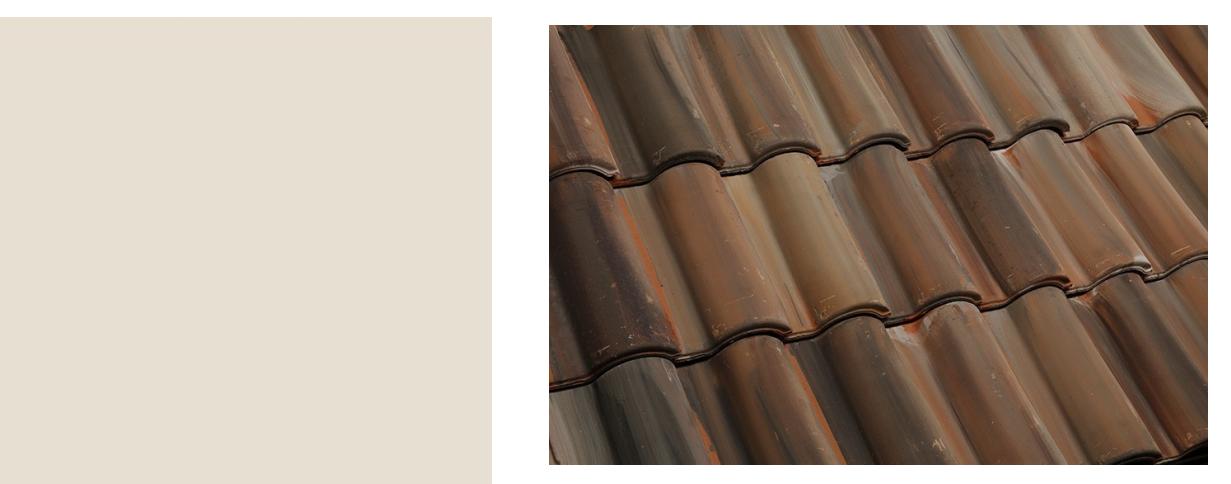


A NEW HOME FOR TOKMAN FAMILY



STUCCO - SHERWIN WILLIAMS - SHOJI WHITE

BROWN BARREL TILE ROOF



FRONT ENTRANCE-BISQUE VENEER STONE SIDING



TRIM AND ACCENTS SHERWIN WILLIAMS - IRON ORE

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MICHELLE MINER DESIGN, AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MICHELLE MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MICHELLE MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MICHELLE MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MICHELLE MINER DESIGN.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING

SCOPE OF WORK

DEMOLISH EXISTING SINGLE STORY HOUSE AND DETACHED GARAGE
BUILD A NEW 2 STORY HOME WITH ATTACHED GARAGE AND ATTACHED ADU

ANALYSIS

ASSESSOR'S PARCEL #	407-13-018
LOT AREA:	12,491 S.F.
ZONING:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY RATING:	R-3, U
EXISTING USE:	SINGLE FAMILY RES.
SLOPE OF LOT	FLAT LOT
FLOOD ZONE	X
HISTORIC	NO
FIRE SPRINKLERS	YES
WUI	NO
STORIES	(E) = 1, (N) = 2
MAX. HEIGHT	30'
YEAR BUILT	1962
REQUIRED PARKING	2 COVERED
PROVIDED PARKING	2 COVERED, 2 UNCOVERED
REQUIRED SETBACKS	
FRONT SETBACK	25'
SIDE SETBACKS	10'
REAR SETBACK	25'
ADU SIDE AND REAR SETBACK	4'
EXISTING	
EXISTING LIVING:	2150 S.F.
EXISTING GARAGE:	540 S.F.
TOTAL EXISTING	2690 S.F.
PROPOSED	
NEW LOWER LIVING	1495 S.F.
NEW UPPER LIVING	2066 S.F.
TOTAL LIVING	3561 S.F.
NEW GARAGE	650 S.F.
GRAND TOTAL SQUARE FOOTAGE	4211 S.F.
NEW ADU	1037 S.F.
(ADU under a separate ministerial permit)	
MAX. FLOOR AREA	3622 S.F.
MAX. GARAGE	987 S.F.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 718 OF THE CURRENT ADOPTED EDITION OF C.B.C.
- EXISTING NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.
- JOB COPIES OF THE APPROVED BUILDING PLANS, REVISIONS, AND DEFERRED SUBMITTALS SHALL BE ON-SITE DURING INSPECTIONS. CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.

NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.

A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.

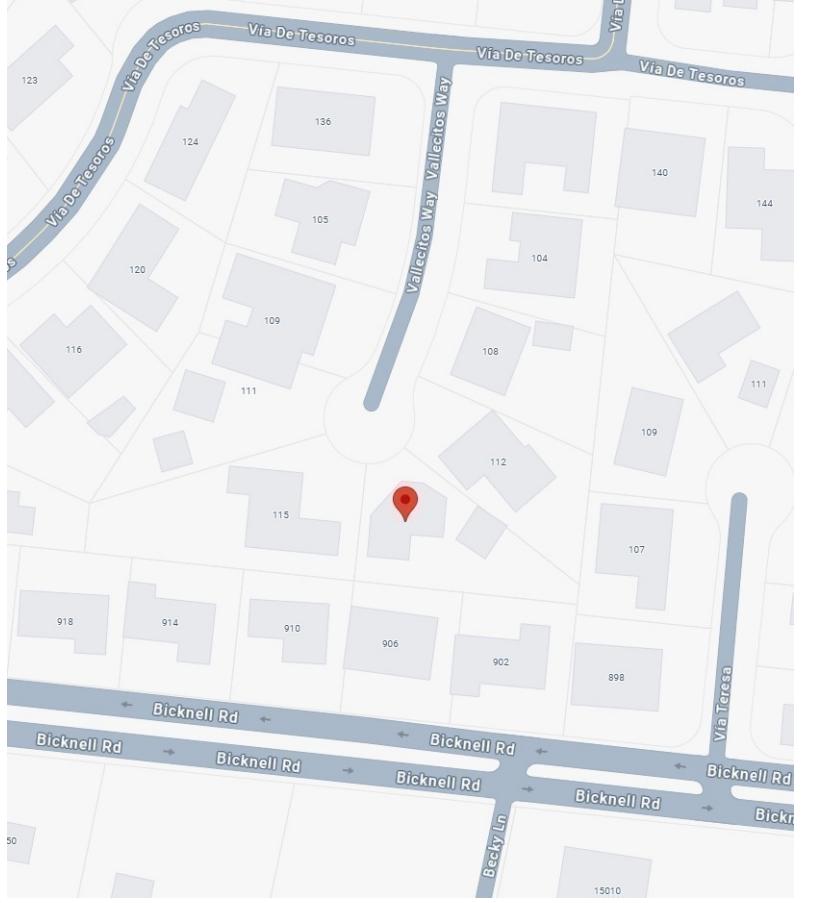
ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.

THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6 PM, SATURDAYS FROM 9AM TO 5 PM.

CONSTRUCTION WASTE MANAGEMENT - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. THE CITY OF SUNNYVALE REQUIRES THE USE OF GREEN HALO, THE CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT PLAN (CDWMP) WASTE-TRACKING PROGRAM TO DOCUMENT AND MONITOR COMPLIANCE.

OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER

VICINITY MAP



APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:
2025 CALIF. FIRE CODE
2025 CALIF. BLDG CODE
2025 CALIF. RESIDENTIAL CODE
2025 CALIF. MECH. CODE
2025 CALIF. PLUMB'G CODE
2025 CALIF. ELEC. CODE
2025 CALIF. ENERGY CODES
2025 CALIF. GREEN BUILDING CODES
CALIF. CODE REGULATIONS TITLE 24, PARS 1-12
ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

PERSONAE

OWNER

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tokman.eyal@gmail.com

CIVIL ENGINEER

ADVANCED DEVELOPMENT
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jsaidian@yahoo.com

DESIGNER

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SOILS REPORT DATED 28 NOV 2025

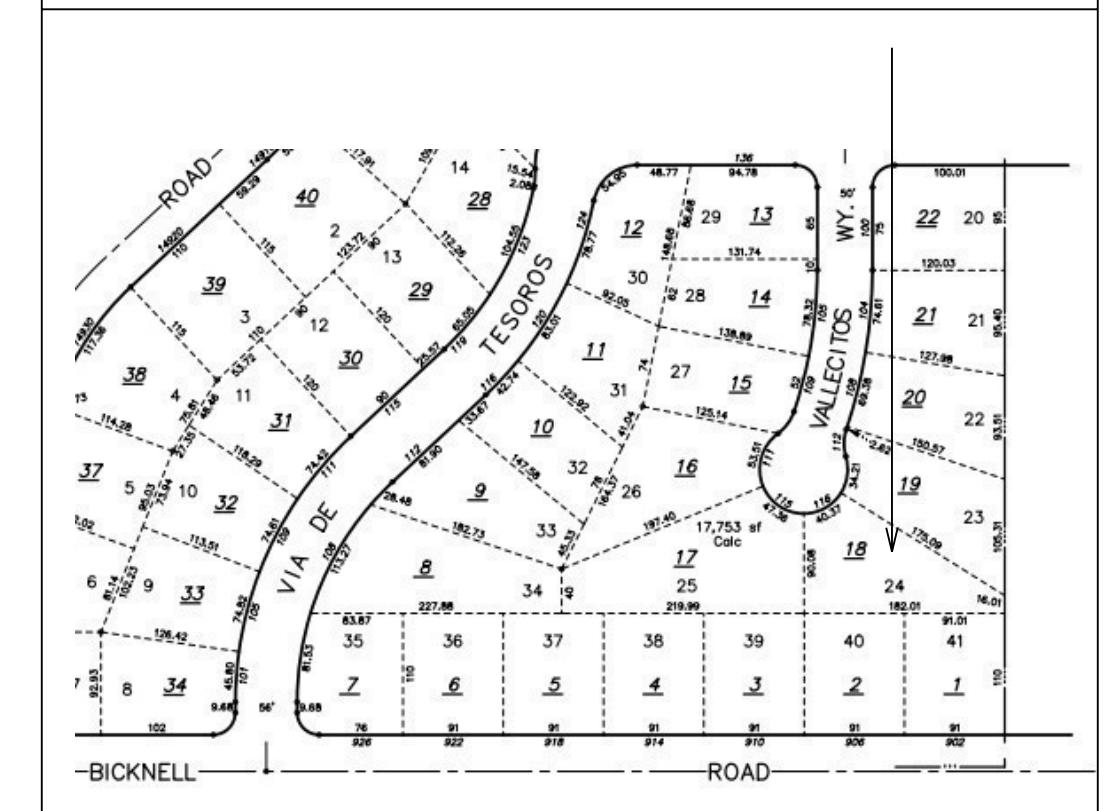
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KOENW@WILSONLANDSURVEYS.COM
408-540-7687

GEOTECH

FRANK LEE & ASSOCIATES
10 KOOTENAI CT.
FREMONT CA 94539
510-676-5859
SOILS REPORT DATED 28 NOV 2025

PARCEL MAP



CITY STAMP AREA

REVISIONS
REV. DATE BY

DESIGNERS SIGNATURE

Michelle Miner

THE PLANS, DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. THEY ARE SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF MICHELLE MINER DESIGN.

