 10/17/25
DRAWN: d b

A3



SITE SECTION

IMPERVIOUS CALCULATIONS

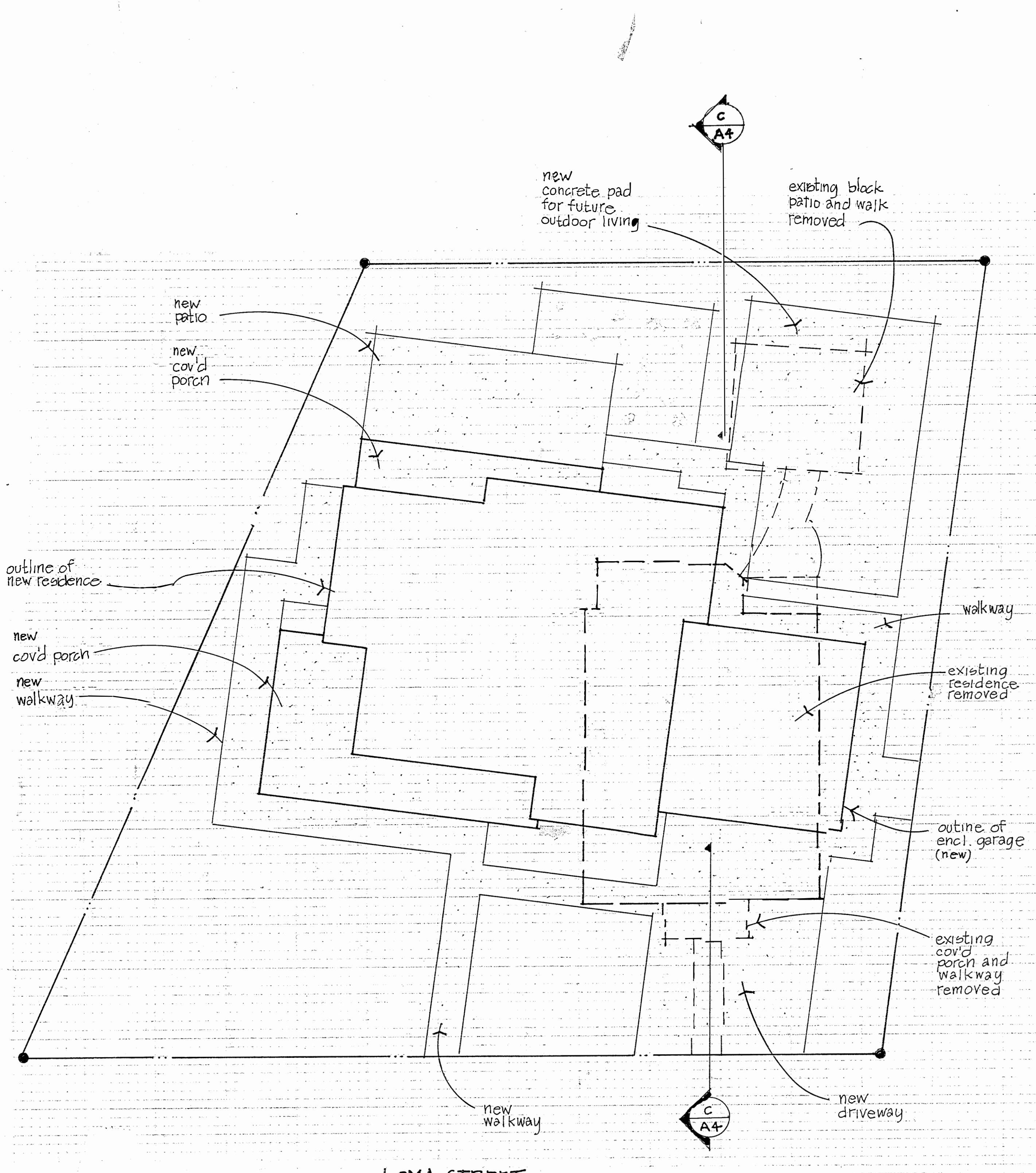
A. Total Site Area: 7,461 sq. ft.

B. Total Land Area Disturbed During Construction (including clearing, grading, stockpiling, or excavation).

IMPERVIOUS AREA:

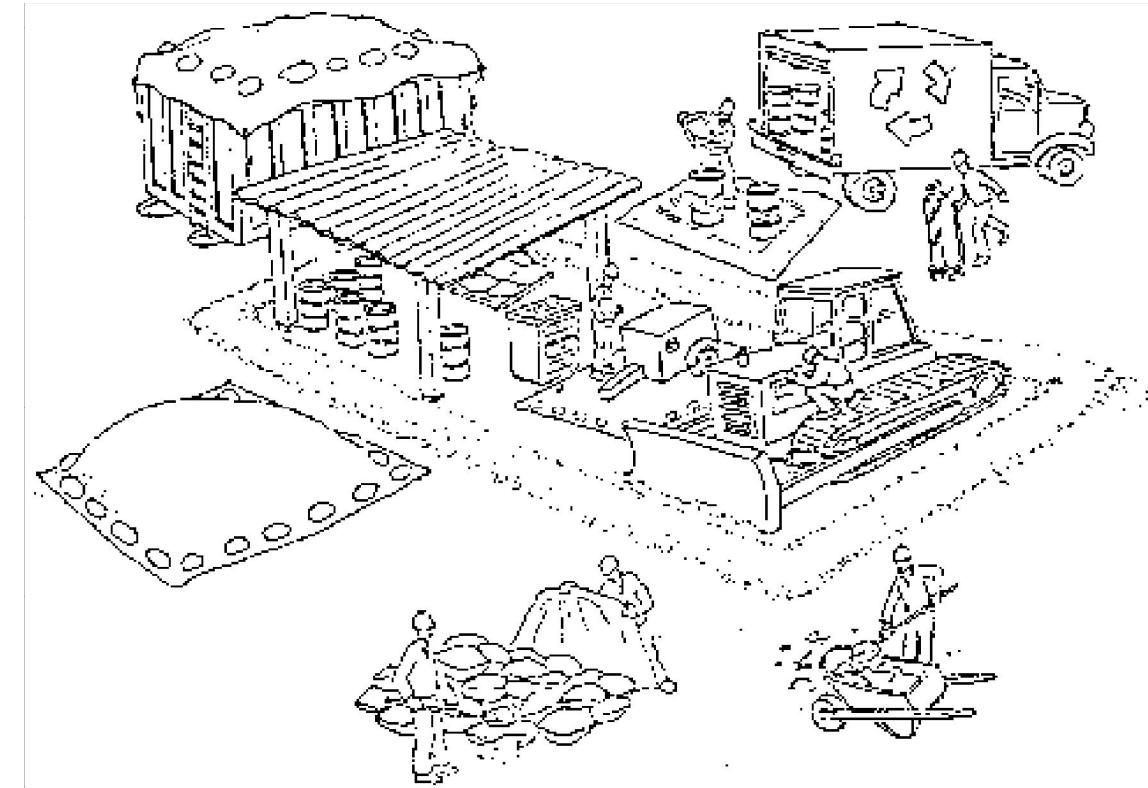
	Total Exist. Pre-project	Existing Area (Retained)	Existing Area (Replace)	Retained Area	New Area	Total
Total On Site:	920 sf.	920 sf.	0	0	3,686 sf	3,686 sf.
PERVIOUS AREA:	6,541 sf.	0	0	0	3,775 sf.	3,775 sf.

IMPERVIOUS COVERAGE PLAN



1/8"=1'-0"

Pollution Prevention — It's Part of the Plan



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



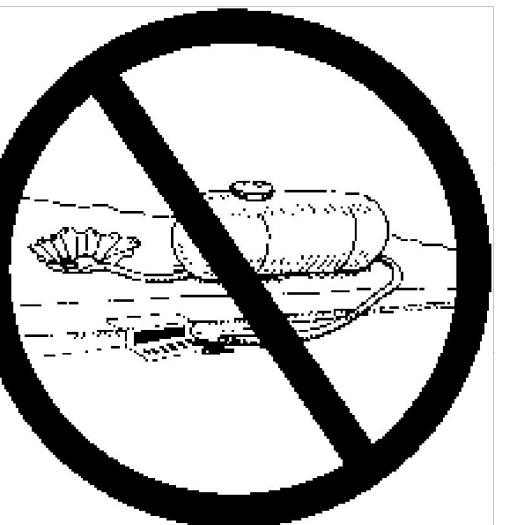
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



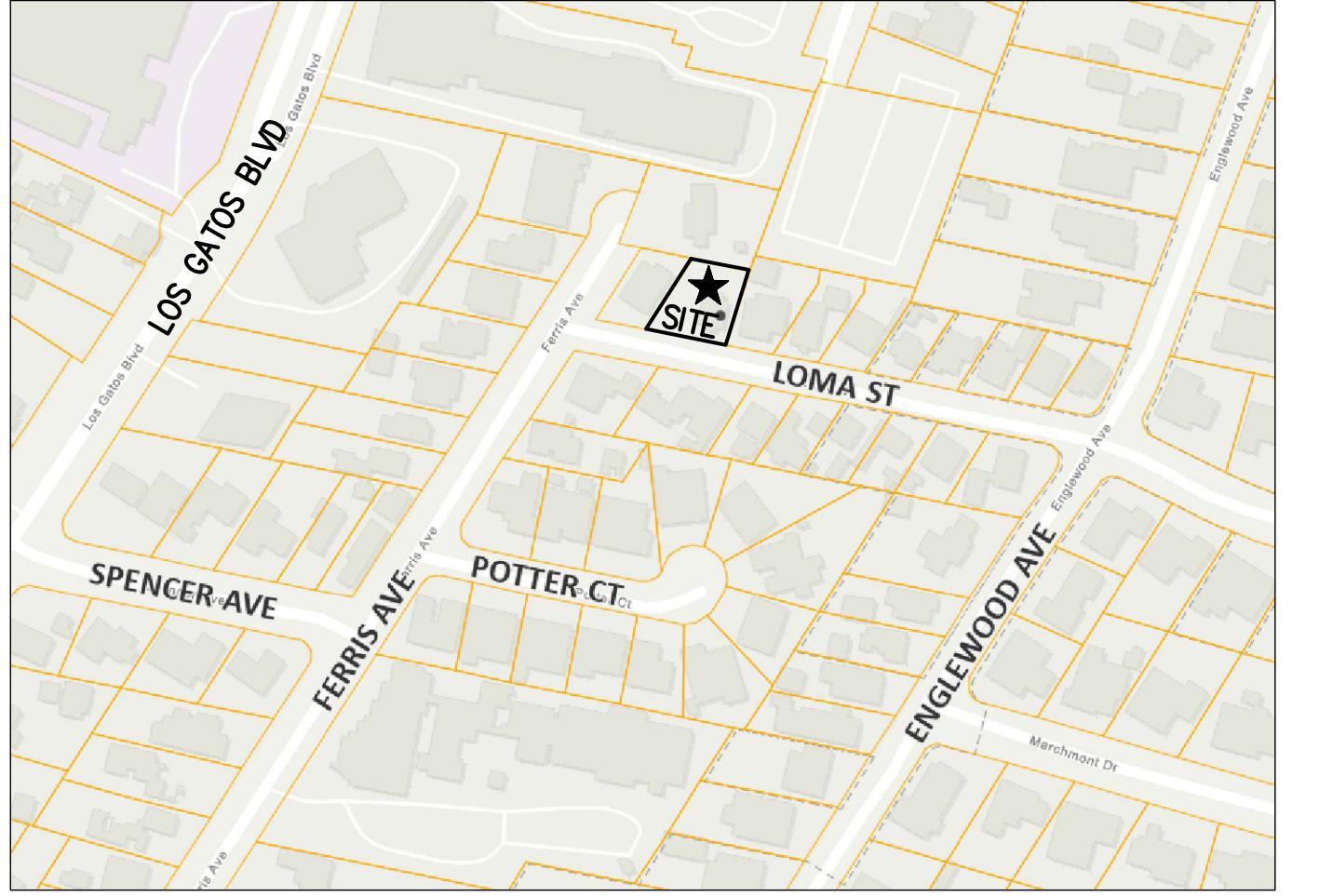
DATE: 09/19/25
SCALE: NTS
DESIGN: VH
DRAWN: VH
CHECK: HV
ENGR: HV
PROJECT NO:

GRADING AND DRAINAGE PLANS
16805 LOMA STREET
BLUEPRINT FOR A CLEAR BAY
GRADING PERMIT APPLICATION NO. _____

ENGINEERING
598 E. Santa Clara St. Ste 270
San Jose, CA 95112
Phone: (408) 806-7187

REVISIONS
BY DATE
REVISED PER COUNTY COMMENTS
REVISED PER COUNTY COMMENTS

SHEET 2 OF 9



VICINITY MAP

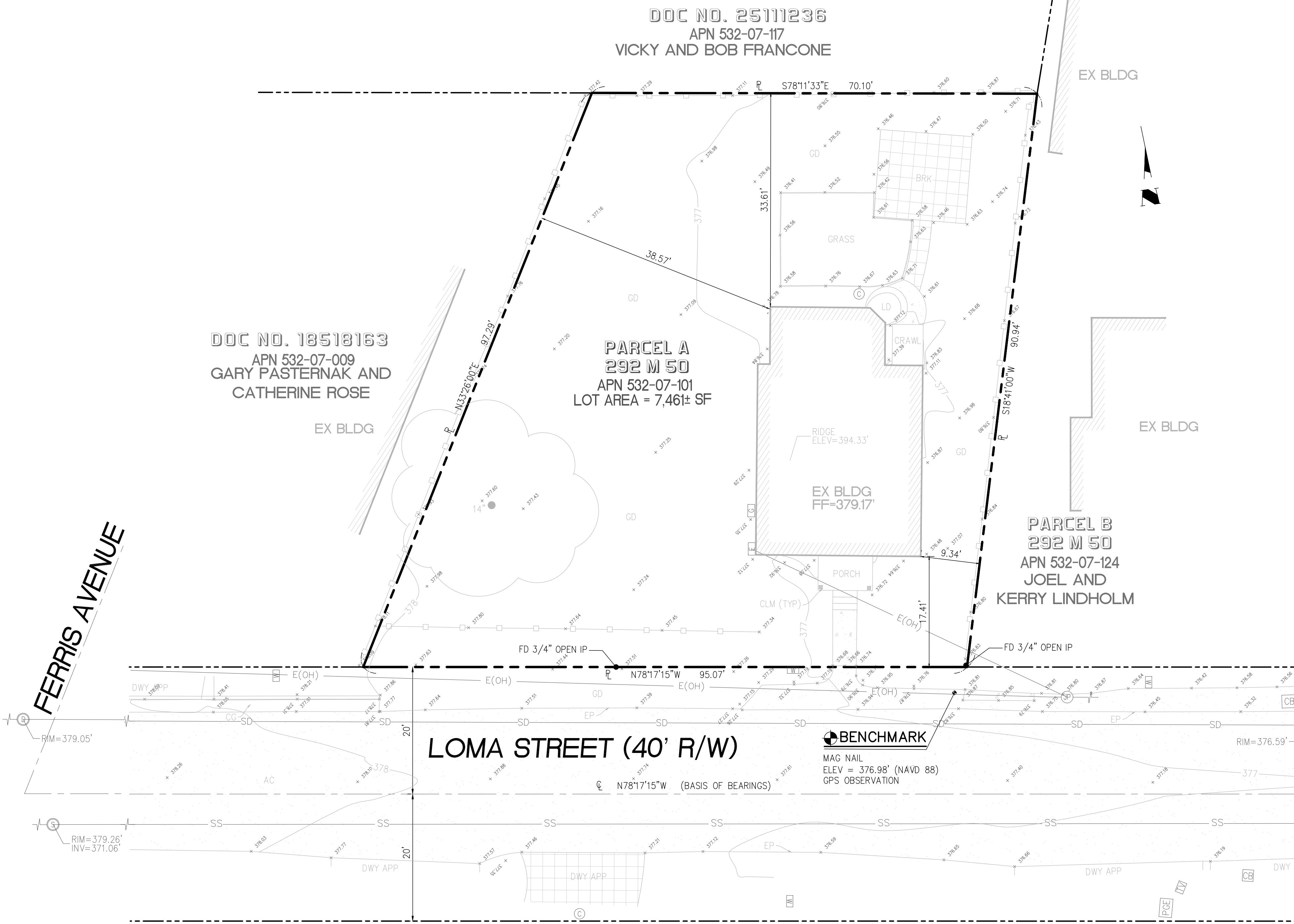
NTS

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREE SIZE, TYPE AND DRIP LINES ARE BASED ON A VISUAL OBSERVATION. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.
- EASEMENTS, SETBACKS AND OTHER ENCUMBRANCES SHOWN ON THIS SURVEY MAP ARE OBTAINED FROM THE RECORDED MAPS. A TITLE REPORT WAS NOT PROVIDED BY THE CLIENT FOR THIS SURVEY. HENCE, ANY OTHER EASEMENTS, SETBACKS AND ENCUMBRANCES IDENTIFIED IN THE TITLE REPORT ARE NOT SHOWN ON THIS MAP.
- DISTANCES FROM BUILDING SHOWN ARE TO THE WALL FINISH SURFACE AND PERPENDICULARLY TO THE PROPERTY LINES.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

LEGEND & ABBREVIATIONS

AD	AREA DRAIN	AB	AGGREGATE BASE
BENCHMARK	BENCHMARK	AC	ASPHALT CONCRETE
BOLLARD	BOLLARD	AD	AREA DRAIN
BOUNDARY	BOUNDARY	AE	ANCHOR EASEMENT
CATCH BASIN	CATCH BASIN	APN	ASSESSOR'S PARCEL NUMBER
CENTERLINE	CENTERLINE	BB	BUBBLER BOX
BRICK	BRICK	BD	BRASS DISK
CONCRETE	CONCRETE	BLDG	BUILDING
WOOD	WOOD	BRK	BRICK
E	ELECTRICAL LINE	BSL	BUILDING SETBACK LINE
E(OH)	ELECTRICAL OVERHEAD	BW	BOTTOM OF WALL
69	EXISTING CONTOUR	CG	CURB & GUTTER
EASEMENT LINE	EASEMENT LINE	CLF	CENTERLINE
ELECTRICAL METER	ELECTRICAL METER	CLM	CHAIN LINK FENCE
+70.69 OR (70.69)	EXISTING ELEVATION	CLST	COLUMN
EXISTING HYDRANT	EXISTING HYDRANT	CO	CLOSET
EXISTING CHAIN FENCE	EXISTING CHAIN FENCE	CONC	SANITARY SEWER CLEANOUT
EXISTING WOOD FENCE	EXISTING WOOD FENCE	CSD	CONCRETE
EXISTING IRON FENCE	EXISTING IRON FENCE	DI	CITY STANDARD DETAIL
EXISTING TREE AND DIAMETER	EXISTING TREE AND DIAMETER	DS	DRAINAGE INLET
FLOW LINE	FLOW LINE	DMG	DOWNSPOUT
GAS LINE	GAS LINE	DWY	DAMAGE
GAS METER	GAS METER	EA	DRIVEWAY
GUY POLE	GUY POLE	E(A)	EASEMENT
GUY WIRE ANCHOR	GUY WIRE ANCHOR	E(OH)	ELECTRICAL
INLET	INLET	ELEV	ELEVATION
JOINT POLE	JOINT POLE	EM	ELECTRIC METER
LIGHT POST	LIGHT POST	E(OH)	ELECTRIC OVERHEAD
MANHOLE	MANHOLE	E(UG)	ELECTRIC UNDERGROUND
MONUMENT LINE	MONUMENT LINE	EDG	EDGING
MAIL BOX	MAIL BOX	EP	EDGE OF PAVEMENT
FOUND MONUMENT	FOUND MONUMENT	EX	EXISTING
PARCEL LINE/RIGHT OF WAY	PARCEL LINE/RIGHT OF WAY	FC	FACE OF CURB
PVC PIPE AND DIAMETER	PVC PIPE AND DIAMETER	FD	FOUND
SANITARY SEWER CLEAN OUT	SANITARY SEWER CLEAN OUT	FF	FINISH FLOOR
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	FL	FIRE HYDRANT
SETBACK LINE	SETBACK LINE	GD	FLOW LINE
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	GM	GROUND
STREET MONUMENT	STREET MONUMENT	HP	GAS METER
STREET SIGN	STREET SIGN	INV	HI POINT
STUMP	STUMP	IP	INVERT
TELECOMMUNICATION BOX	TELECOMMUNICATION BOX	LD	IRON PIPE
TREE STUMP AND DIAMETER	TREE STUMP AND DIAMETER	LIP	LANDING
UTILITY BOX	UTILITY BOX	MH	LIP OF GUTTER
WATER LINE	WATER LINE	MIN	MANHOLE
WATER METER	WATER METER	MB	MINIMUM
WATER VALVE	WATER VALVE	MON	MONUMENT BOX
		MW	MONUMENT WELL
		(N)	NEW
		N&S	NAIL AND SILVER
		NTS	NOT TO SCALE
		OH	OVERHEAD
		OG	ORIGINAL GROUND
		P	PAVEMENT FINISH GRADE
		PN	PIN
		PAD	PAD ELEVATION
		R	PROPERTY LINE
		PCE	PACIFIC GAS & ELECTRIC
		PSE	PUBLIC SERVICE EASEMENT
		PT	PACIFIC TELEPHONE
		PUE	PUBLIC UTILITY EASEMENT
		PVMT	PAVEMENT
		PVC	POLYVINYL CHLORIDE
		R	RADIUS
		RC	ROLLING CURB
		RW	RETAINING WALL
		R/W	RIGHT OF WAY
		SD	STORM DRAIN
		SDE	STORM DRAIN EASEMENT
		SE	SLOPE EASEMENT
		SF	SQUARE FEET
		SS	SANITARY SEWER/LATERAL
		SSE	SANITARY SEWER EASEMENT
		STA	STATION
		STD	STANDARD DETAIL
		SW	SIDEWALK
		TC	TOP OF CURB
		TEMP	TEMPORARY
		TOE	TOE OF BANK
		TG	TOP OF GRATE
		TW	TOP OF WALL
		TYP	TYPICAL
		VC	VALLEY GUTTER
		YS	YELLOW STRIPE
		W	WATER
		WCE	WIRE CLEARANCE EASEMENT
		WLK	WALKWAY
		WM	WATER METER
		WOE	WIRE OVERHANG EASEMENT
		WV	WATER VALVE
		WS	WHITE STRIPE



ROAD NAME : LOMA STREET

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF LOMA STREET, AS SHOWN AS N781715'W ON CERTAIN MAP OF PARCEL MAP, RECORDED IN BOOK 292 OF MAPS AT PAGE 50, SANTA CLARA COUNTY RECORDS.

FEMA MAP INFORMATION

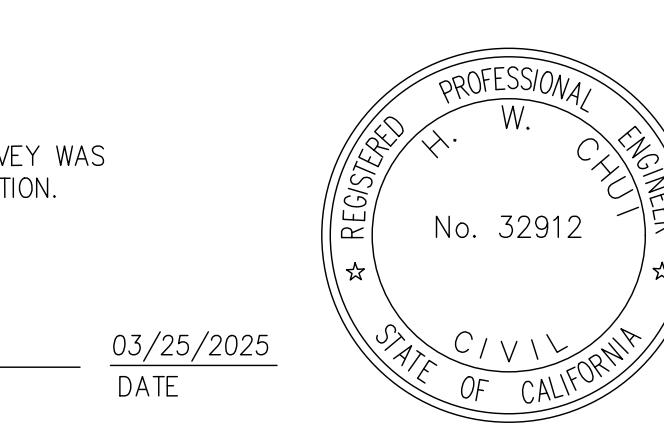
ZONES: D UNDETERMINED
100-YEAR BASE FLOOD ELEVATION:
COMMUNITY: SANTA CLARA COUNTY
MAP NUMBER: 06085C0377H
EFFECTIVE DATE: MAY 18, 2009

FEMA INFORMATION:
SHOWN ON THIS SURVEY MAP WAS INTERPOLATED
USING FEMA FIRM AND GIS MAPS
FROM FEMA FLOOD MAP SERVICE WEBSITE:
<https://msc.fema.gov>

SURVEYOR'S STATEMENT

THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS
PERFORMED BY ME OR UNDER MY DIRECTION.

Woon Chu
H. W. CHU
RCE NO. 32912 EXP.06-30-2026



16805 LOMA STREET
APN 532-07-101

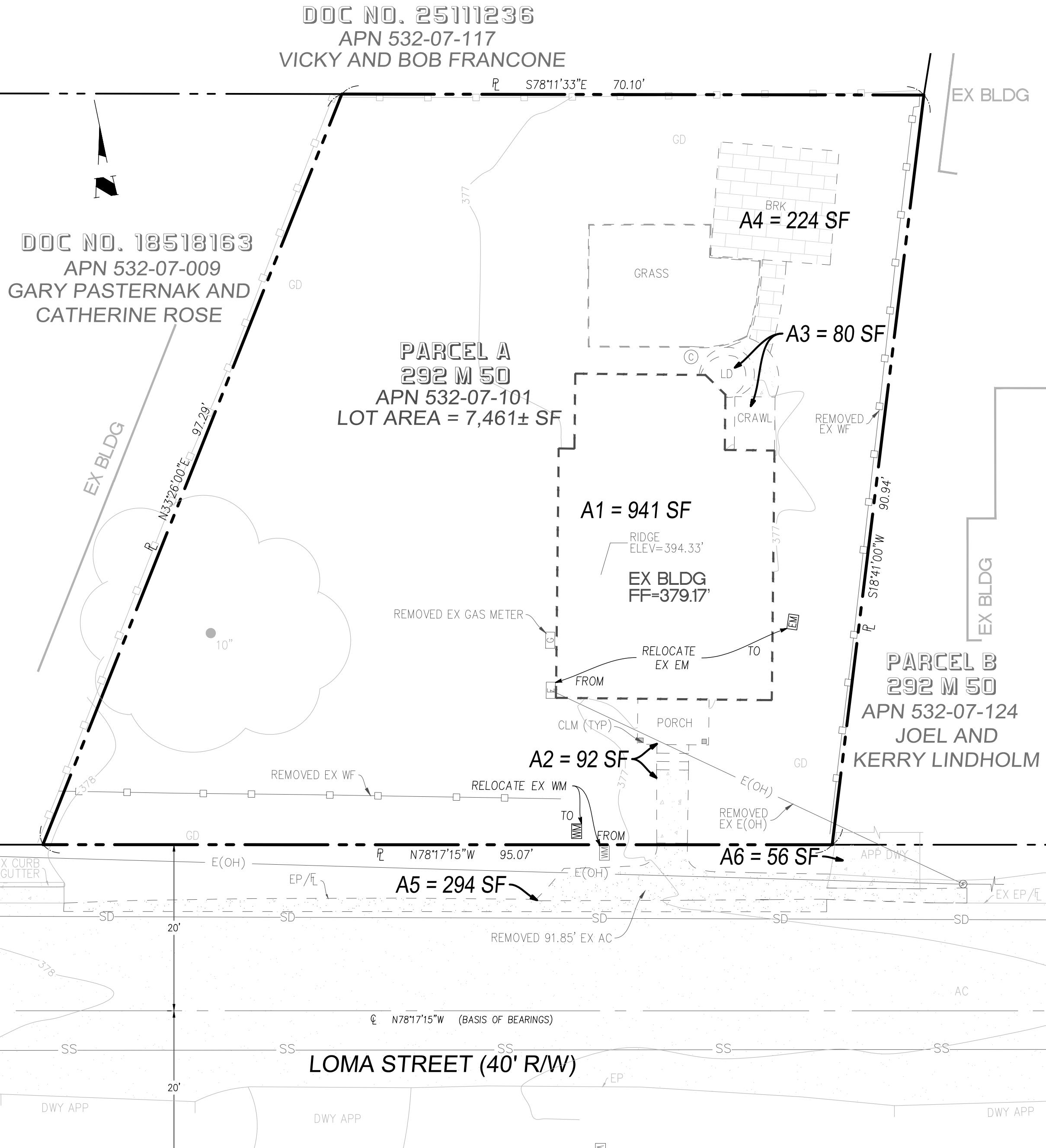
California
PROJECT NO. CONTRACT NO.