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2/4/2026
SCALE
AS SHOWN
JOB NO.
PAGE:
1/21

SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Kenneth D. Wilson 6/4/2025
KENNETH D. WILSON LS 5571 DATE

SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY
OF LOS GATOS BENCHMARK MS03.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING WALLS WERE LOCATED AT MAIN FINISH LOCATIONS (STUCCO, BRICK OR WOOD SIDING AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.
5. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
6. LINES ON LAYER 'X-BOUNDARY' SHOULD BE USED AS BASIS OF DESIGN FOR BOUNDARY.
7. LINES ON LAYER 'X-BLDG' SHOULD BE USED AS BASIS OF DESIGN FOR BUILDING LOCATION (SEE GENERAL NOTE 3).

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

EASEMENT NOTE

A TITLE REPORT WAS PROVIDED BY THE CLIENT. THE REPORT WAS PREPARED BY CHICAGO TITLE INSURANCE COMPANY AND IS DATED APRIL 9, 2025 WITH AN ORDER NUMBER OF FWPS-3021241134-KF. ALL EASEMENTS SHOWN IN THAT REPORT ARE EITHER PLOTTED OR ADDRESSED ON THIS SURVEY.

SETBACK LINES NOTE

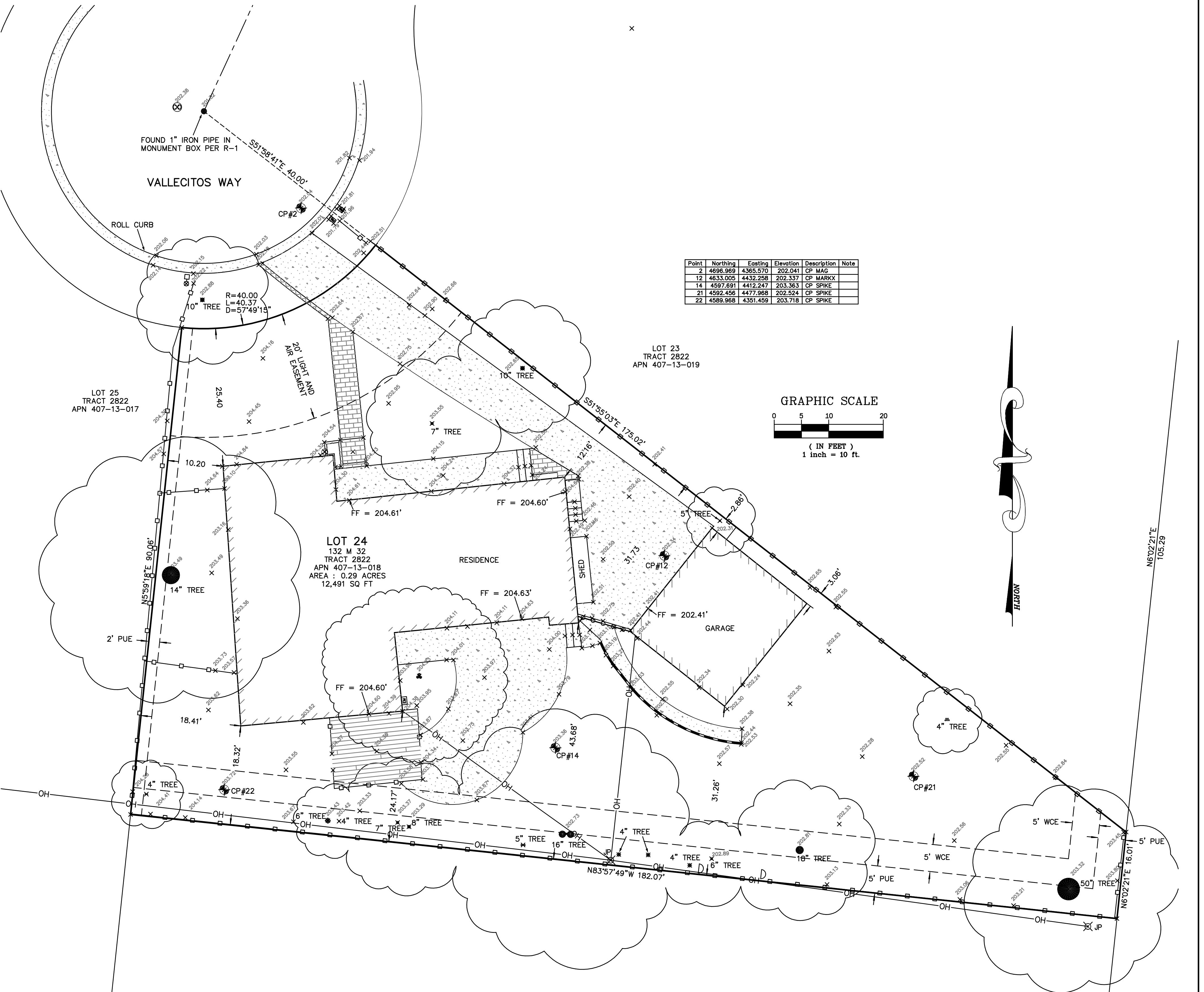
BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

LEGEND

●	FOUND AS NOTED	JP	JOINT POLE
—	PROPERTY LINE	PP	POWER POLE
-----	EASEMENT LINE/TIE LINE	UP	UTILITY POLE
— SS —	UG SEWER LINE	TP	TELEPHONE POLE
— W —	UG WATER LINE	—	BOLLARD
— G —	UG GAS LINE	—	VALVE
— PH —	UG PHONE LINE	—	SIGN
— E —	UG ELEC LINE	(SS)	SANITARY SEWER MANHOLE
— OH —	OVERHEAD LINE	(SD)	STORM DRAIN MANHOLE
★	LAMP POST	(C)	COMMUNICATION MANHOLE
	BUILDING	(FH)	FIRE HYDRANT
.....	CONCRETE	(SC)	SEWER CLEANOUT
	BRICKS	(SP)	SURVEY CONTROL POINT
	PAVERS	(EM)	ELECTRIC METER
—	DECK	(GM)	GAS METER
—	DECK	(WM)	WATER METER
□⊗		□⊗	LIGHT POLE AND LIGHT
██████████	WALL	██████████	WALL
██████████	DROP INLET	██████████	DROP INLET
○		○	GUYWIRE
○	SET 5/8" REBAR WITH PLASTIC CAP LS 9440	MB	MAILBOX
○	SET BRASS SCREW AND 1" BRASS TAG LS 5571	E	UTILITY BOX
○	IN CONCRETE	—	WOOD FENCE
○		—○—○—○—	CHAIN LINK FENCE
○		R-1	132 M 32
○		R-2	163 M 10

ABBREVIATIONS

LO	LIVE OAK
WO	WHITE OAK
WCE	WIRE CLEARANCE EASEMENT
RW	REDWOOD
PUE	PUBLIC UTILITY EASEMENT
FF	FINISH FLOOR
OR	OFFICIAL RECORDS

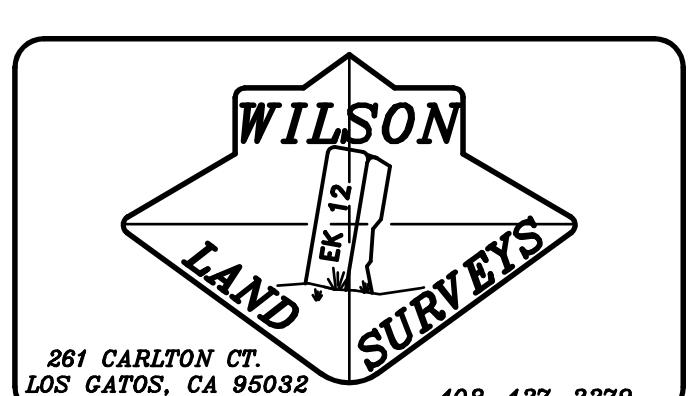


BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:
YAL TOKMAN

LEGAL DESCRIPTION: LOT 24, TRACT 2822, 132 M 32, TOWN OF
LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

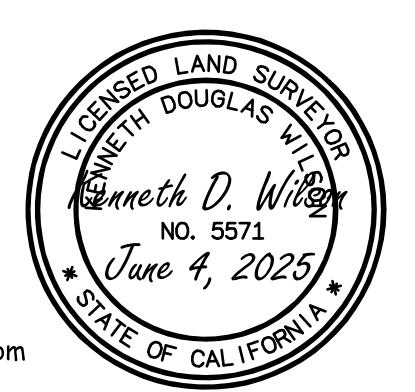
LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA



This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

Copyright 2025 Koen T. Wilson Wilson Land Surveys. All rights reserved. Copies of this drawing shall have this notice. Any drawing using the information on this map shall contain the following: "Topographic Survey by Wilson Land Surveys, Los Gatos, CA"

Email: kenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



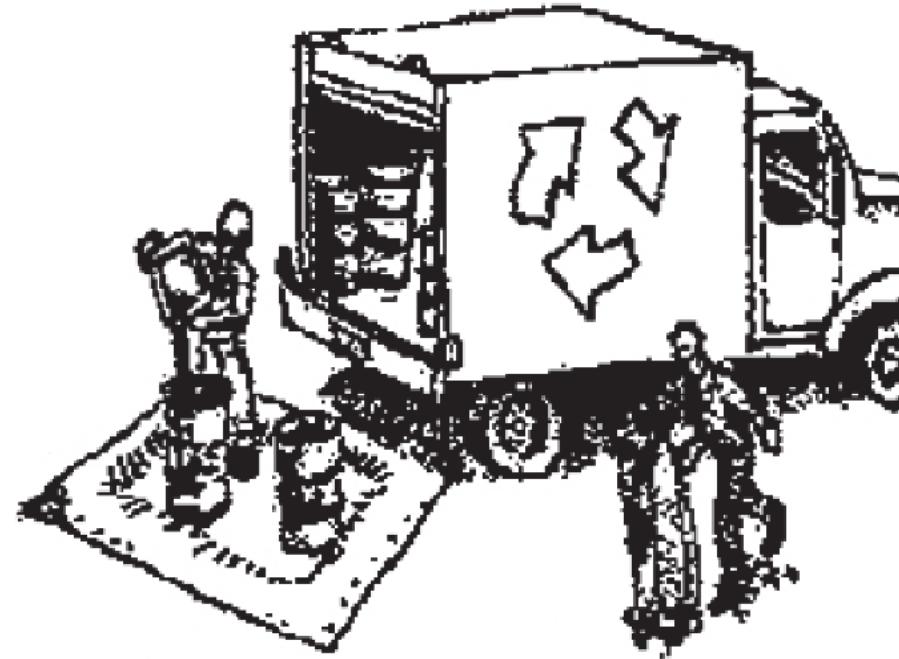
Email: kenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com

DATE: JUNE 2023				
SITE ADDRESS: 116 VALLECITOS WAY, LOS GATOS, CA 95032				
DRAWN BY: AC	SCALE: 1"-10'	PROJECT: S-089	JOB NUMBER: S-089	SHEET: 1 OF 1

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

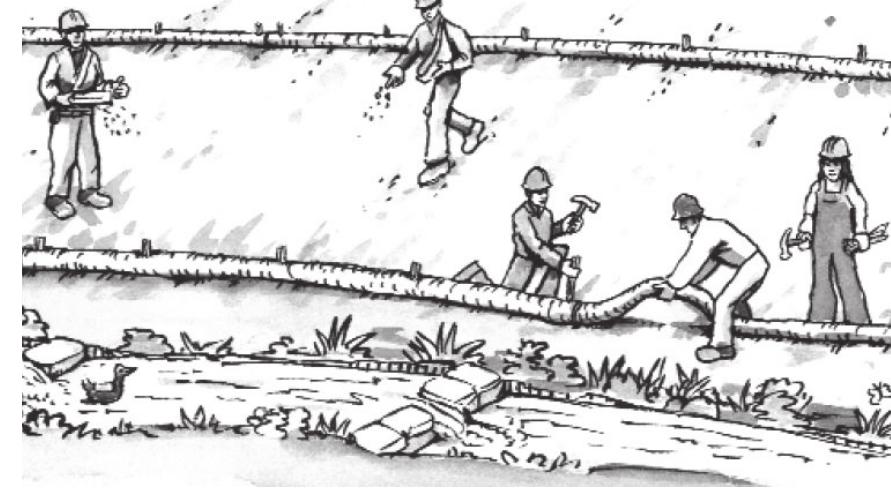
- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

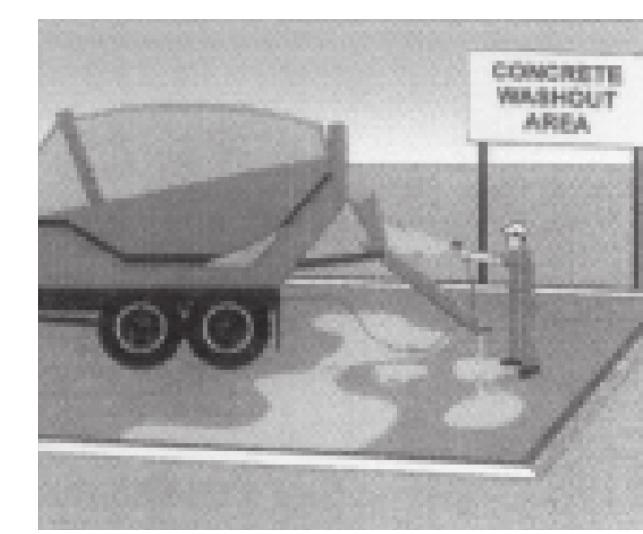
Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



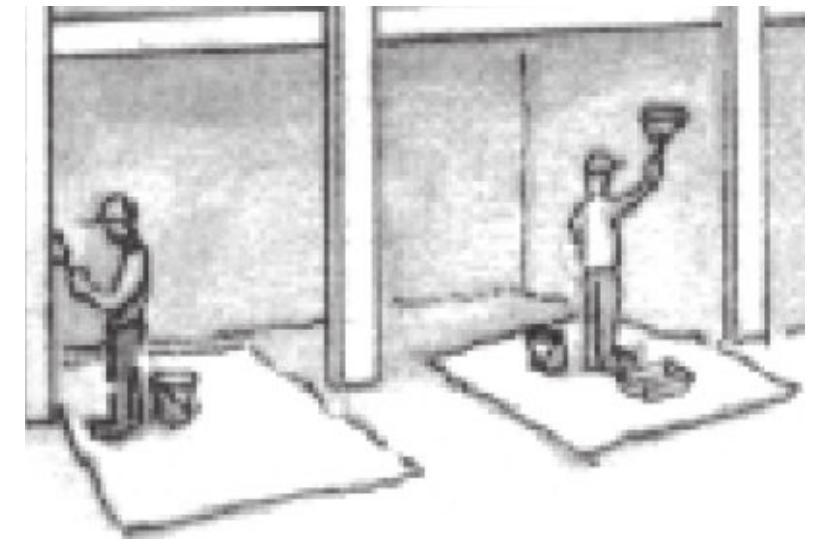
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



Santa Clara Valley

Urban Runoff

Pollution Prevention Program

Storm drain polluters may be liable for fines of up to \$10,000 per day!

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

REVISIONS
REV. DATE BY

DESIGNERS SIGNATURE

Michelle Miner

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7/21
GREEN CHECKLIST 2

Y	N/A	RESPON. PARTY
MAXIMUM INCREMENTAL REACTIVITY (MIR) The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O ₃ /g ROG).		
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.		
MOISTURE CONTENT The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.		
PRODUCT-WEIGHTED MIR (PwMIR) The sum of all weighted-MIR for all ingredients in a product subject to this article. The PwMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).		
Note: PwMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).		
REACTIVE ORGANIC COMPOUND (ROC) Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.		
VOC A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).		
4.503 FIREPLACES		
4.503.1 GENERAL Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.		
4.504 POLLUTANT CONTROL		
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION At the time of rough installation, all duct openings on the construction site and until final start of operation of the mechanical equipment, all ducts and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.		
4.504.2 FINISH MATERIAL POLLUTANT CONTROL Finish materials shall comply with this section.		

4.504.2.1 **Adhesives, Sealants and Caulks**. Adhesives, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, sealants, sealant primers and caulk shall comply with local or regional air pollution control or air quality management district rules where applicable. See CCR, Title 17, Section 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Rule 168, for the specific requirements for adhesives, sealants, sealant primers and caulk.
2. Aerogel adhesives, and smaller unit sizes of adhesives, sealant or caulk compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 **Paints and Coatings**. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 **Aerosol Paints and Coatings**. Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 **Verification**. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT _{1,2}	
(Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ₃	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY-FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₄	120
MAGNESITE CEMENT COATINGS	450
MASSTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACCS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.5 - FORMALDEHYDE LIMITS	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS

All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEOCDE/EHLB/IAQ/Pages/VOC.aspx>

4.504.3.1 **Carpet cushion**. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEOCDE/EHLB/IAQ/Pages/VOC.aspx>

4.504.3.2 **Carpet adhesive**. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 **RESILIENT FLOORING SYSTEMS**. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEOCDE/EHLB/IAQ/Pages/VOC.aspx>

4.504.4.1

NEW HOME RATING SYSTEM, VERSION 9.1										Blueprint Scoresheet			
Tokman Residence													
New Home Single Family v. 9.1													
CALGreen													
CALGreen Res (REQUIRED)													
A. SITE													
A1. Jobs Site Construction Waste Diversion													
A2. Jobs Site Construction Waste Diversion													
A3. Jobs Site Construction Waste Diversion (including Alternative Daily Cover)													
A4. Jobs Site Construction Waste Diversion (including Alternative Daily Cover)													
A5. Jobs Site Construction Waste Diversion (including Alternative Daily Cover)													
A6. Stormwater Control: Prescriptive Path (section capped at 3 points)													
A7. Stormwater Control: Prescriptive Path (section capped at 3 points)													
A8. Stormwater Control: Prescriptive Path (section capped at 3 points)													
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A13. Stormwater Control: Prescriptive Path (section capped at 3 points)													
C. LANDSCAPE													
C1. Resource Efficient Landscapes													
C2. Resource Efficient Landscapes													
C3. Resource Efficient Landscapes													
C4. Irrigation													
C5. Irrigation													
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C11. Irrigation													
C12. Irrigation													
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D. STRUCTURAL FRAME AND BUILDING ENVELOPE													
D1. Reduced Pollution Entering the Home from the Garage													
D2. Reduced Pollution Entering the Home from the Garage													
D3. Reduced Pollution Entering the Home from the Garage													
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D9. Reduced Pollution Entering the Home from the Garage													
D10. Reduced Pollution Entering the Home from the Garage													
D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)													
E. EXTERIOR													
E1. Durable and Non-Combustible Cladding Materials													
E2. Durable and Non-Combustible Cladding Materials													
E3. Durable and Non-Combustible Cladding Materials													
E4. Durable and Non-Combustible Cladding Materials													
E5. Durable and Non-Combustible Cladding Materials													
F. PLUMBING													
F1. Efficient Distribution of Domestic Hot Water													
F2. Efficient Distribution of Domestic Hot Water													
F3. Efficient Distribution of Domestic Hot Water													
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F11. Efficient Distribution of Domestic Hot Water													
F12. Efficient Distribution of Domestic Hot Water													
G. HEATING, VENTILATION, AND AIR CONDITIONING													
G1. Advanced Practices for Cooling													
G2. Advanced Practices for Cooling													
G3. Advanced Practices for Cooling													
G4. Advanced Practices for Cooling													
G5. Advanced Practices for Cooling													
G6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality													
G7. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality													
G8. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality													
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G11. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality													
G12. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality													
H. BUILDING PERFORMANCE AND TESTING													
H1. Energy Use Reduction													
H2. Energy Use Reduction													
H3. Energy Use Reduction													
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J. BUILDING PERFORMANCE AND TESTING													
J1. Energy Use Reduction													
J2. Energy Use Reduction													
J3. Energy Use Reduction													
J4. Energy Use Reduction													
J5. Energy Use Reduction													
K. FINISHES													
K1. Emissions Designed to Reduce Tracked-in Contaminants													
K2. Emissions Designed to Reduce Tracked-in Contaminants													
K3. LowVOC Caulks and Adhesives													
K4. LowVOC Caulks and Adhesives													
K5. Formaldehyde Emissions in Interior Finishes Exceed CARB													
K6. Formaldehyde Emissions in Interior Finishes Exceed CARB													
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K8. Formaldehyde Emissions in Interior Finishes Exceed CARB													
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M138. Efficient Clothes Washing and Drying													