ENGINEERING
L
Engineering
598 E Santa Clara St, Ste 270
San Jose, CA 95112
Phone: (408) 806-7187

DRAWING NO. SHT NO. 3 of 9
FILE NO. 03/25/2025

VL	DESIGNED	03/25/2025
VL	DRAWN	03/25/2025
1"	SCALE	10'

DOC NO. 25111236
APN 532-07-117
VICKY AND BOB FRANCONE



DEMOLITION PLAN

LEGEND

- ITEM OR AREA TO BE REMOVED
- ITEM OR AREA TO REMAIN
- BRICK
- ASPHALT CONCRETE
- LAWN
- PROPOSED CONCRETE
- PORCH
- BUILDING
- EXISTING TREE TO REMAIN

ONSITE PRE - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	BLDG	REMOVE	941 SF	
A2	PORCH/WLK	REMOVE	92 SF	
A3	LANDING/CRAWL	REMOVE	80 SF	
A4	BRICK WLK	REMOVE	224 SF	
L	LANDSCAPE		6,124 SF	
	TOTAL		1,337 SF	6,124 SF

ONSITE POST - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
B1	BLDG	NEW	1,729 SF	
B2	PORCH	NEW	389 SF	
B3	DECK/WLK	NEW	410 SF	
B4	PAD	NEW	640 SF	
B5	WLK	NEW	278 SF	
B6	DWY	NEW	549 SF	
B7	WLK	NEW	161 SF	
B8	PATIO	NEW	126 SF	
L	LANDSCAPE		3,179 SF	
	TOTAL		4,282 SF	3,179 SF

SUMMARY

DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	1,337 SF	6,124 SF
POST-DEVELOPMENT	4,282 SF	3,179 SF
DIFFERENCE	2,945 SF	-2,945 SF

OFFSITE PRE - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A5	ASPHALT CONCRETE	REMOVE	294 SF	
A6	DWY APP	REMAIN	56 SF	
L	LANDSCAPE		505 SF	
	TOTAL		350 SF	505 SF

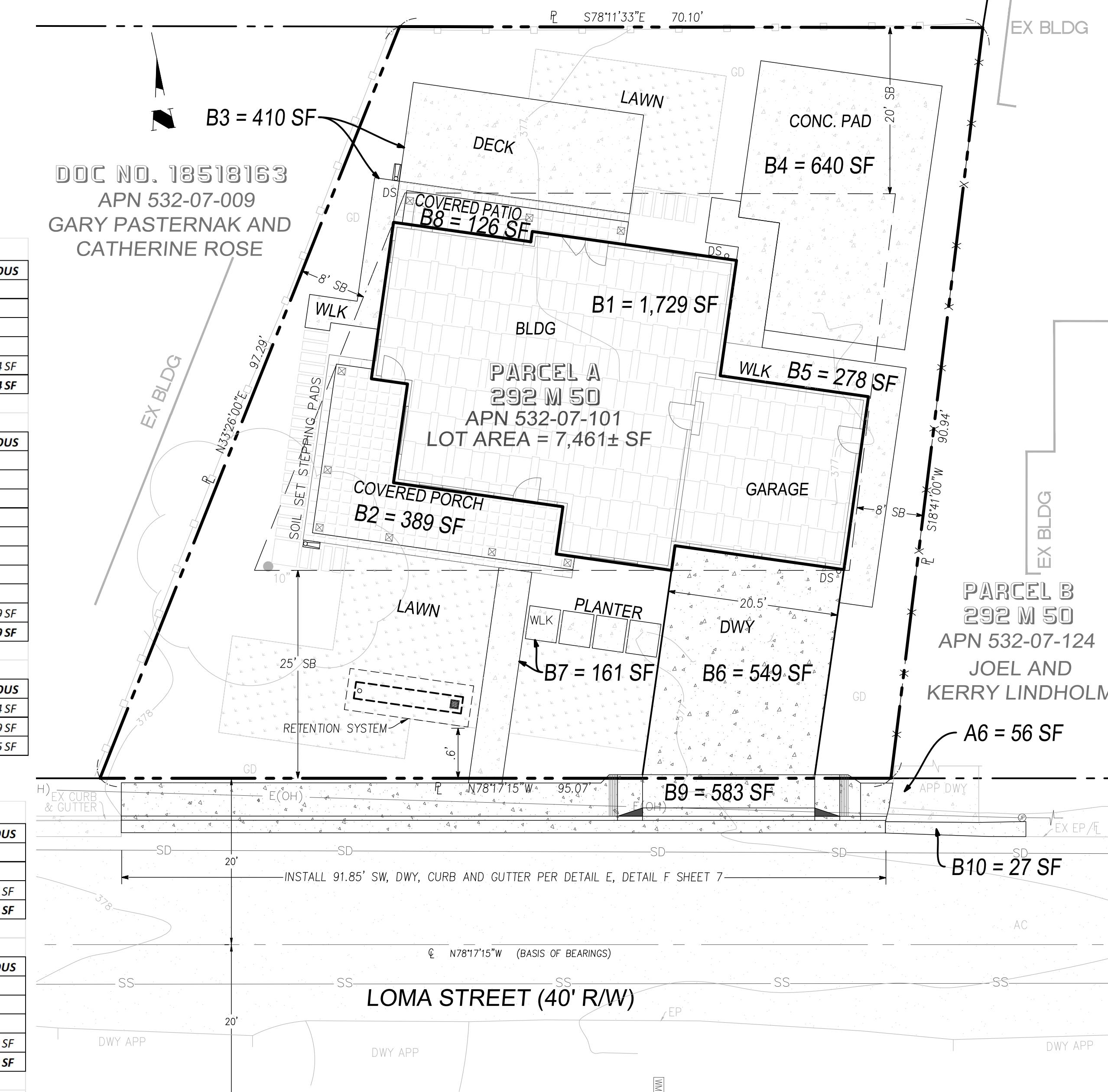
OFFSITE POST - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A6	DWY APP	REMAIN	56 SF	
B9	DWY APP/SW/C&G	NEW	583 SF	
B10	ASPHALT CONCRETE	NEW	27 SF	
L	LANDSCAPE		189 SF	
	TOTAL		666 SF	189 SF

SUMMARY

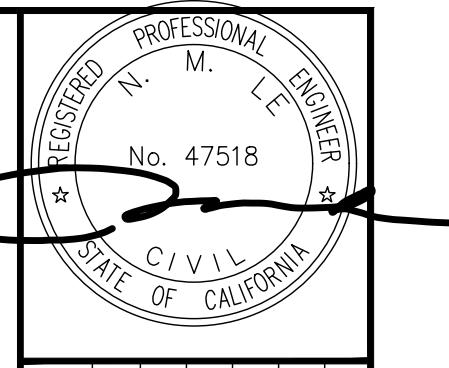
DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	350 SF	505 SF
POST-DEVELOPMENT	666 SF	189 SF
DIFFERENCE	316 SF	-316 SF

DOC NO. 25111236
APN 532-07-117
VICKY AND BOB FRANCONE



SITE PLAN

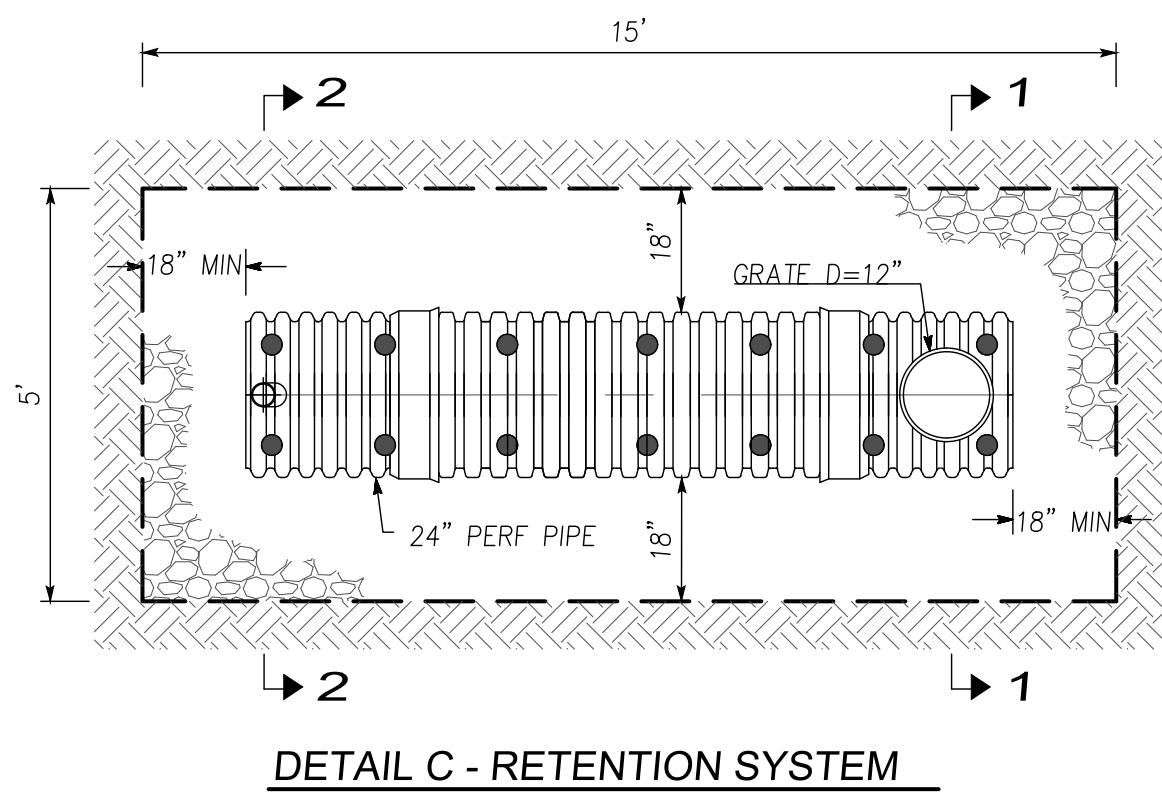
GRAPHIC SCALE
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(IN FEET)
1 inch = 10 ft.



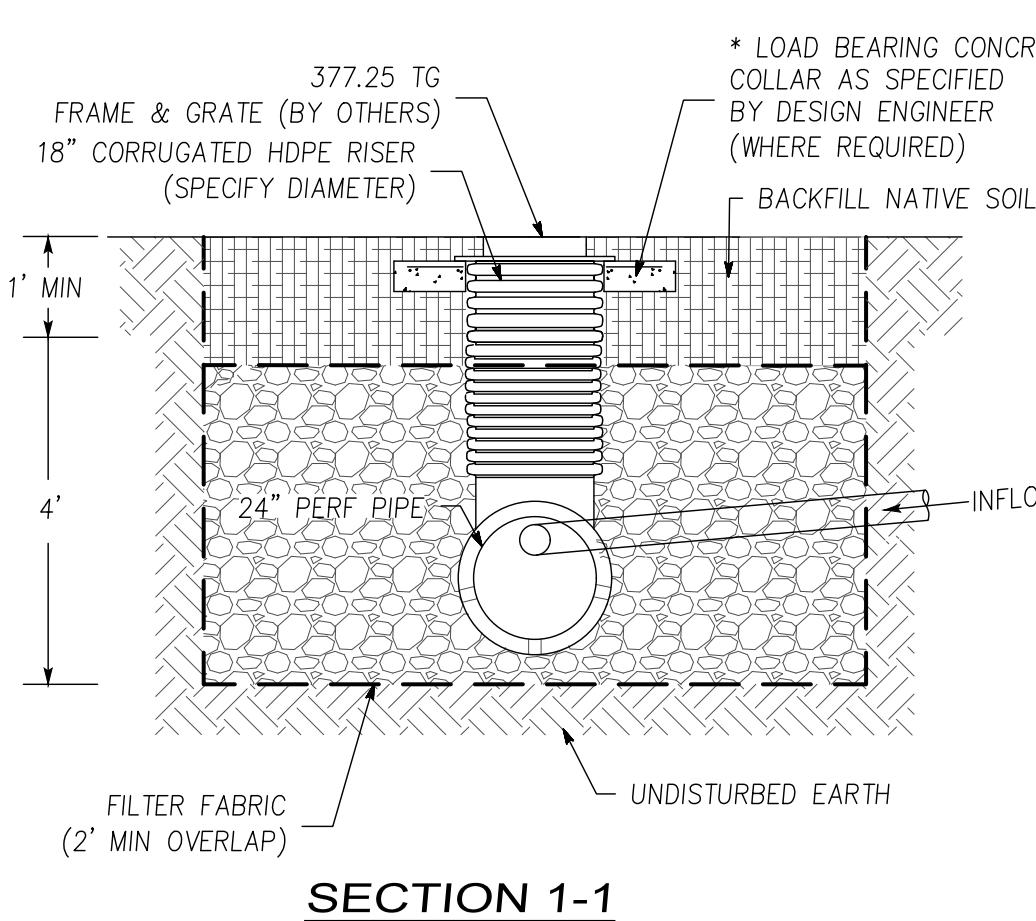
DOC NO. 25111236

APN 532-07-117

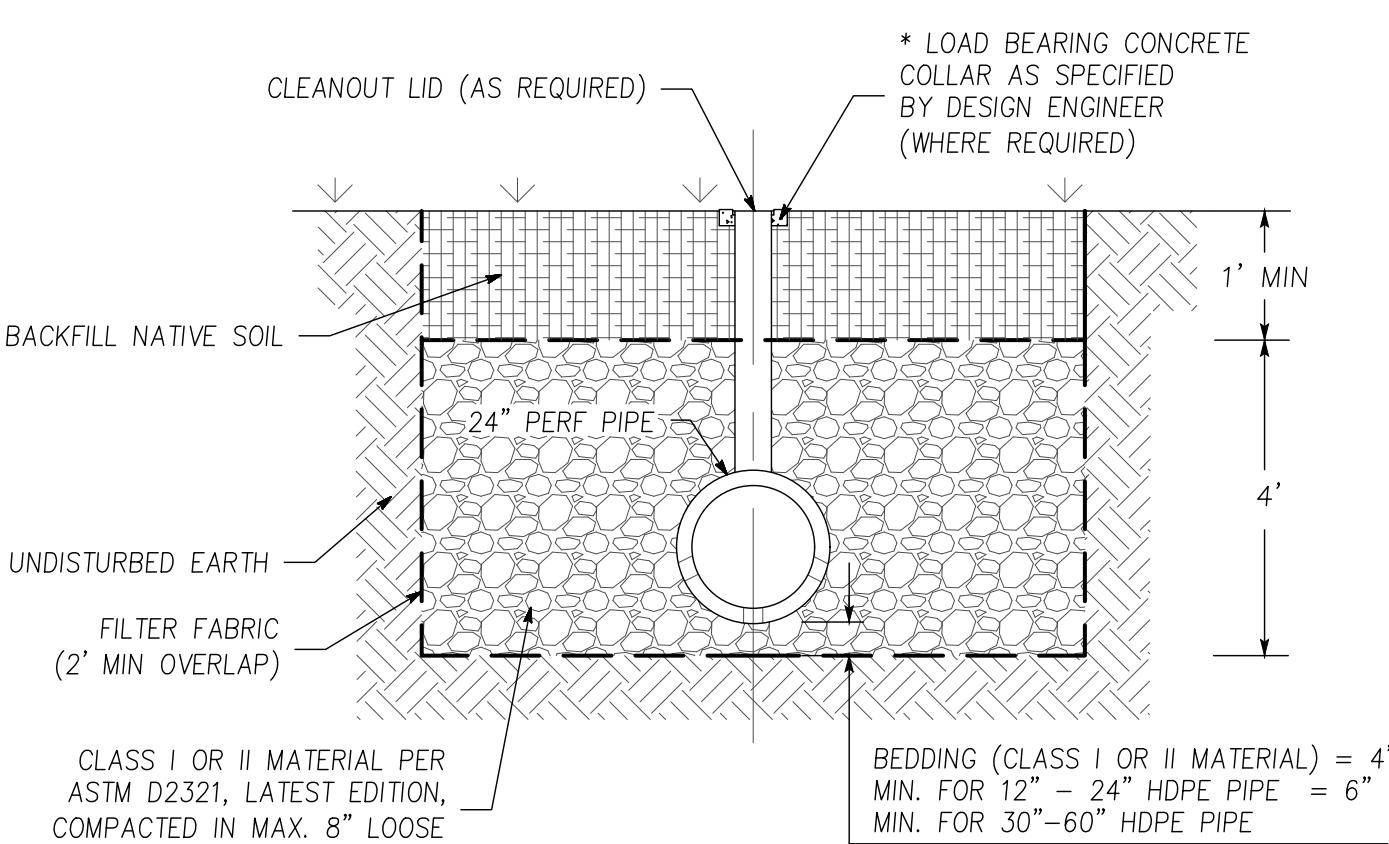
VICKY AND BOB FRANCONE



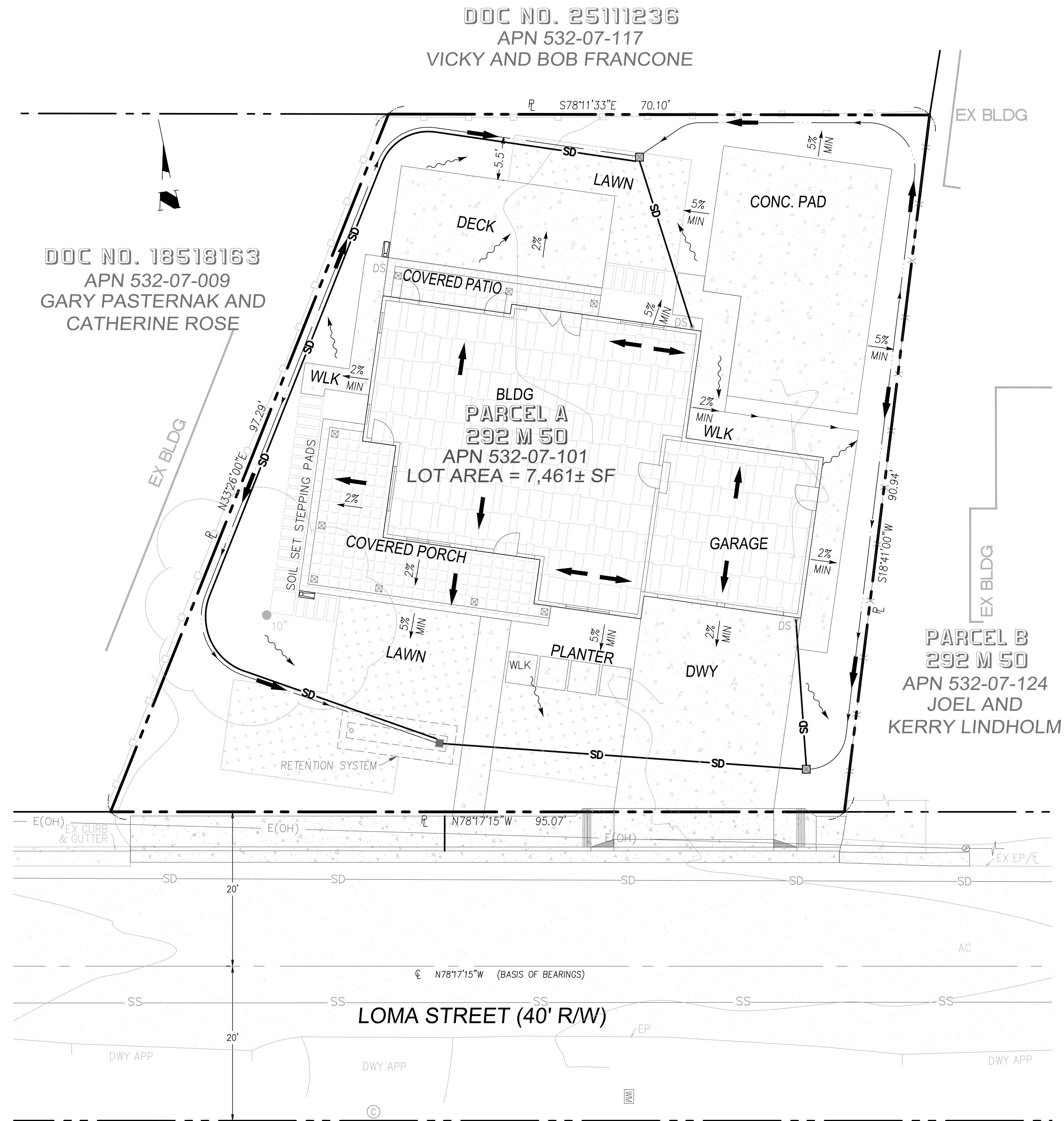
DETAIL C - RETENTION SYSTEM
NTS



SECTION 1-1



SECTION 2-2



TREATMENT SYSTEM:

1. RETENTION SYSTEM

INSPECTION & MAINTENANCE :

1. UPON PROJECT COMPLETION, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ROUTINE INSPECTION AND MAINTENANCE OF ALL ON-SITE DRAIN SYSTEM. STORM DRAIN SYSTEM SHALL BE CLEARED AND/OR FLUSHED ON BIENNIAL BASIS OR AS FOUND NECESSARY.
2. RETENTIONS & DETENTIONS SHALL BE INSPECTED PERIODICALLY BEFORE & DURING THE RAINY SEASON. THE MAINTENANCE REQUIREMENTS OF SWALES & RETENTIONS INCLUDE PERIODIC INSPECTION FOR EROSION AND FORMATION OF GULLIES, REMOVAL OF SEDIMENT BUILDUP & DEBRIS FROM THE BOTTOM OF CHANNEL, AND MOWING GRASS LINED SWALES SHOULD BE MOWED REGULARLY TO MAINTAIN A HEIGHT OF APPROX. 4-6 INCHES. NATURALIZED SWALES REDUCE THE MOWING REQUIREMENTS TO ONLY ONCE PER SEASON.

SITE DESIGN MEASURES:

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

SOURCE CONTROL MEASURES:

1. GOOD HOUSEKEEPING, EG., SWEEP PAVEMENT AND CLEAN CATCH BASIN
2. STORM DRAIN LABELING.

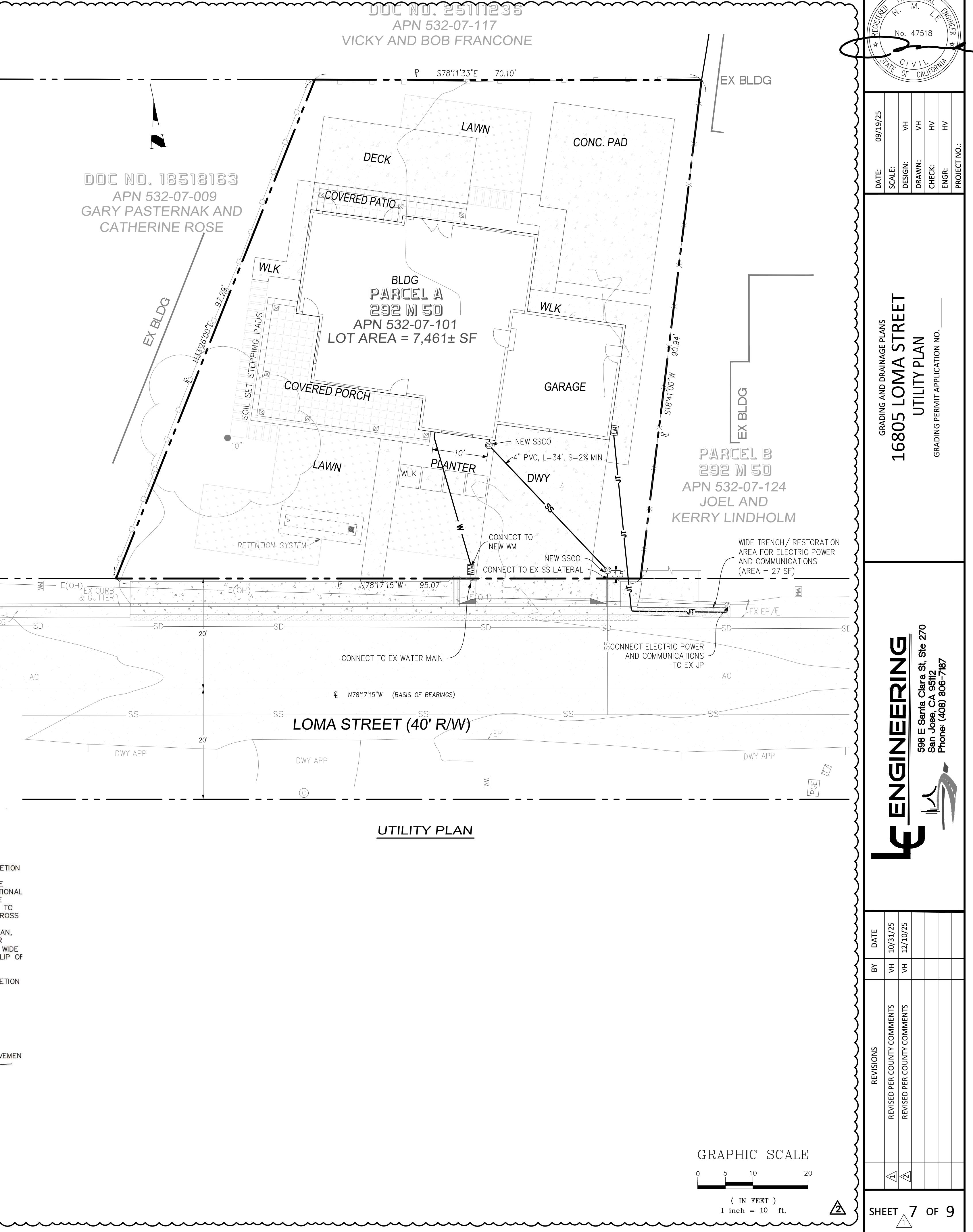
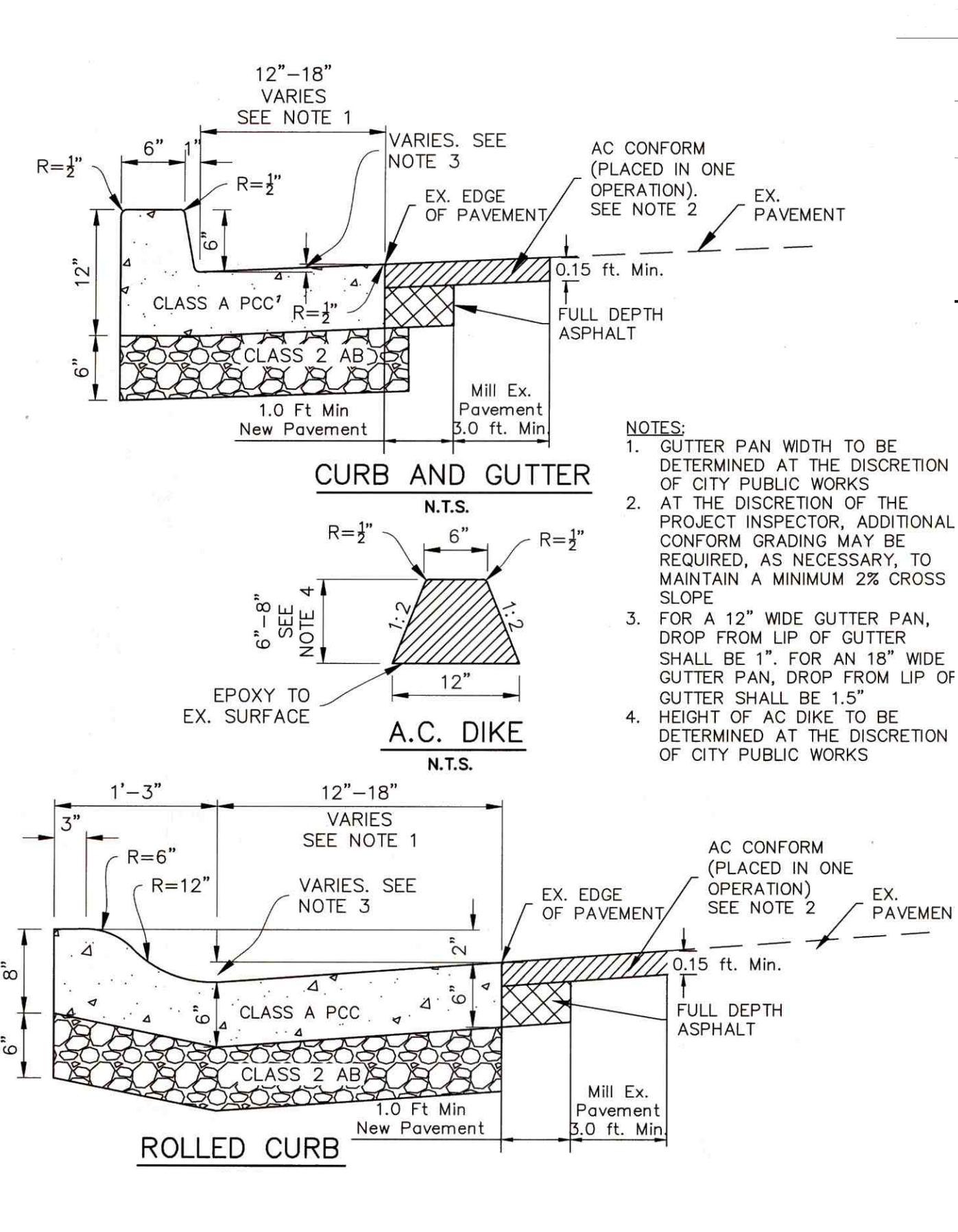
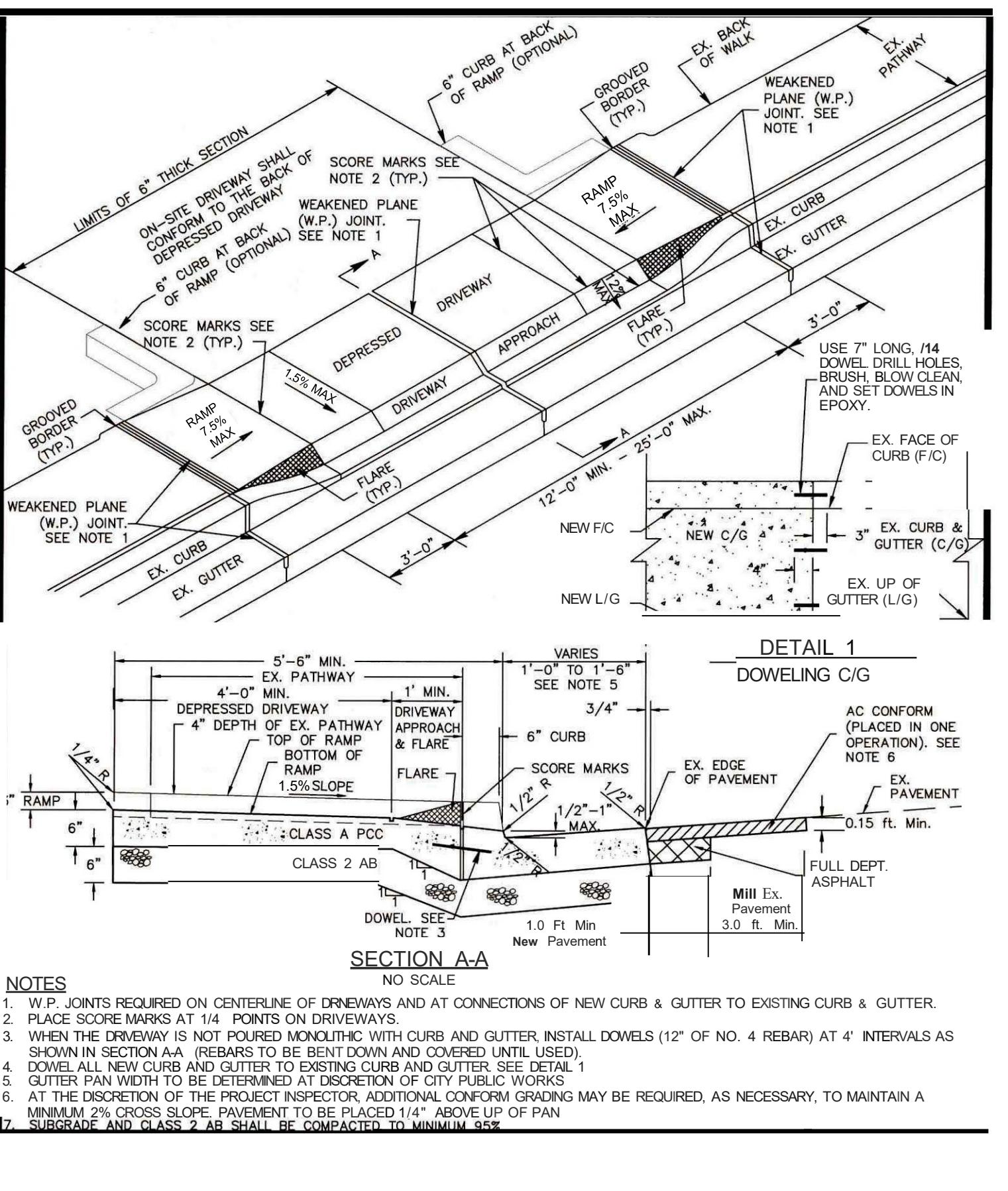
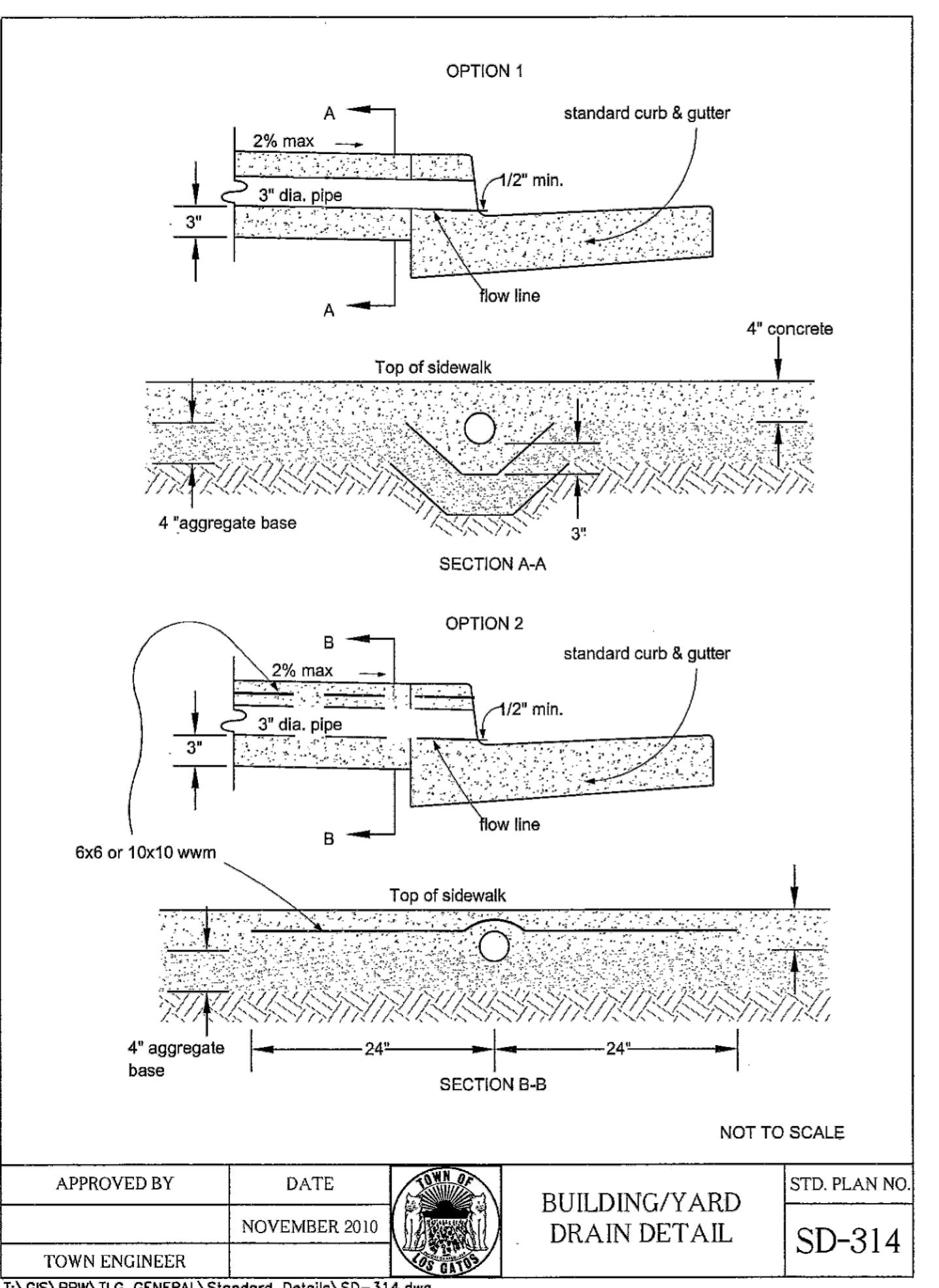
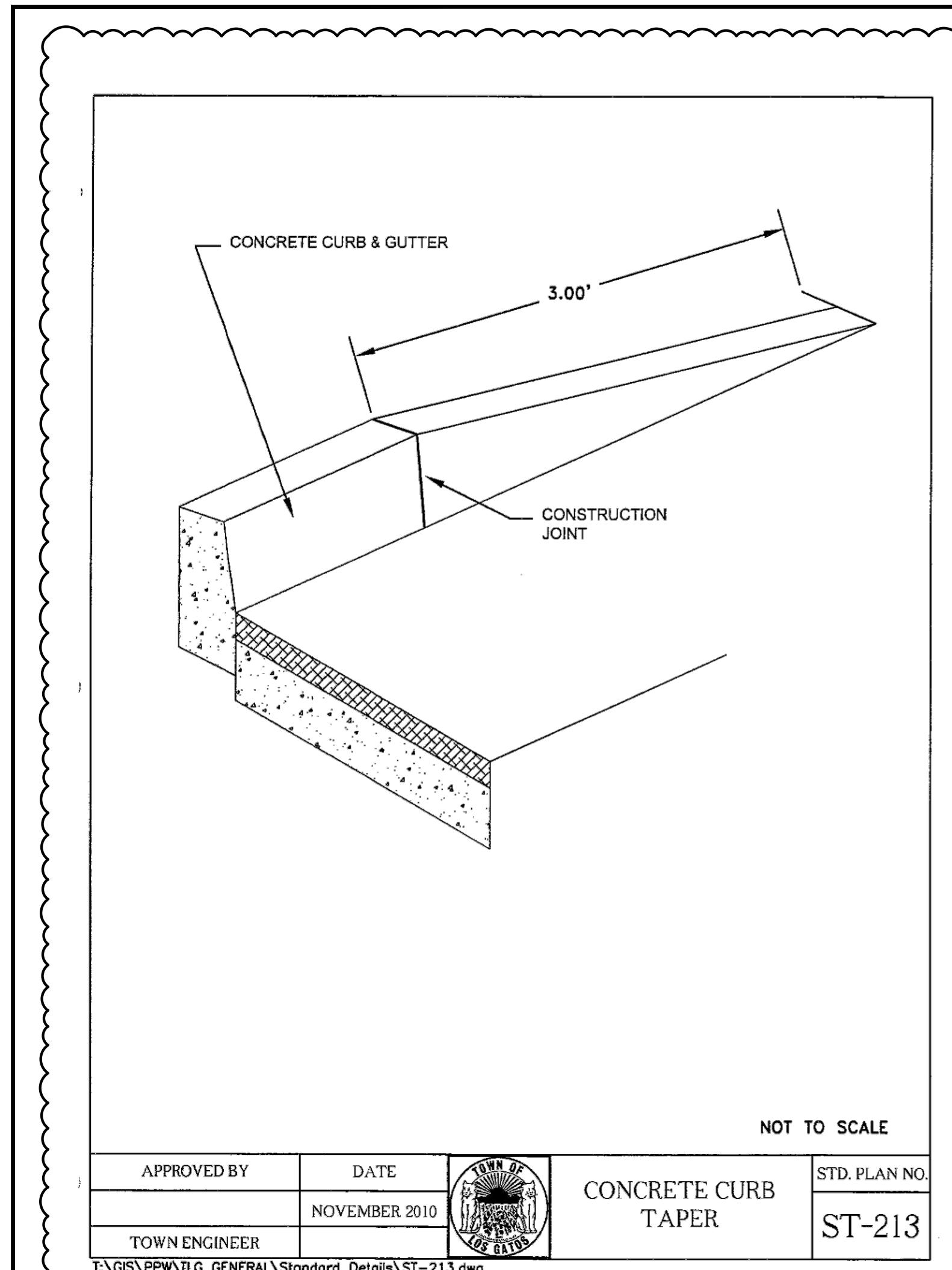
GRAPHIC SCALE
0 5 10 20
(IN FEET)
1 inch = 10 ft.

Engineering
598 E Santa Clara St, Ste 270
San Jose, CA 95112
Phone: (408) 806-7187

GRADING AND DRAINAGE PLANS
16805 LOMA STREET
STORMWATER CONTROL PLAN
GRADING PERMIT APPLICATION NO. _____

DATE: 09/19/25
SCALE: _____
DESIGN: VH
DRAWN: VH
CHECK: HV
ENGR: HV
PROJECT NO: _____

SHEET 6 OF 9



DOC NO. 25111236
APN 532-07-117

DOC NO. 18518
APN 532-07-00

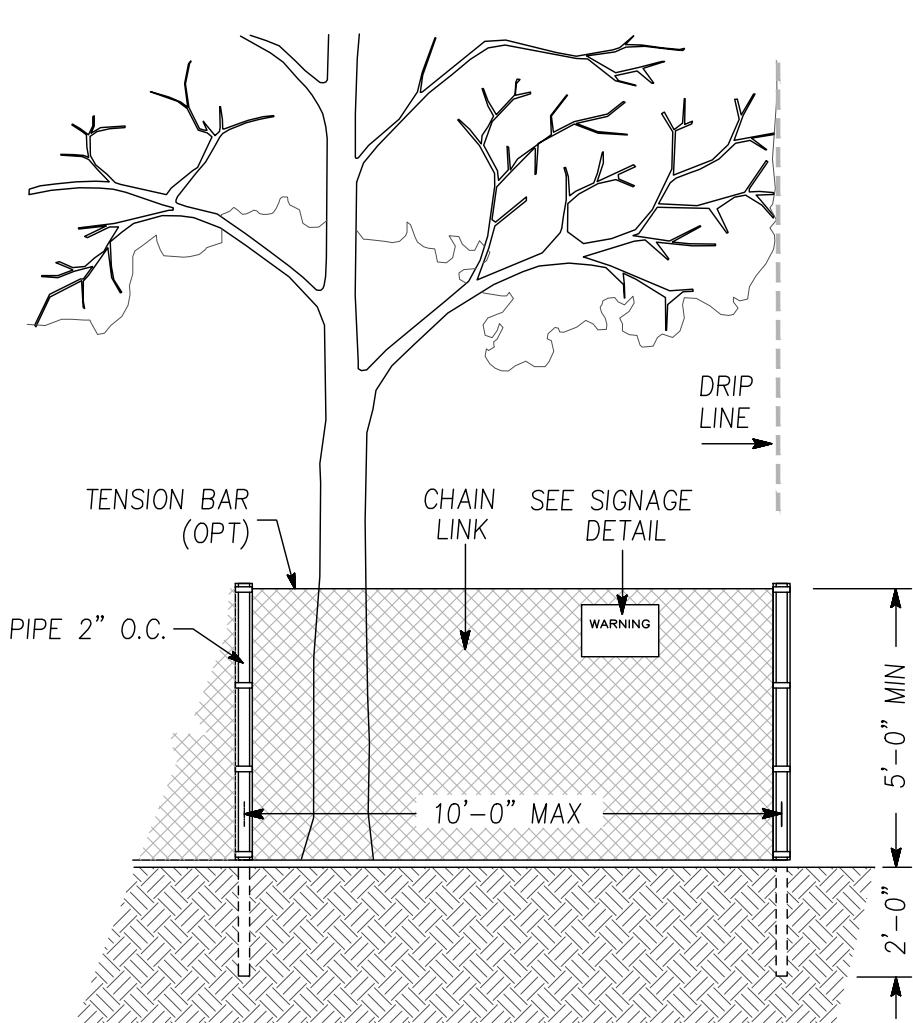
Site plan showing the layout of Parcel A and Parcel B. The property lines are marked with black lines and circular corner points. The plan includes the following features:

- Parcel A (Left):**
 - BER ROLLS (TYP) at the top left corner.
 - Dimensions: S78°11'33"E, 70.10' along the top boundary.
 - Dimensions: N78°17'15"W, 95.07' along the bottom boundary.
 - Structures: BLDG, DECK, COVERED PATIO, and a large BLDG labeled "PARCEL A 292 M 50".
 - Landscaping: LAWN, PLANTER, and a CONC. PAD.
 - Access: CONSTRUCTION ENTRANCE/EXIST.
- Parcel B (Right):**
 - Dimensions: S18°41'00"W, 90.94' along the right boundary.
 - Structures: EX BLDG, GARAGE, and a CONCRETE WASHOUT.
 - Landscaping: LAWN and a DWY.
- Common Elements:**
 - WLK (walkways) are shown throughout the property.
 - EX BLDG (existing building) is located at the top right and bottom right.
 - DECK, COVERED PATIO, and CONC. PAD are also present in the central and right areas.