GARAGE



REAR



LEFT



116 VALLECITOS (PROJECT PROPERTY)



RIGHT



112 VALLECITOS



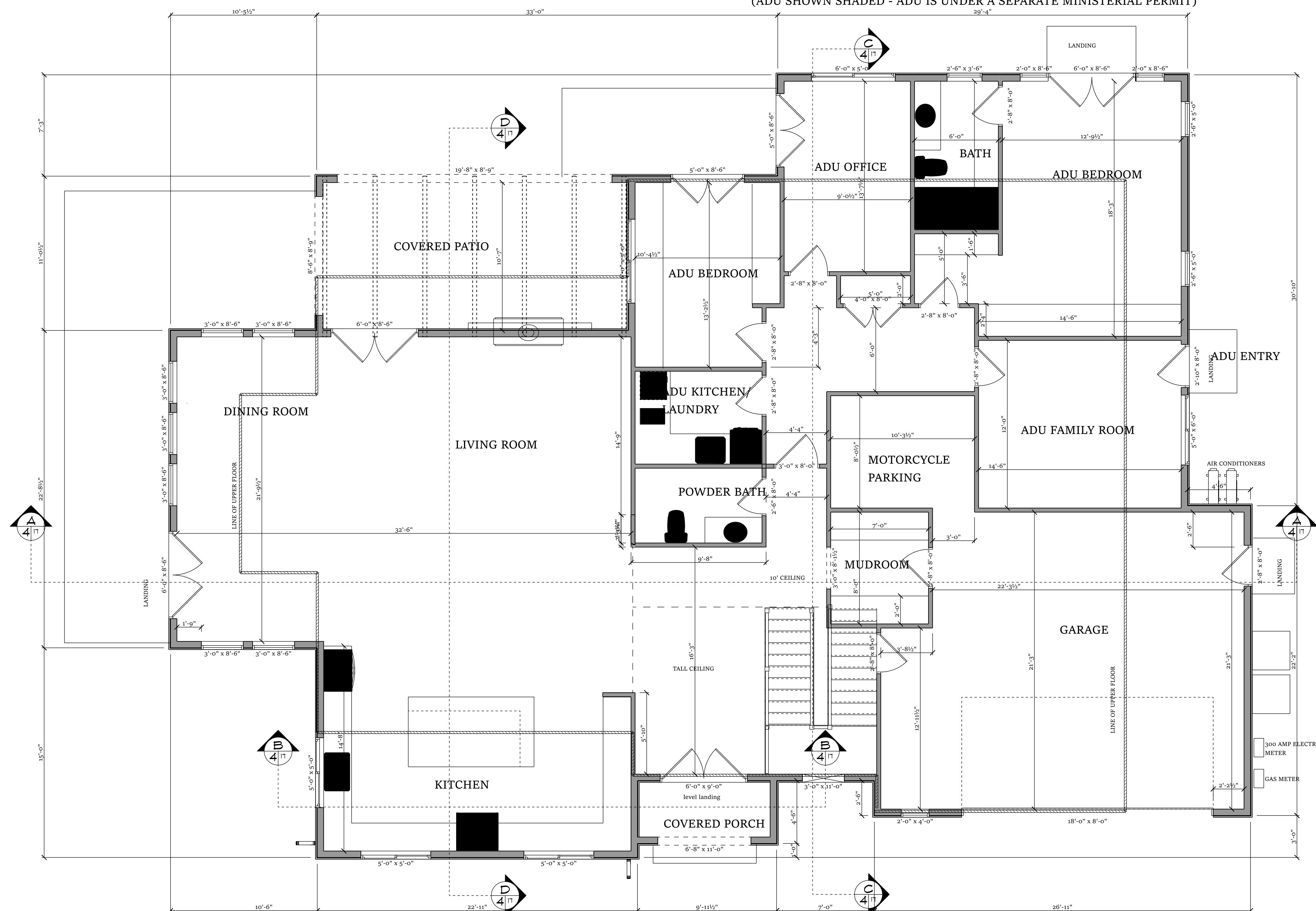
115 VALLECITOS

EXISTING SITE PHOTOS

Michelle Miner

THE PLANS, DRAWINGS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. THEY ARE SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MICHELLE MINER DESIGN.

(ADU SHOWN SHADED - ADU IS UNDER A SEPARATE MINISTERIAL PERMIT)



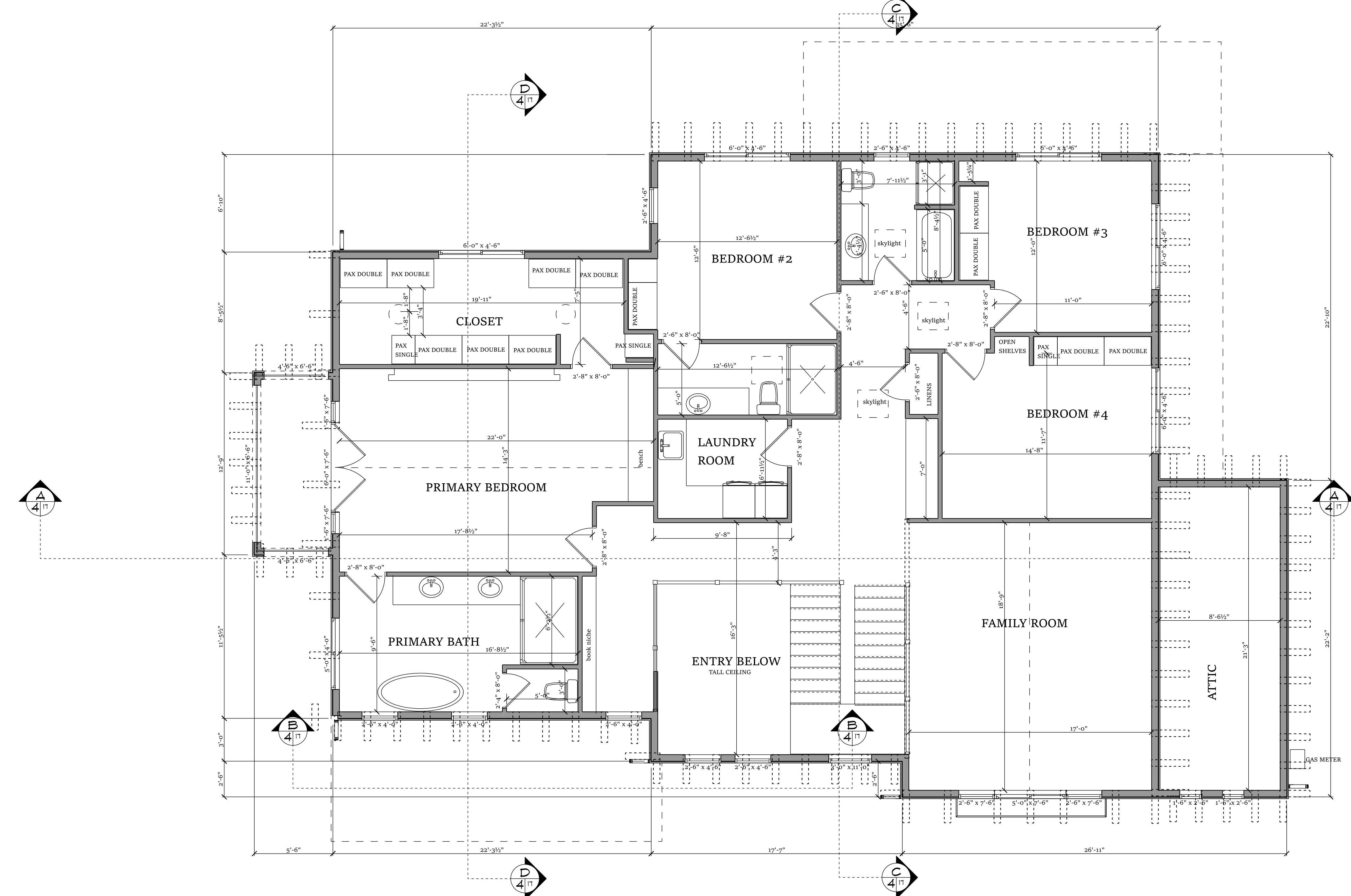
NEW LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

Eyal & Anat Tokman
116 Valleccitos Way, Los Gatos, CA 95032
408.505.0338 tokman.eyal@gmail.com

michelle miner
design
18488 Prospect Rd. #6 Saratoga, CA 95070
408.396.0984 SheMiner@aol.com

DRAWN MM
CHECKED MM
DATE 2/4/2016
SCALE AS SHOWN
JOB NO.
PAGE: 11/21
NEW LOWER FLOOR PLAN



NEW UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

Eyal & Anat Tokman
116 Vallecitos Way, Los Gatos, CA 95032

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18488 Prospect Rd. #6 Saratoga, CA 95070
408.396.0984 Shelminer@aol.com