EROSION CONTROL PLAN

NOTES:

1. EROSION AND SEDIMENTS CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANACT LANDSCAPING IS INSTALLED.
2. CONTRACTOR TO PROVIDE STORMDRAIN INLET PROTECTION AT NEAREST INLET DOWNSTREAM OF PROJECT SITE.



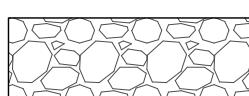
EXISTING TREE PROTECTION DETAILS

DOC NO. 25111236
APN 532-07-117

DOC NO. 18518163
APN 532-07-009

LEGEND

The legend consists of six entries, each with a small icon on the left and a text label to its right. 1. CONCRETE WASHOUT: A square with a smaller square inside. 2. CONSTRUCTION STORAGE AREA: A rectangle with diagonal hatching. 3. FIBER ROLLS: A horizontal line with a circle in the middle. 4. PORTABLE TOILET: A rectangle with a cross-hatch pattern. 5. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST: A rectangle filled with a pattern of irregular, rounded shapes. 6. TEMPORARY DRAINAGE INLET PROTECTION: A circle with a dashed inner circle.

CONCRETE WASHOUT	
CONSTRUCTION STORAGE AREA	
FIBER ROLLS	
PORTABLE TOILET	
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST	
TEMPORARY DRAINAGE INLET PROTECTION	

SECURITY FENCE (TYP)
P S78°11'33"E 70.10' EX BLDG

DOC NO. 18518163
APN 532-07-009

EXIST

EX BLDG

N 33°26'00"E 97.29' EX BLDG

PARCEL A
292 M 50
APN 532-07-101
LOT AREA = 7,461± SF

BLDG
WLK
SOIL SET STEPPING PADS
COVERED PORCH
LAWN
PLANter
DWY
CONCRETE WASHOUT
PORTABLE TOILET
CONSTRUCTION STORAGE AREA
DEBRIS BOX
RETENTION SYSTEM
CLEAN UP AREA
DEBRIS BOX

PARCEL B
292 M 50
APN 532-07-124

E(OH) N78°17'15"W 95.07' E(OH) EX EP/

SD 20' SD SD SD SD SS SS SS SS

SS 20' SS SS SS SS

LOMA STREET (40' R/W)

AC

EP

© N78°17'15"W (BASIS OF BEARINGS)

CONSTRUCTION MANAGEMENT PLAN

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAILS AND SPECIFICATION S1.7.

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE CITY LOS GATOS PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

GRAPHIC SCALE

0 5 10 20

(IN FEET)

1 inch = 10 ft.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

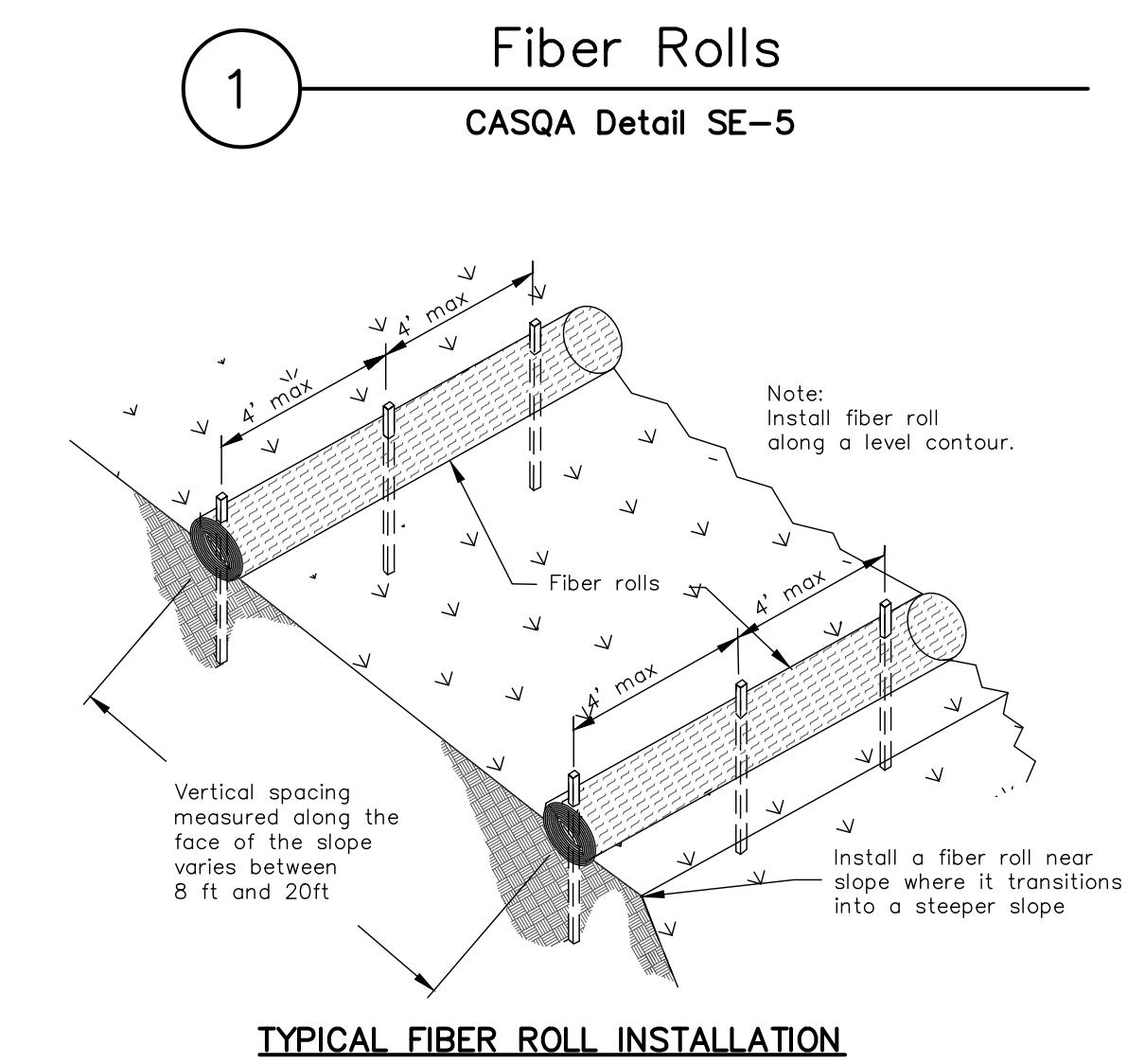
1. CONTRACTOR/OWNER: WUNDRUM
ADDRESS: 16805 LOMA STREET, LOS GATOS, CA 95032
PHONE NUMBER:
IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
2. CIVIL ENGINEER: LC ENGINEERING 598 E SANTA CLARA ST, SUITE STE 270, SAN JOSE, CA 95112. (408) 806-7187
3. CONTRACTOR: WUNDRUM
ADDRESS: 16805 LOMA STREET, LOS GATOS, CA 95032
24-HOUR PHONE NUMBER:
CONSTRUCTION SUPERINTENDENT: WUNDRUM
ADDRESS: 16805 LOMA STREET, LOS GATOS, CA 95032
24-HOUR PHONE NUMBER:
4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
6. OWNER/CONTRACTER SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPILED WITH.
11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

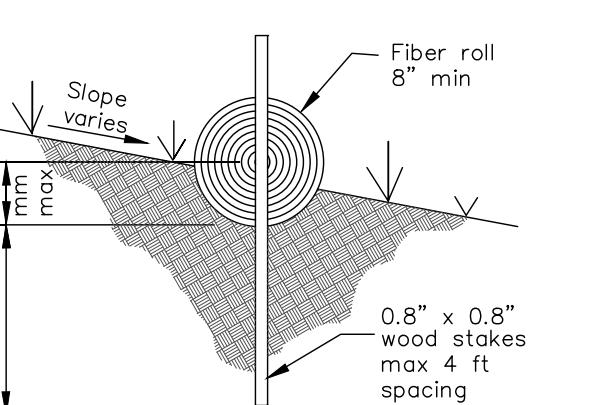
1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BE SITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.
9. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

MAINTENANCE NOTES

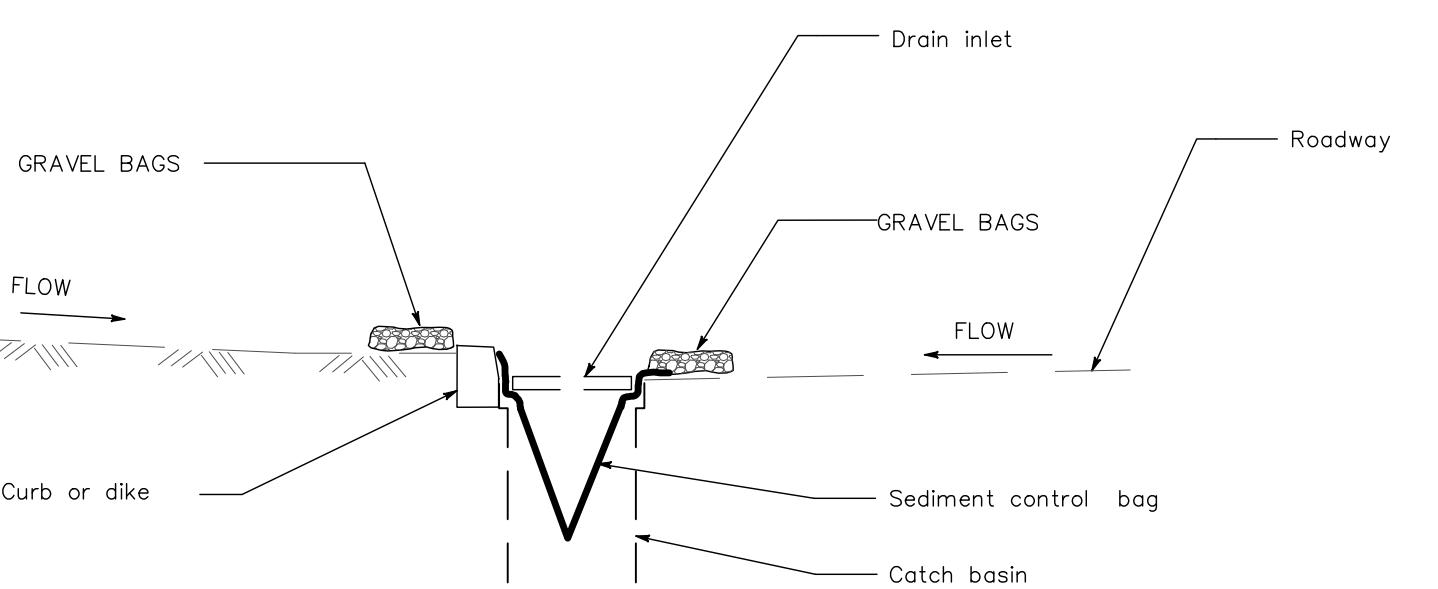
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND FULLIES MUST BE REPAIRED.
2. SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.
3. EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.