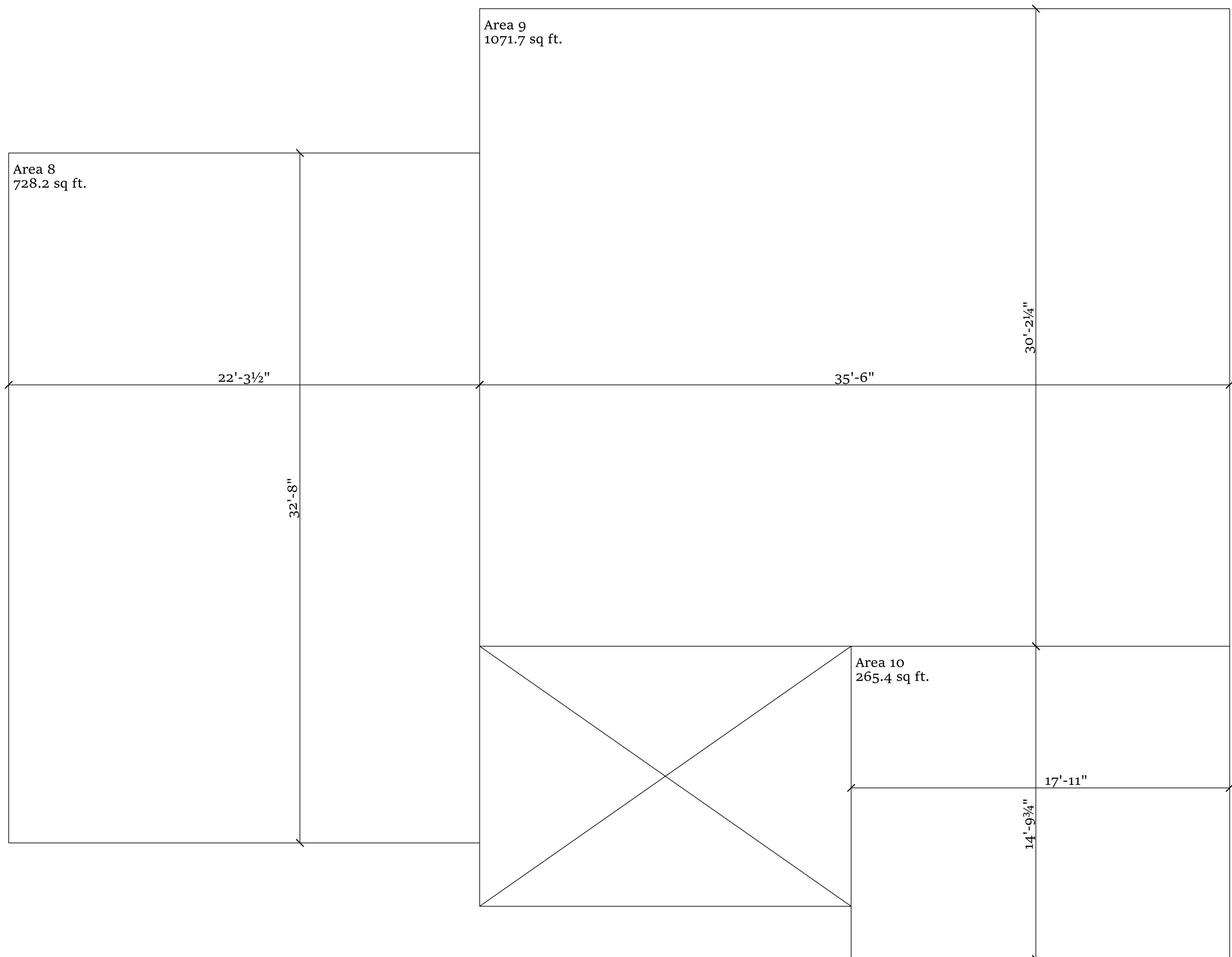
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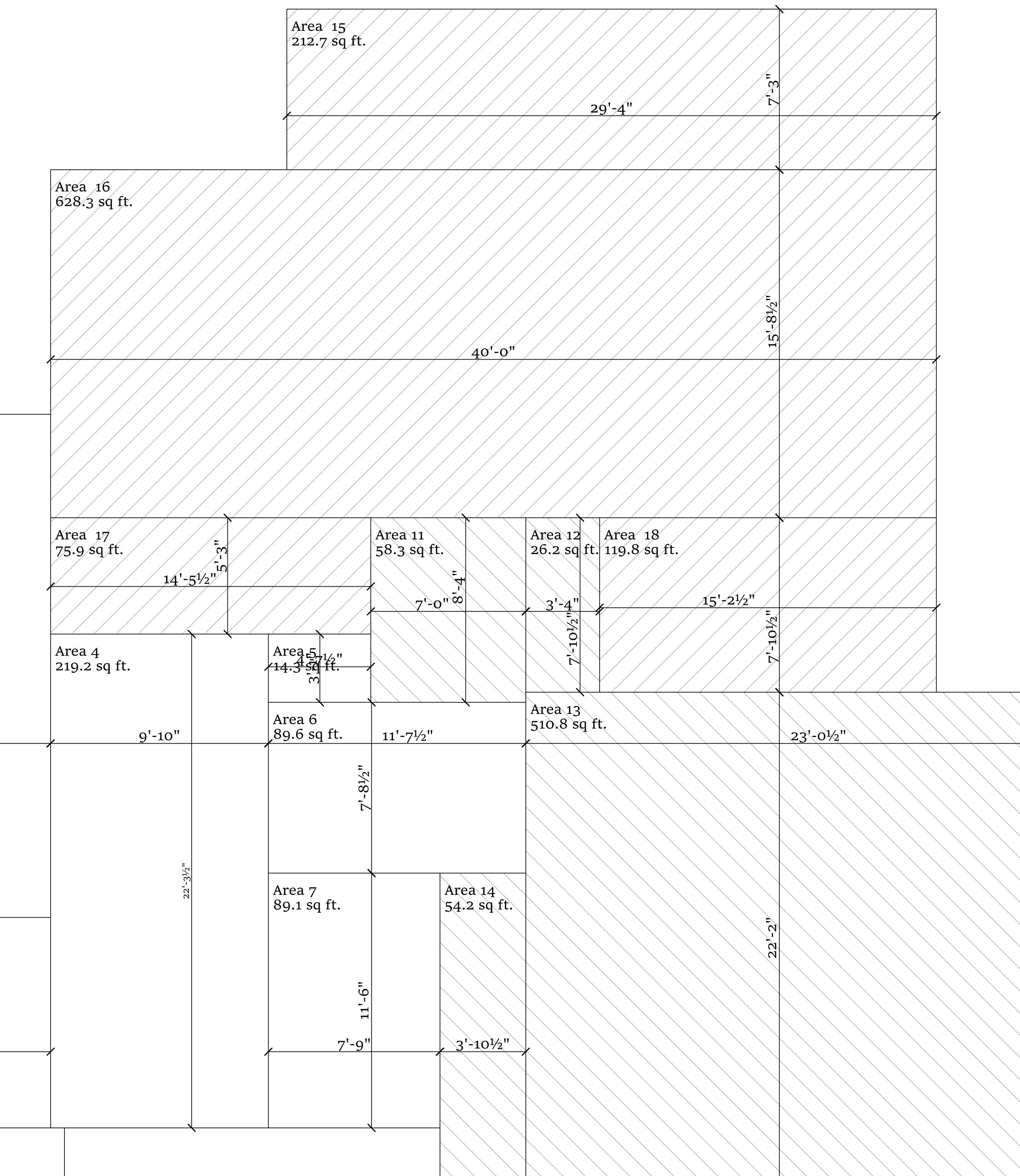
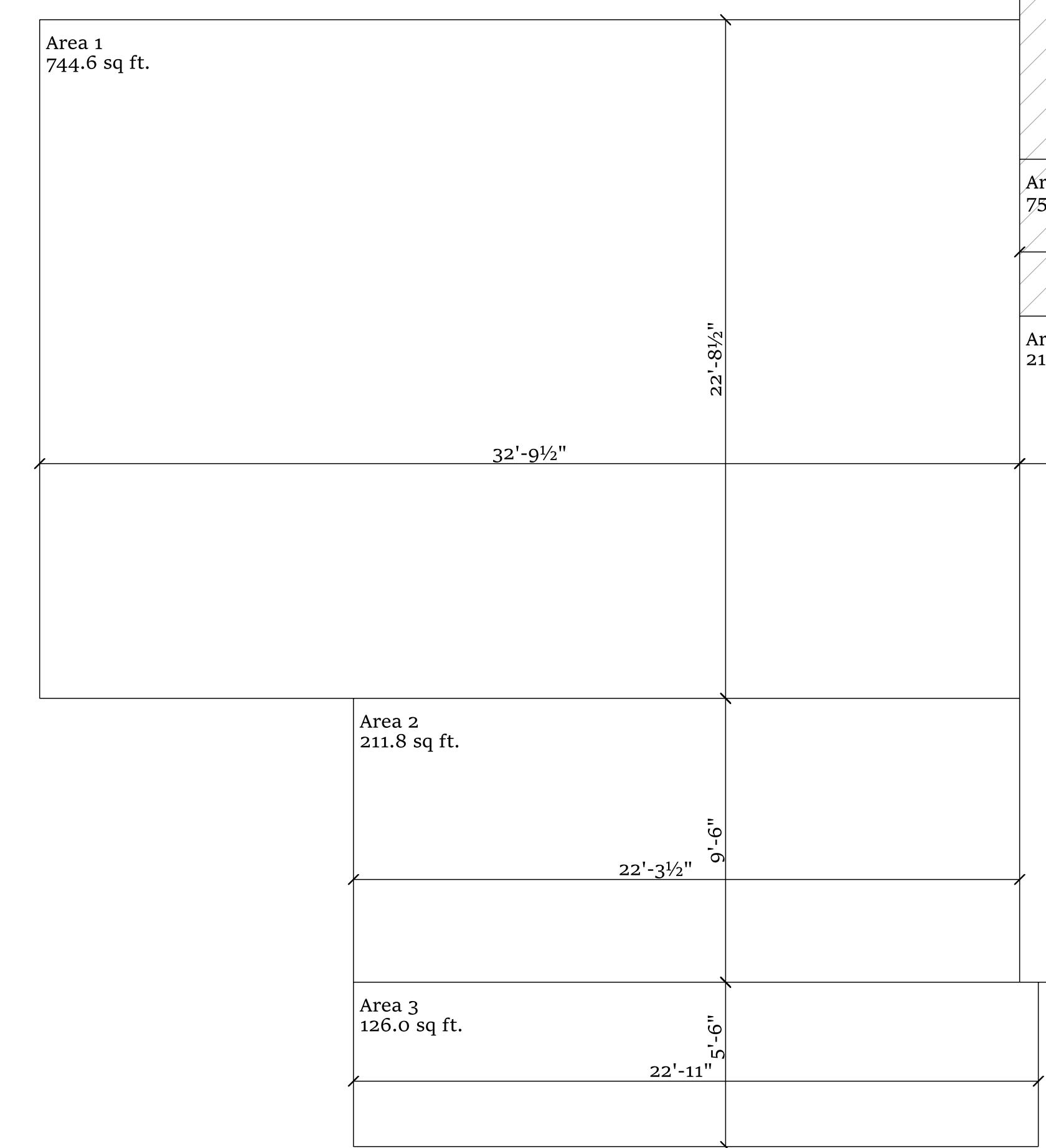
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NEW UPPER FLOOR PLAN



AREA SCHEDULE	
NAME	AREA
Area 1	744.6 sq ft.
Area 2	211.8 sq ft.
Area 3	126.0 sq ft.
Area 4	219.2 sq ft.
Area 5	14.3 sq ft.
Area 6	89.6 sq ft.
Area 7	89.1 sq ft.
Area 8	728.2 sq ft.
Area 9	1071.7 sq ft.
Area 10	265.4 sq ft.
Area 11	58.3 sq ft.
Area 12	26.2 sq ft.
Area 13	510.8 sq ft.
Area 14	54.2 sq ft.
Area 15	212.7 sq ft.
Area 16	628.3 sq ft.
Area 17	75.9 sq ft.
Area 18	119.8 sq ft.
LOWER LIVING 1497 S.F.	
UPPER LIVING 2066 S.F.	
GARAGE 650 S.F.	
ADU 1037 S.F.	



AREA CALCS
SCALE: 1/4" = 1'-0"

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REVISIONS
REV. DATE BY
DESIGNER'S SIGNATURE
Michelle Miner

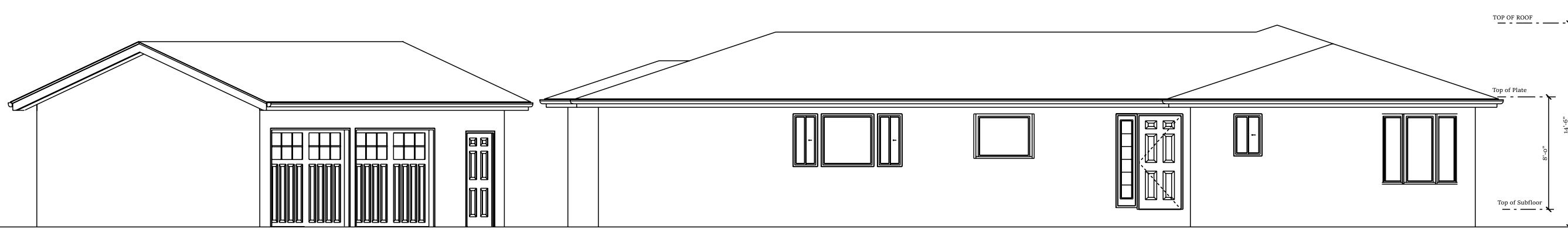
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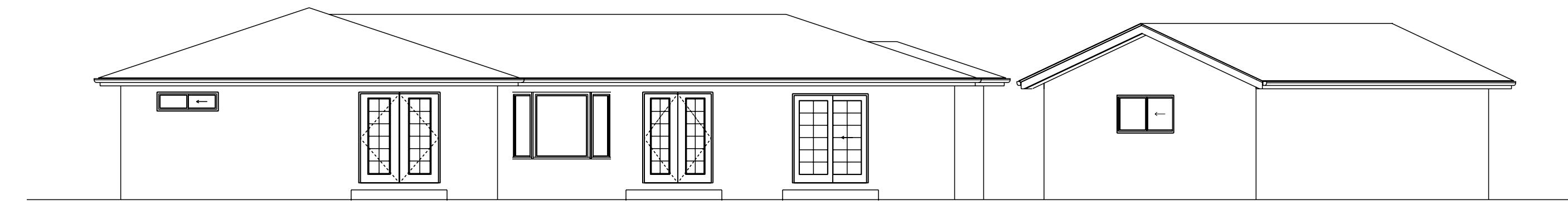
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EXISTING 1/8" FRONT - NORTH ELEVATION



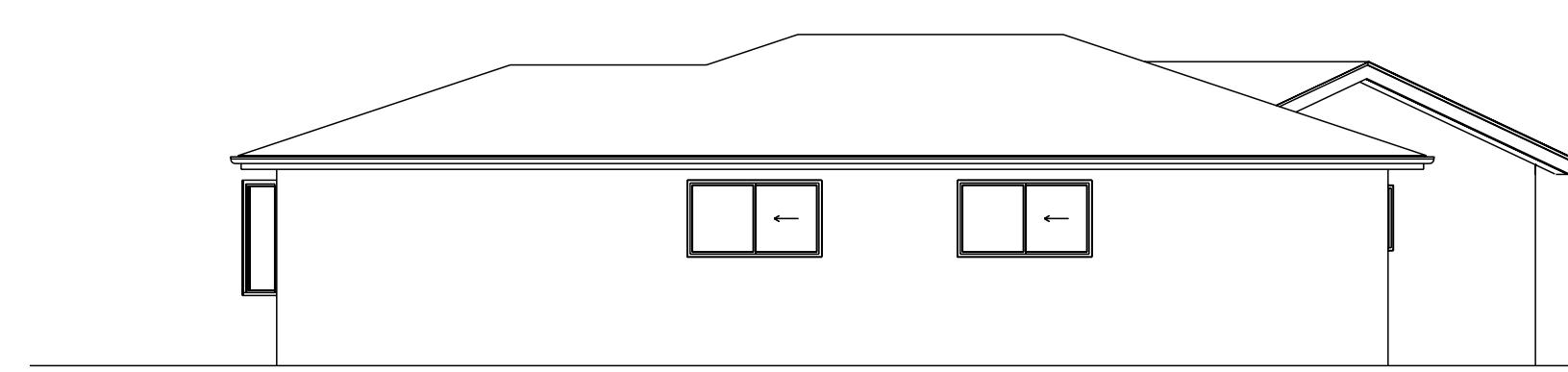
EXISTING 1/8" REAR - SOUTH ELEVATION



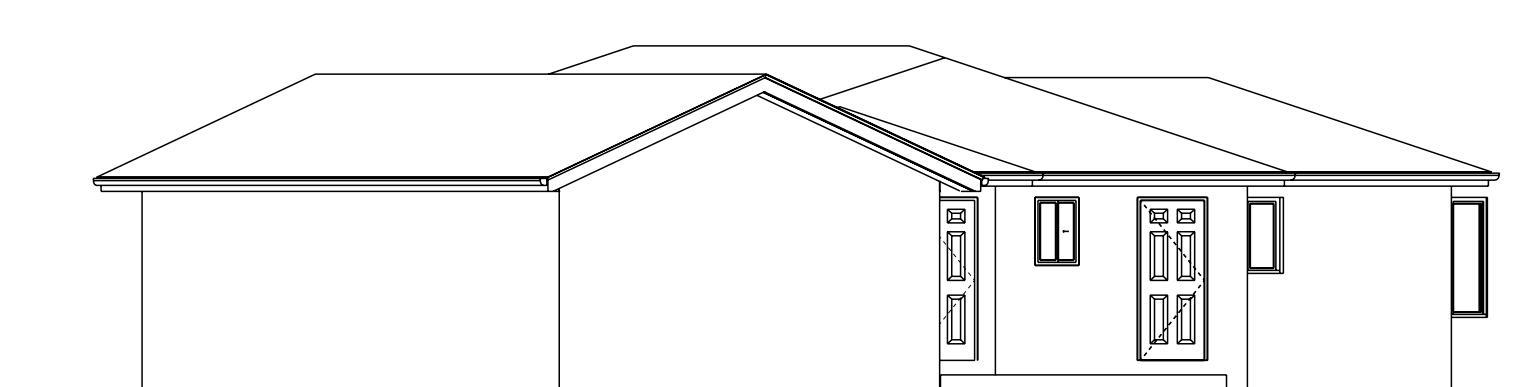
PROPOSED 1/8" FRONT - NORTH ELEVATION



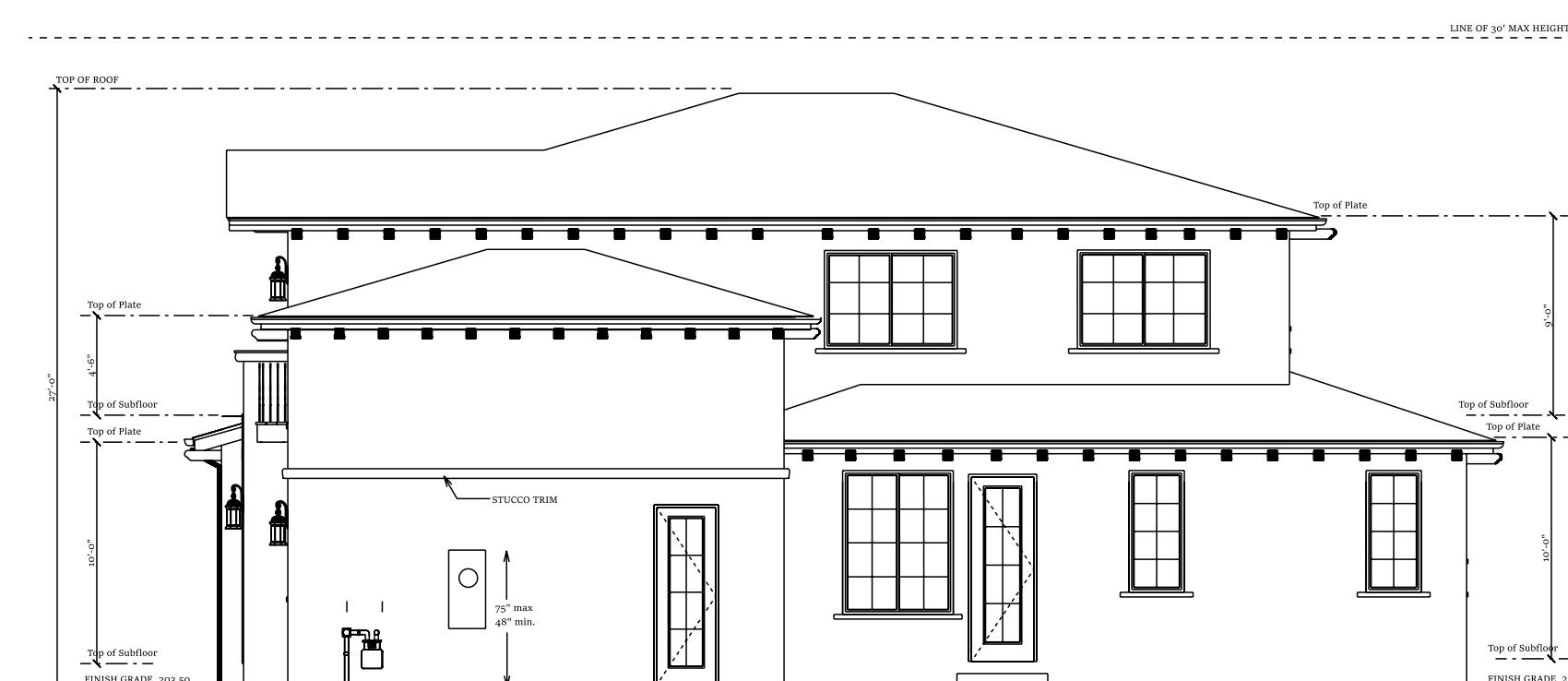
PROPOSED 1/8" REAR - SOUTH ELEVATION



EXISTING 1/8" RIGHT- WEST SIDE ELEVATION



EXISTING 1/8" LEFT- EAST SIDE ELEVATION



PROPOSED 1/8" RIGHT- WEST SIDE ELEVATION



PROPOSED 1/8" LEFT- EAST SIDE ELEVATION

EXISTING AND PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"