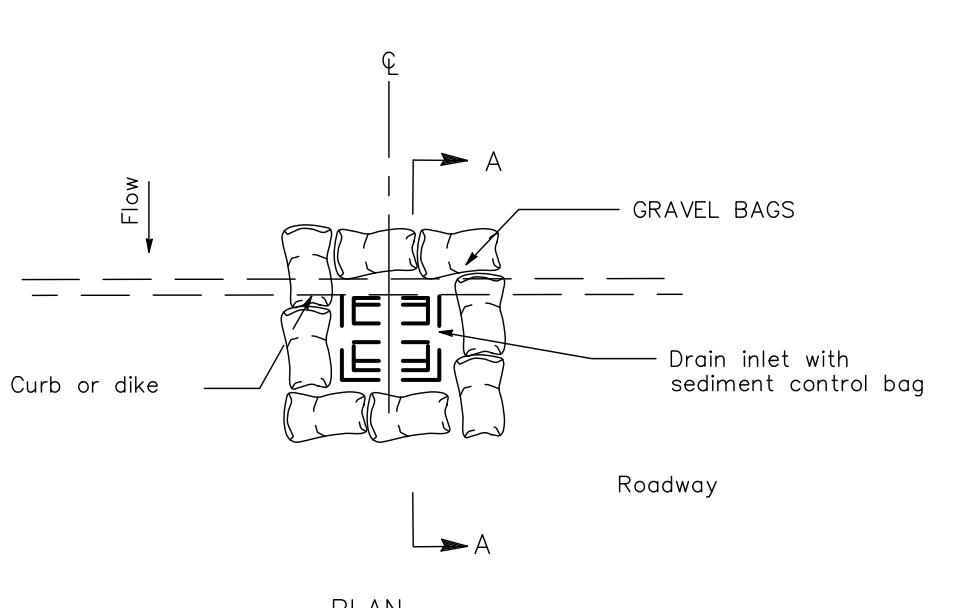
TYPICAL FIBER ROLL INSTALLATION



INTRENCHMENT DETAIL



CTION A-A

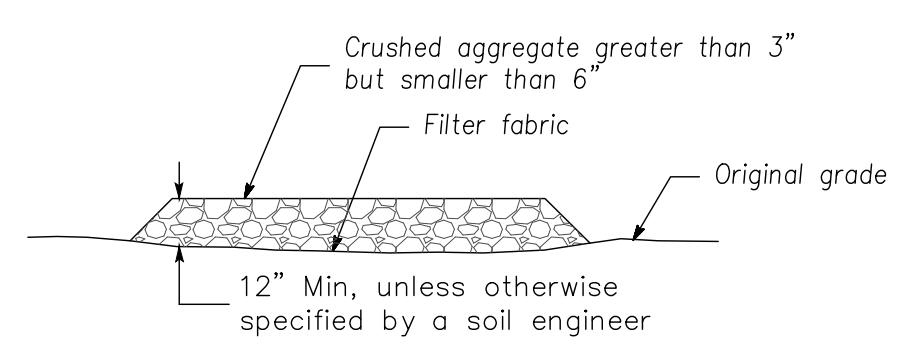


TEMPORARY DRAINAGE INLET PROTECTION

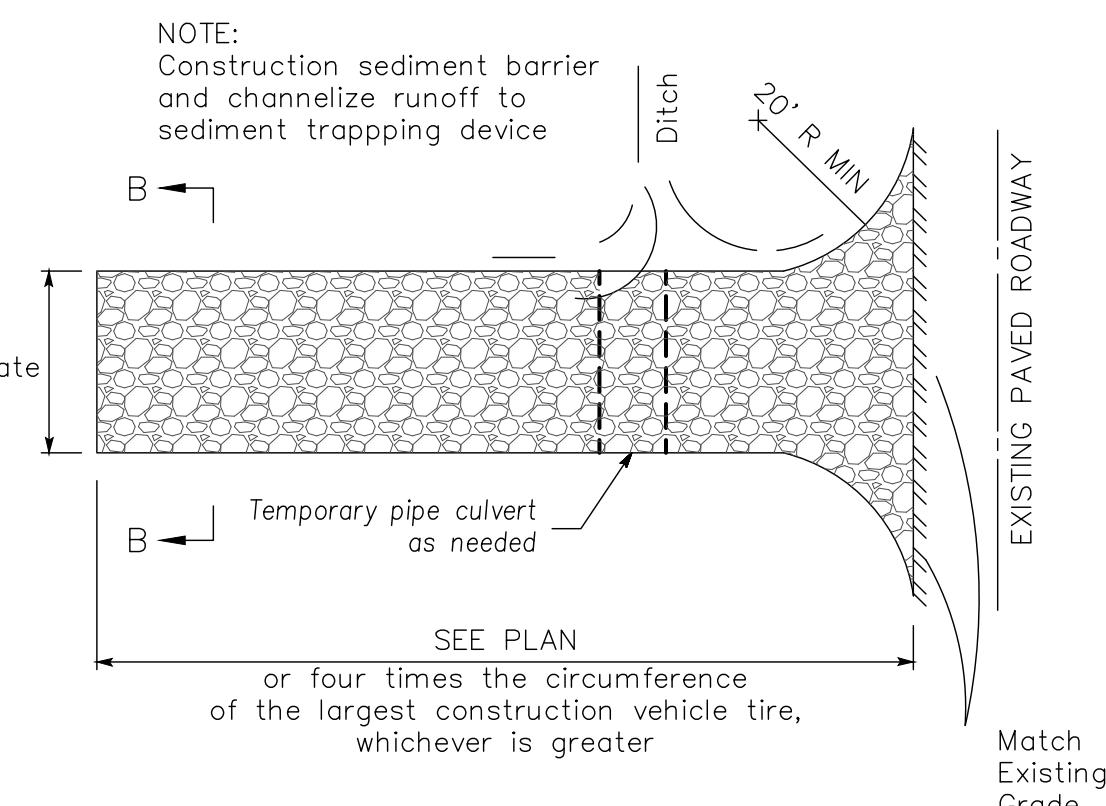
For paved areas exposed to traffic



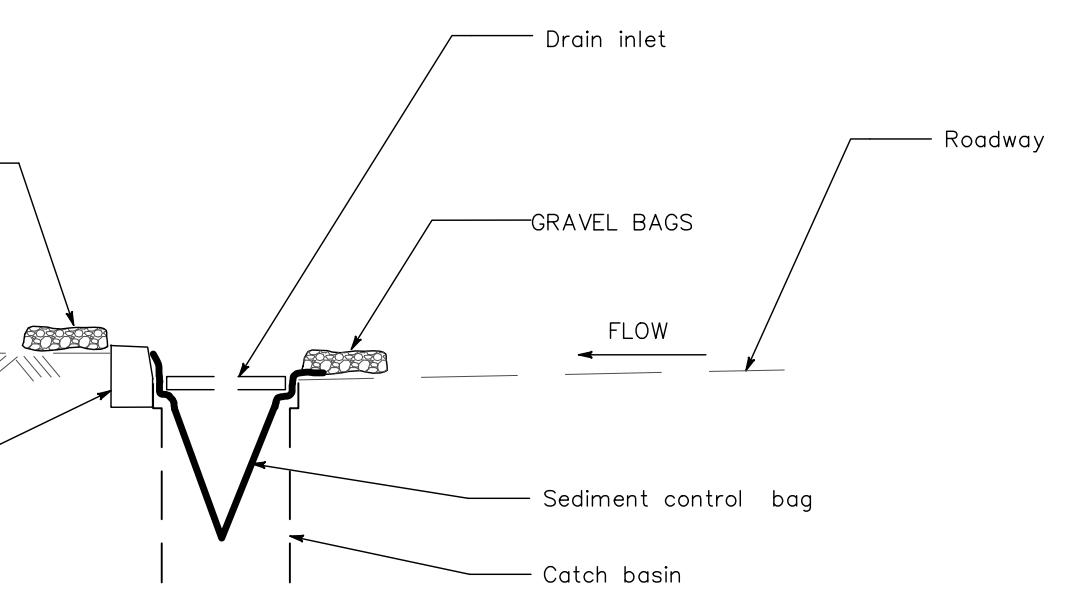
CASQA Detail TC-1



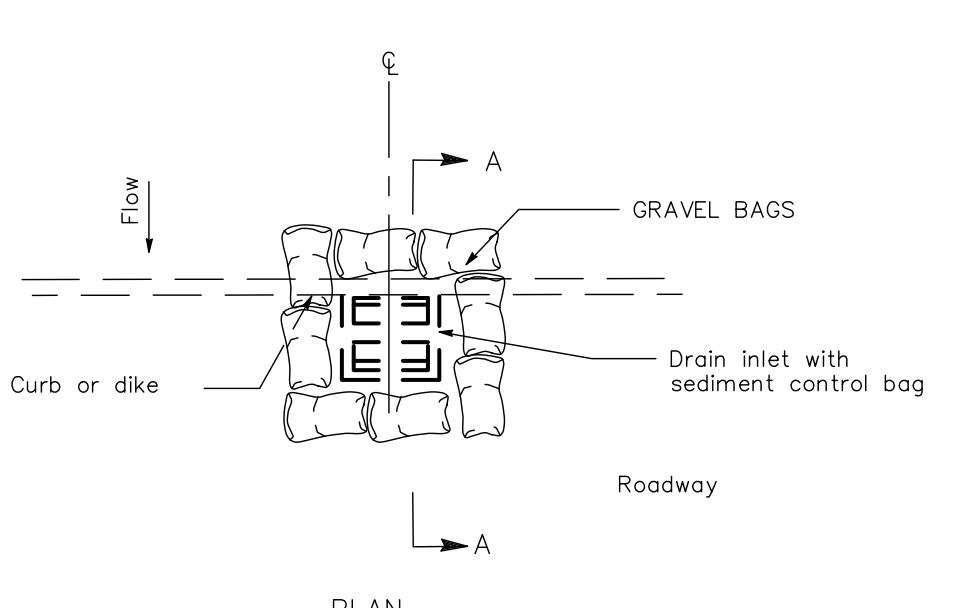
SECTION B-B NTS



NOTE:
Construction sediment barrier
and channelize runoff to
sediment trapping device



CTION A-A



TEMPORARY DRAINAGE INLET PROTECTION

For paved areas exposed to traffic



California
Horticulture

LANDSCAPE
CONSTRUCTION
INCORPORATED

753 Camden
Avenue
Campbell, CA
95008

Phone
408-364-3190
FAX 408-364-3199

Contractors
License
B & C-27 & C-53
641851

Wundram Residence

16805 Loma Street, Los Gatos, CA 95032

APN: 532-07-101

SITE DATA

APN: 532-07-101
ADDRESS: 16805 LOMA STREET
LOS GATOS, CA 95032
ZONING DISTRICT: R1-8
OCCUPANCY USE: SINGLE FAMILY RESIDENTIAL
LOT AREA: 7,461 S.F.
AVG LOT SLOPE: 2% FLAT
STRUCTURAL COVERAGE:
FIRST FLOOR, PORCHES, GARAGE 2,326 S.F.
FRONT, REAR, SIDE SETBACKS: 25'-0" FRONT
20'-0" REAR
8'-0" SIDES
FRONT & REAR YARD IMPERVIOUS COVERAGE:
CONCRETE DRIVEWAY, WALKWAYS,
STEPPING PADS AND PATIO 1,518 S.F.
TOTAL LANDSCAPE AREA: 2,749 S.F.

PROJECT DIRECTORY

OWNERS: WILLIAM WUNDRAM
16805 LOMA STREET
LOS GATOS, CA 95032
PH: (408) 421-5494
APPLICANT: COURNEY CAMERON
CALIFORNIA HORTICULTURE LANDSCAPE CONSTRUCTION INC.
753 CAMDEN AVENUE
CAMPBELL, CA 95008
CA LIC. #641851
PH: (408) 364-3190

PROJECT DESCRIPTION

SCOPE OF WORK INDICATED IN THESE LANDSCAPE DRAWINGS INCLUDES:
CARPENTRY ITEMS: NEW 6' TALL GOOD NEIGHBOR FENCING AND GATES.
LANDSCAPE HARDCAPE ITEMS: NEW Poured COLORED CONCRETE DRIVEWAY AND SIDE YARD PATHS, SOIL-SET STONE STEPPING PAD WALKWAYS AND A REAR COLORED CONCRETE PATIO.

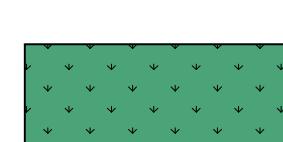
LEGEND



DRIVeway PAVING: 6" THICK POURED COLORED CONCRETE SET OVER 6" DEPTH CLASS II BASEROCK COMPACTED TO 95%.



PEDESTRIAN PAVING: 4" MIN. THICK CONCRETE W/ #3 REBAR @ 18" O.C.B.W. OVER 6" DEPTH CLASS II BASEROCK COMPACTED TO 95% INTEGRAL COLOR AS SELECTED AND SOLVENT ETCH FINISH.



LAWN: GRASS FROM DELTA BLUEGRASS TO BE SELECTED BY OWNER.



SOIL-SET STEPPING PADS: 12"X36" AND 1.5" TO 2" THICK TO BE SELECTED BY OWNER SET ON 1" OF LEVELING SAND.



HEADER BOARD: BLACK STEEL HEADERBOARD & STAKES. INSTALL BETWEEN GRAVEL AREAS & LAWN & PLANTING AREAS LOCATIONS PER PLAN.



PLANTING AREA: AMENDED NATIVE SOIL WITH NEW PLANTING PER PLANTING PLAN



EXISTING ELECTRICAL: EXISTING ELECTRICAL RUN TO PANEL



EXISTING SEWER LINE: EXISTING SEWER LINE RUN TO FRONT OF HOUSE



EXISTING WATER LINE: EXISTING WATER LINE RUN TO FRONT OF HOUSE. WATER IS PROVIDED BY SAN JOSE WATER COMPANY



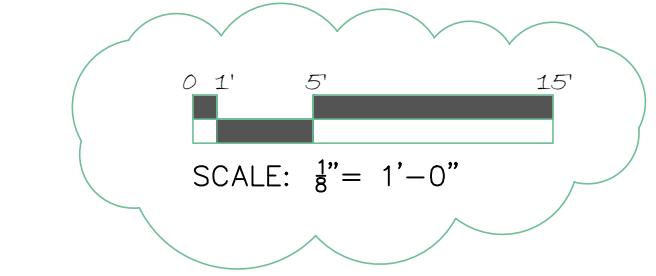
CODE COMPLIANCE

ALL WORK SHALL CONFORM TO LOCAL CODES & ORDINANCES INCLUDING THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CEC ELECTRICAL CODE
2022 ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
(CALGREEN RESIDENTIAL CHECKLIST)

WELO STATEMENTS:

"I agree to comply with the requirements for the performance compliance option of the MWELo and submit a complete Landscape Documentation Package."