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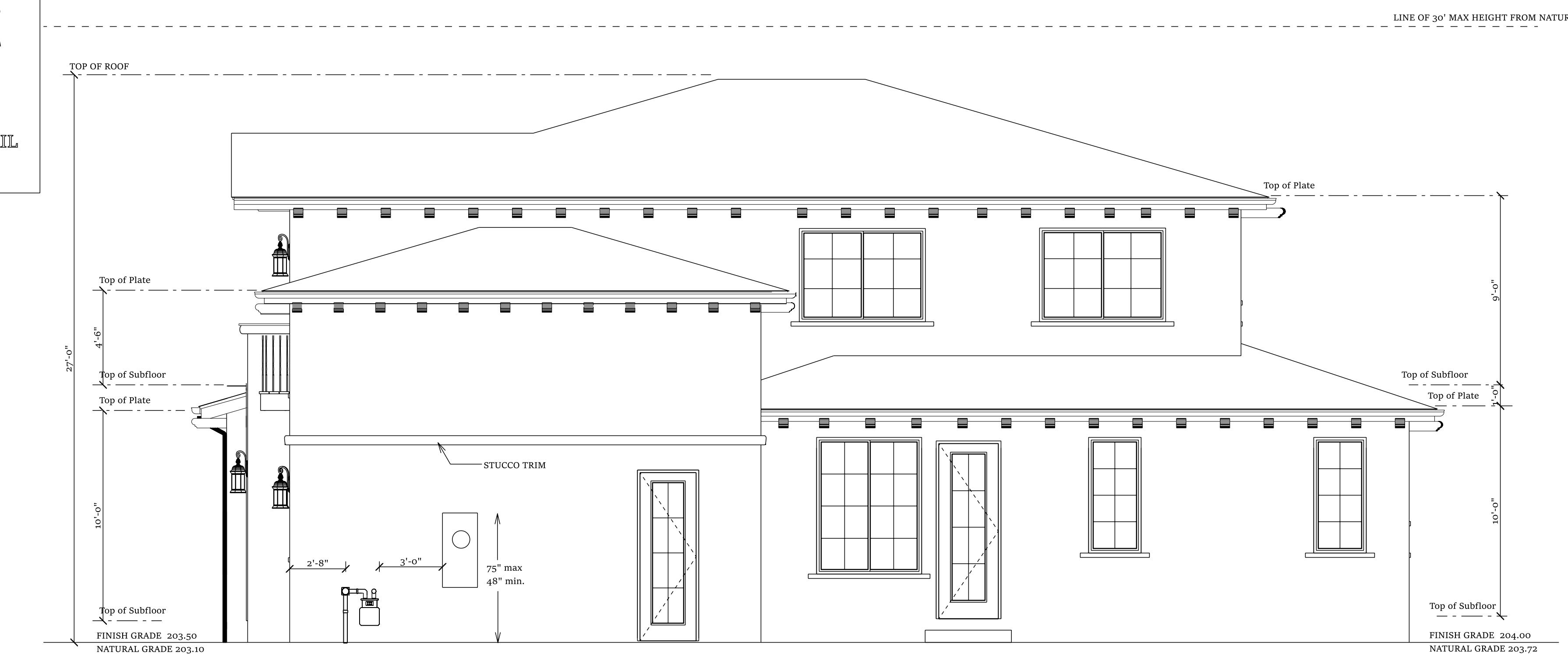
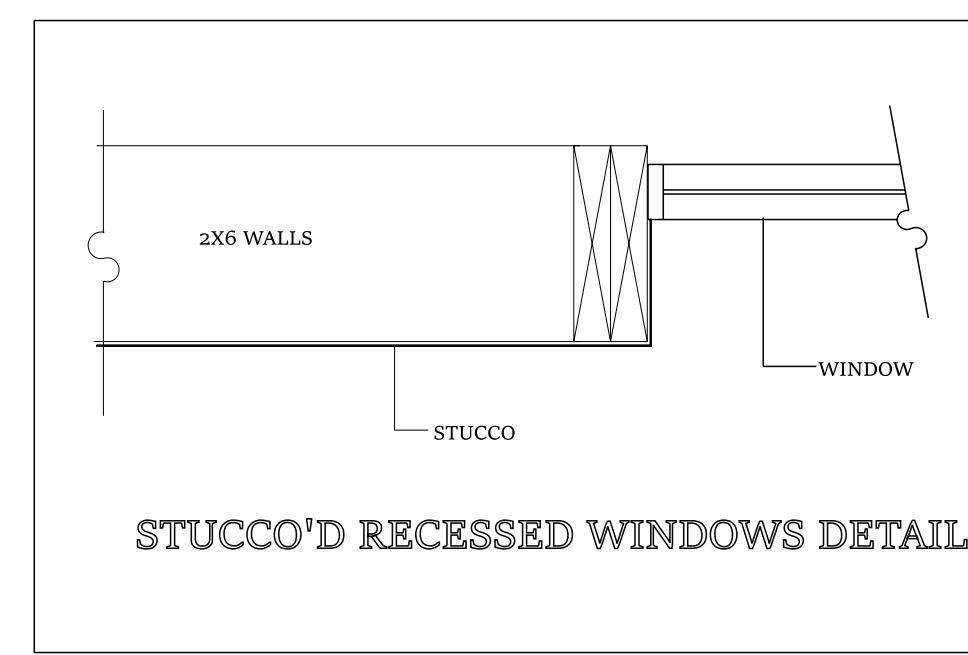
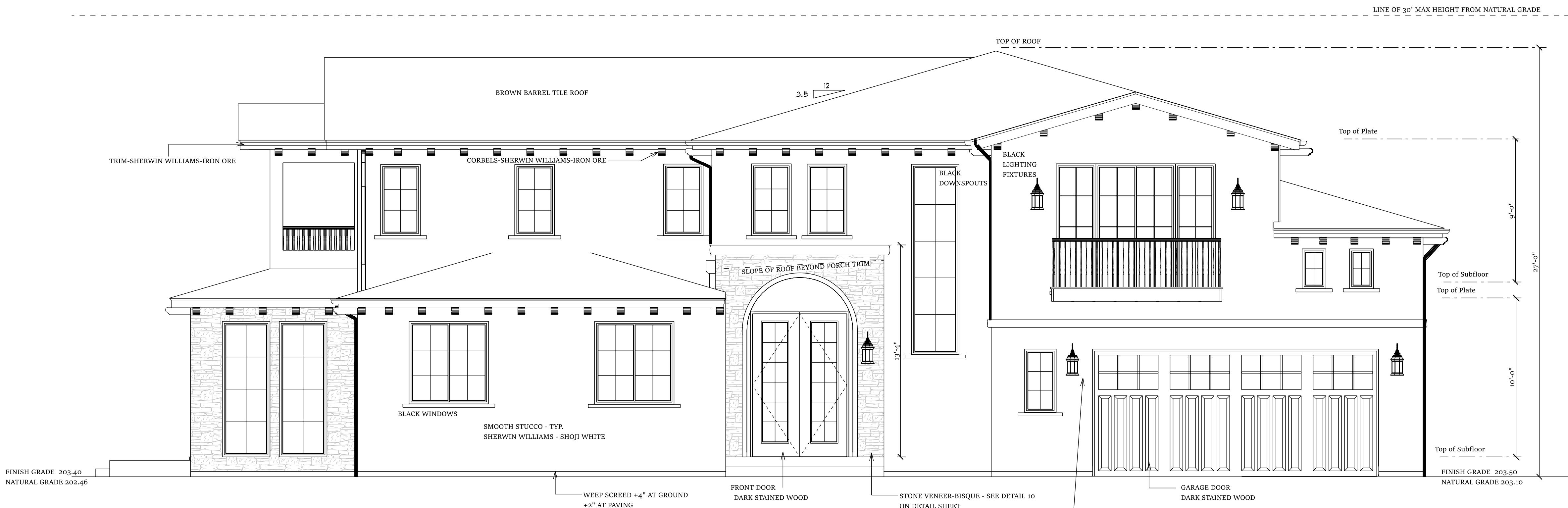
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EXTERIOR ELEVATIONS

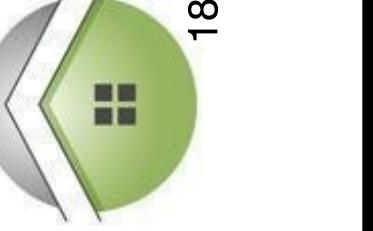


1/4" RIGHT- WEST SIDE ELEVATION

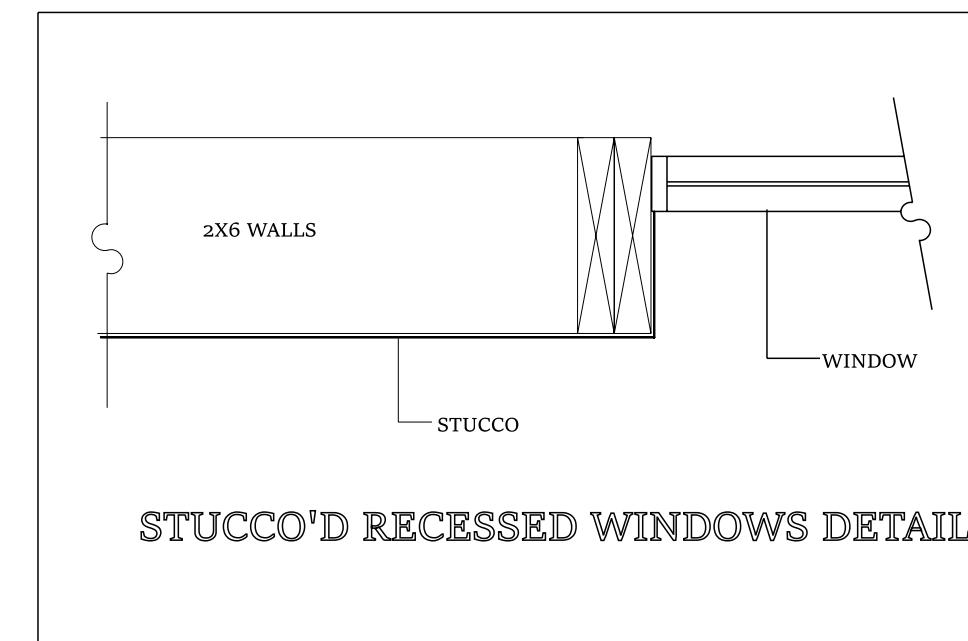
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ALL WINDOWS TO BE RECESSED AND DEEP AS
POSSIBLE IN THE 2X6 WALL