Courtney Cameron

Sheet: Cover Sheet
Date: 9-2-2025
Drawn by: CC
Revisions: 10-17-2025
Revisions: 11-26-2025

SHEET

L1



California
Horticulture

LANDSCAPE
CONSTRUCTION
INCORPORATED

753 Camden
Avenue
Campbell, CA
95008

Phone
408-364-3190
FAX 408-364-3199

Contractors
License
B & C-27
C-53
641851

Wundram Residence

16805 Loma Street, Los Gatos, CA 95032

APN: 532-07-101

Courtney Cameron

Sheet: Tree Plan

Date: 9-2-2025



Drawn by: CC

Revisions: 10-17-2025

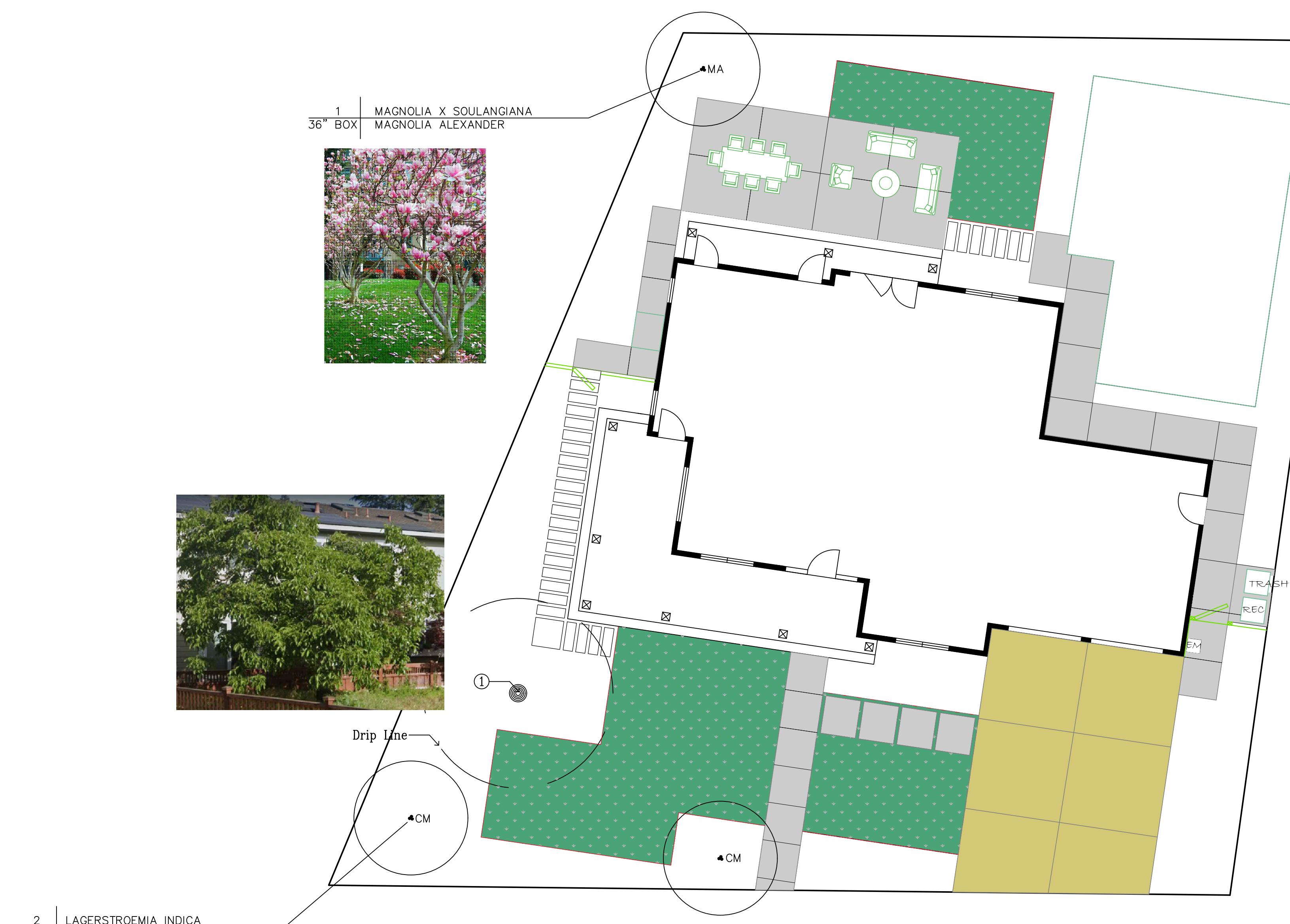
Revisions: 11-26-2025

SHEET

L2

TREE LEGEND

QUANTITY	SIZE	LATIN NAME	COMMON NAME
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24" BOX
LAGERSTROEMIA INDICA
CREPE MYRTLE



1
36" BOX
MAGNOLIA X SOULANGIANA
MAGNOLIA ALEXANDER

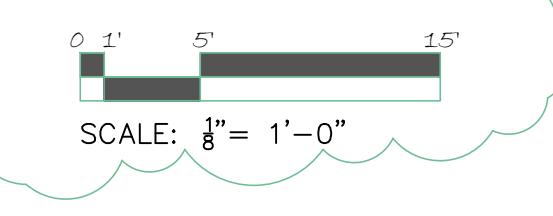


PRIVACY TREES

SYM	COMMON NAME	BOTANICAL NAME	SIZE	QTY	ANTICIPATED HEIGHT & SPREAD	AVERAGE RATE OF GROWTH PER YEAR
MA	MAGNOLIA ALEXANDER	MAGNOLIA X SOULANGIANA	36" BOX	1	20 TO 25 H/S	Moderate
CM	CREPE MYRTLE	LAGERSTROEMIA INDICA	24" BOX	2	15 TO 20 H/S	Moderate

EXISTING TREES TO REMAIN

#	COMMON NAME	BOTANICAL NAME	DBH	CONDITION	CANOPY	QTY
1	WALNUT TREE	JUGLANS REGIA	10"	GOOD	15'	1





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LEGEND



IRRIGATION HYDROZONE: INDICATES LIMITS OF IRRIGATION ZONE AND RESPECTIVE VALVE NUMBER. ALL IRRIGATION ZONES SHALL BE 1 GPH PRESSURE COMPENSATING DRIP EMITTERS UNLESS OTHERWISE NOTED. EACH 1 AND 5 GALLON PLANT SHALL RECEIVE 2 EMMITTERS. 15 GALLON PLANTS SHALL RECEIVE 6 EMMITTERS. BOX PLANTS AND TRANSPLANTED MATERIAL SHALL RECEIVE 10 EMMITTERS.

O8H

POP-UP SPRAY HEAD: LAWN SPRAY IRRIGATION - RAIN BIRD 1800 SERIES 6" POP UP BODIES W/ RAINBIRD MPR SERIES MATCHED PRECIPITATION RATE SPRAY NOZZLES W/ RESPECTIVE RADIUS & PATTERN AS INDICATED

C

IRRIGATION CONTROL CLOCK: TORO 'TMC-424E-OD' WITH (2) x 'TSM-BF' FLOW SENSING EXPANSION MODULES (20 TOTAL STATIONS). PLUG INTO 120 VOLT GFCI OUTLET ON HOUSE EXTERIOR WALL.

WS

WEATHER SENSOR: TORO 'TWS' WIRELESS RAIN SENSOR. MOUNT IN LOCATION AS APPROVED BY CONTRACTOR.

M

WATER METER: EXISTING DOMESTIC SERVICE METER

F

FILTER: RAINBIRD QUICK CHECK BASKET FILTER W/ 120 MESH SCREEN. SIZE PER MAINLINE

B

BACKFLOW PREVENTER: TFEBCO 825Y 1" BACKFLOW ASSEMBLY W/ ISOLATION SHUTOFF VALVES. LOCATE 12" ABOVE GRADE IN PLANTING AREA. SCREEN FROM VIEW W/ ADJACENT PLANTING.

MV

MASTER VALVE: IRRITROL 700 SERIES 1 1/2" VALVE ASSEMBLY. LOCATE IN VALVE BOX.

FS

FLOW SENSOR: TORO 'TFS-150' FLOW SENSOR. LOCATE IN VALVE BOX

⊕

SOLENOID VALVE: IRRITROL ULTRAFLOW 700 SERIES 1" VALVE W/ 30 PSI PRESSURE REGULATOR. LOCATE IN VALVE BOX.

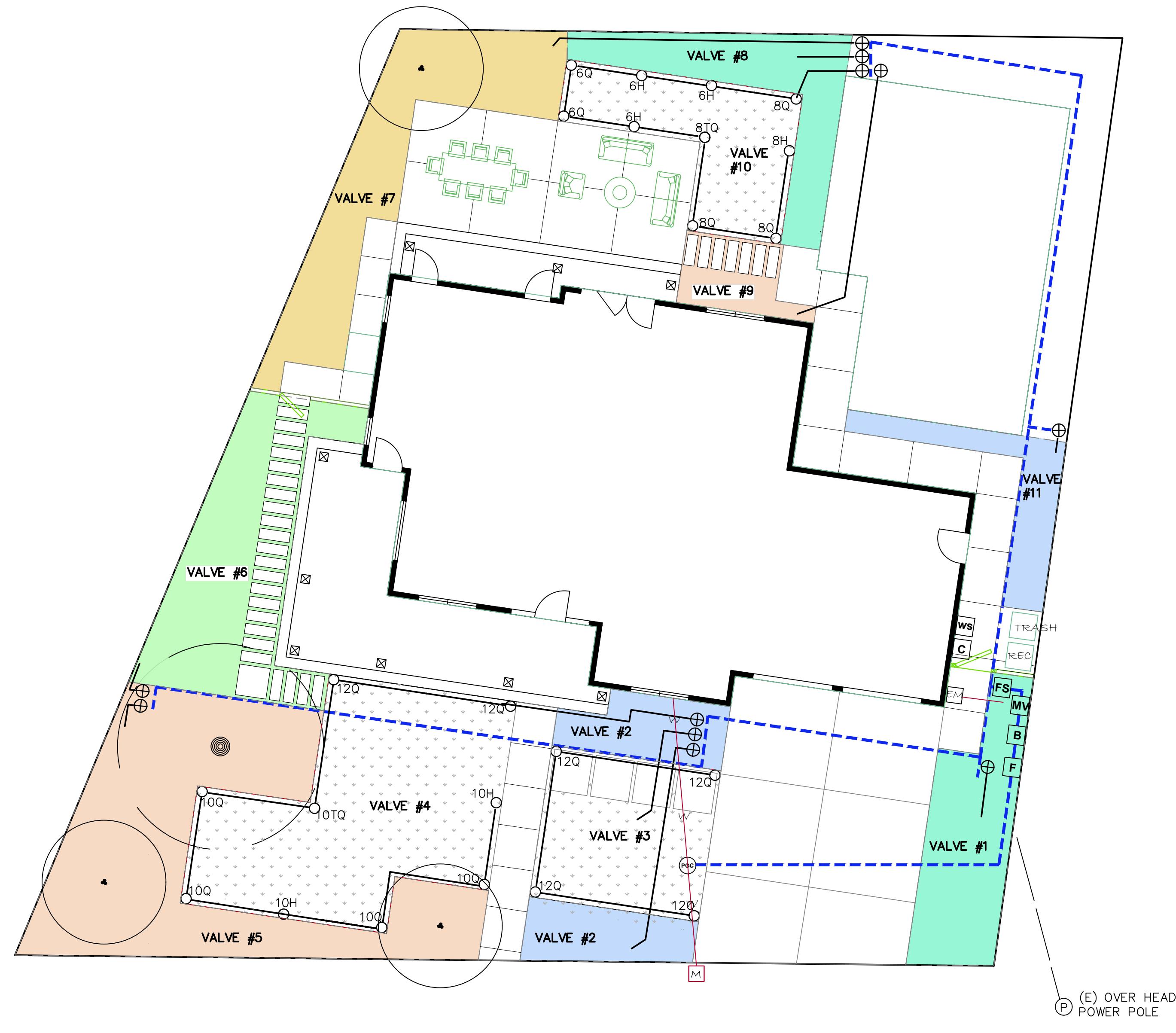
PO

POINT OF CONNECTION: IRRIGATION MAINLINE 'T' CONNECTION TO EXISTING DOMESTIC SERVICE LINE. LOCATE IN VALVE BOX W/ BALL VALVE TO ISOLATE IRRIGATION MAINLINE.

DOMESTIC WATER SERVICE LINE: EXISTING BY OTHERS

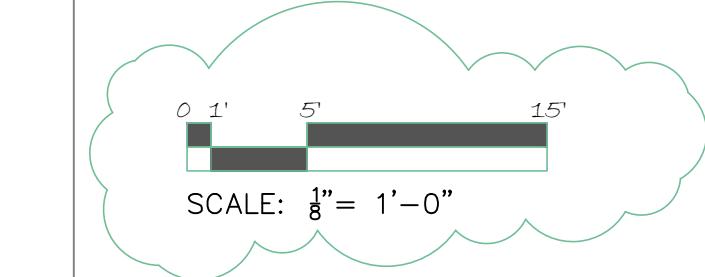
IRRIGATION MAINLINE: 1 1/2" SCHEDULE 40 PVC; 18" MIN. BURIAL

IRRIGATION LATERAL LINE: SCHEDULE 40 PVC SIZE AS REQUIRED. 12" MIN. BURIAL



Water Efficient Landscape Worksheet									
#	HYDRO ZONE NAME	HYDROZONE DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
Regular Landscape Areas									
#1	FRONT YARD RIGHT SIDE OF DRIVEWAY	low water use	0.2	Drip	0.81	0.25	206	51	1366
#2	FRONT CENTER PLANTERS	low water use	0.2	Drip	0.81	0.25	176	43	1167
#3	CENTER LAWN	High water use	0.8	Spray	0.75	1.07	185	197	5298
#4	FRONT YARD LAWN	High water use	0.8	Spray	0.75	1.07	518	553	14833
#5	WALNUT TREE PLANTER	Low water use	0.2	Drip	0.81	0.25	555	137	3679
#6	FRONT LEFT SIDE PLANTER	Low water use	0.2	Drip	0.81	0.25	255	63	1690
#7	REAR LEFT SIDE PLANTER	Med water use	0.4	Drip	0.81	0.49	297	147	3937
#8	REAR LAWN PLANTER	Low water use	0.2	Drip	0.81	0.25	181	45	351
#9	REAR STEPPING PAD PLANTER	Low water use	0.2	Drip	0.81	0.25	53	13	6271
#10	REAR LAWN	High water use	0.8	Spray	0.75	1.07	219	234	
#11	REAR RIGHT SIDE PLANTER	Low water use	0.2	Drip	0.81	0.25	104	26	689
							TOTALS	2749	1508
									40481
Special Landscape Areas									
							0	0	0
							TOTALS	0	0
Eto for Los Gatos = 43.3									
							ETWU Total	40481	
(43.3)(.62)((.55xH46)+((1-.55)x780)) Maximum Allowed Water Allowance 40590									
Regular Landscape Areas							ETWU Total	40590	
All Landscape Areas									
Total ETAF x Area									
Total Area									
Average ETAF									
ETWU Total									

IRRIGATION SCHEDULE						
#	HYDRO ZONE NAME	TYPE	SCHEDULE	DURATION	LANDSCAPE AREA	WUCOLS
Regular Landscape Areas						
#1	FRONT YARD RIGHT SIDE OF DRIVEWAY	Netfim Techline	MWS	15 min	206	Low water use
#2	FRONT CENTER PLANTERS	Netfim Techline	MWS	15 min	176	Low water use
#3	CENTER LAWN	Spray	MWFS	12 min	185	High water use
#4	FRONT YARD LAWN	Spray	MWFS	12 min	518	High water use
#5	WALNUT TREE PLANTER	Netfim Techline	MWS	15 min	555	Low water use
#6	FRONT LEFT SIDE PLANTER	Netfim Techline	MWS	15 min	255	Low water use
#7	REAR LEFT SIDE PLANTER	Netfim Techline	MWFS	15 min	297	Medium water use
#8	REAR LAWN PLANTER	Netfim Techline	MWFS	12 min	181	Low water use
#9	REAR STEPPING PAD PLANTER	Netfim Techline	MWFS	15 min	53	Low water use
#10	REAR LAWN	Spray	MWFS	12 min	219	High water use
#11	REAR RIGHT SIDE PLANTER	Netfim Techline	MWFS	15 min	104	Low water use



Sheet: IRRIGATION & WELO PLAN
Date: 9-2-2025
Drawn by: CC
Revisions: 10-17-2025
Revisions: 11-26-2025

SHEET
L3