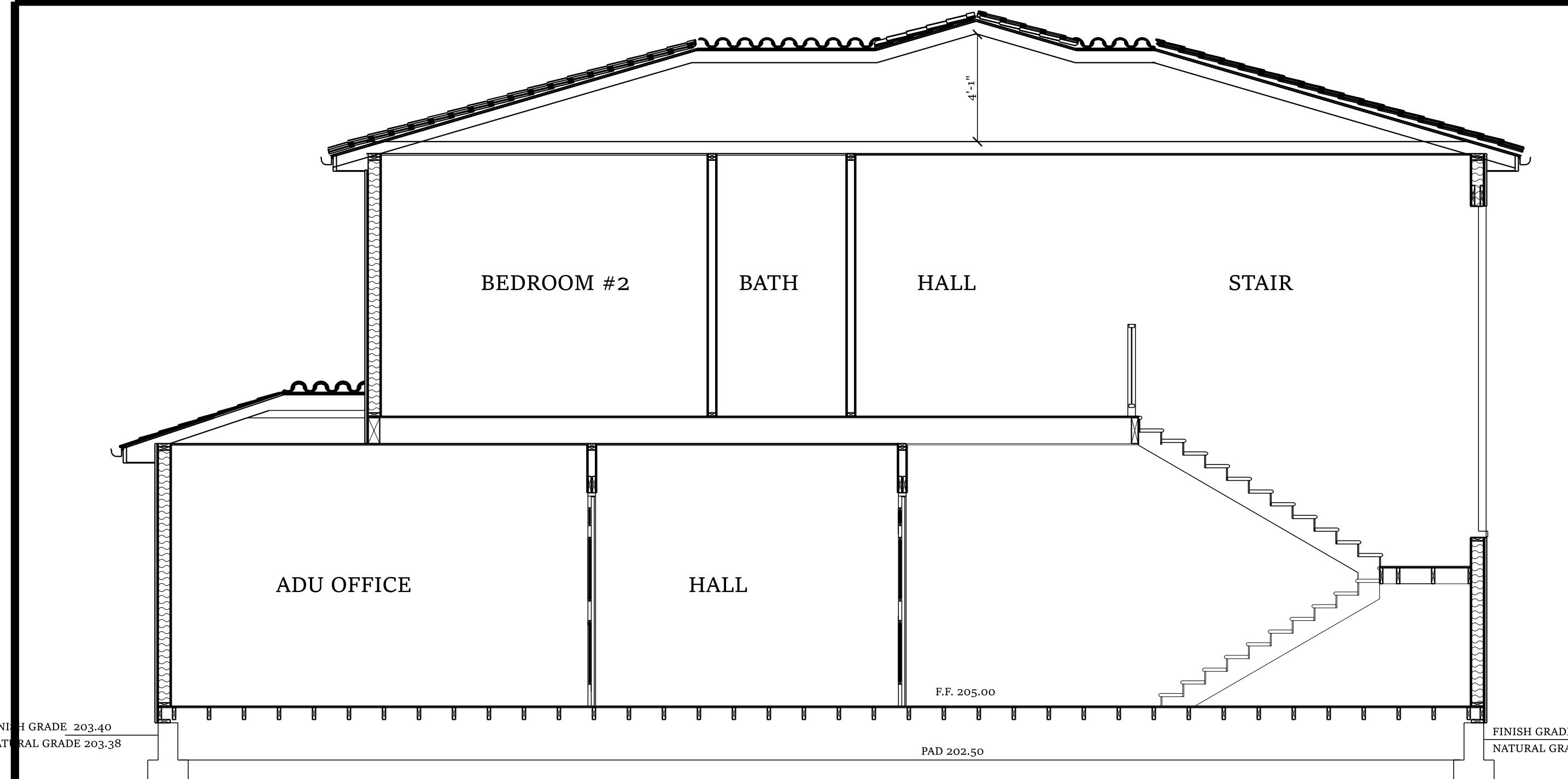
1/4" REAR - SOUTH ELEVATION



1/4" LEFT- EAST SIDE ELEVATION

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ROOF PLAN NOTES

ROOFING:
CLASS "A" CONCRETE OR CLAY BARREL TILE ROOFING, COLOR SELECTED BY OWNER. INSTALL OVER TWO LAYERS OF 30# ASTM D226 TYPE II FELT (OR APPROVED SYNTHETIC UNDERLayment) OVER SOLID SHEATHING. INSTALLATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND CRC R905.3. ROOFING FASTENERS SHALL BE CORROSION-RESISTANT IN ACCORDANCE WITH CRC R905.2.5.

BUILT-UP ROOF, CLASS "A"
28 LB BASE PLY, ATTACHED MECHANICALLY 9" OC EDGES, AND 18" OC FIELD. INNER PLIES, 11 LB. FELT W/ MIN. 25 LB. MOPPING. 78 LB. MINERAL SURFACE CAP SHEET. MIN. SLOPE AT BUILT-UP ROOF: 1/2" PER FOOT.
(WATER TO DRAIN ONTO SLOPED ROOF.)

FLASHING & COUNTERFLASHING:
26 GAUGE STEEL, U.O.N., AS REQUIRED AT JUNCTURE OF ROOF AND
VERTICAL SURFACES. SEE SHEET METAL NOTES ON NOTES SHEET

VALLEY FLASHING:
26 GAUGE GALV. STEEL OVER 15 LB. FELT. CRICKETS SIMILAR.

GUTTERS & DOWNSPOUTS:
5" GALV. STEEL GUTTER OR MATCH EXISTING STYLE IF REMODEL
2 1/4" DIA ROUND GALV. STEEL DOWNSPOUTS. PROVIDE BASKET
STRAINER AND SPLASH-BLOCK AT EACH DOWNSPOUT AT GROUND LEVEL..

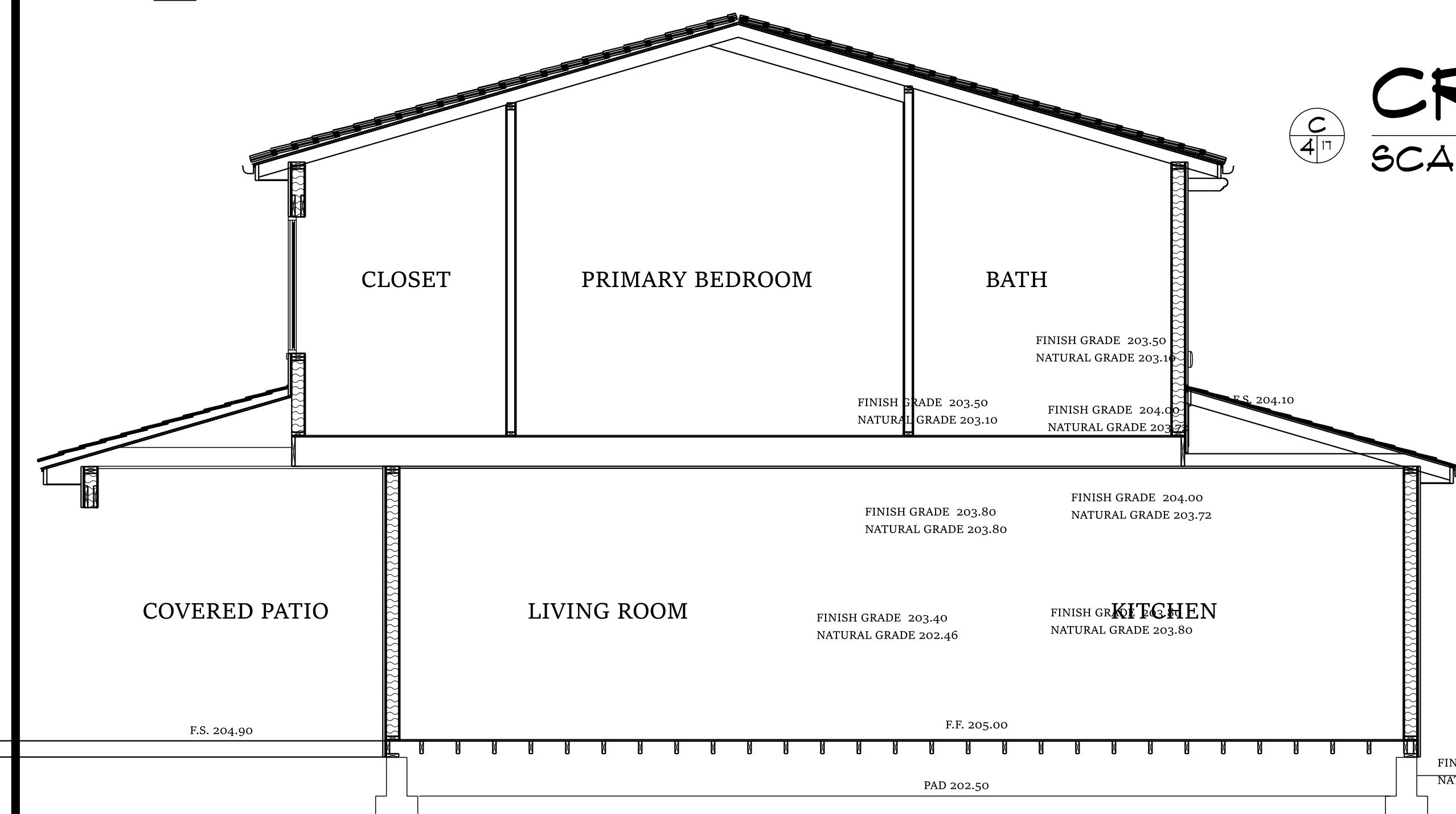
SKYLIGHTS:
USE VELUX RESIDENTIAL, WDMA (WINDOW AND DOOR
MANUFACTURING ASSOCIATION) HALLMARK CERTIFICATION
#426-H-679 (FOR VENTED) AND #426-H-675 (FOR FIXED). SEE PLAN FOR
SKYLIGHT SIZE. PER CRC R308.6.9 TESTING AND LABELING:UNIT
SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LAB,
AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE
GRADE RATING, AND APPROVED INSPECTION AGENCY TO INDICATE
COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA
101/I.S.2/NAFS.

PLUMBING VENTS:
PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED. CPC 906.2

ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES

CROSS SECTION C

SCALE: 1/4" = 1'-0"



CROSS SECTION D

SCALE: $1/4'' = 1'-0''$

This architectural cross-section diagram illustrates the vertical profile of a house, showing the roof, walls, and interior rooms. The diagram is labeled with various rooms and structural details.

Rooms and Areas:

- KITCHEN:** Located on the left, with a height of 10'-0".
- COVERED PORCH:** Located between the kitchen and the main entrance, with a height of 11'-6"±.
- PRIMARY BEDROOM:** Located on the upper level.
- FAMILY ROOM:** Located on the upper level.
- HALL:** Located on the upper level.
- BALCONY:** Located on the upper level.
- ATTIC:** Located above the roofline.
- DINING ROOM:** Located on the lower level.
- LIVING ROOM:** Located on the lower level.
- HALL:** Located on the lower level.
- MUDROOM:** Located on the lower level.
- GARAGE:** Located on the lower level.

Structural and Material Details:

- Roof:** PARAPET ROOF, SLOPED MIN. 1/4" PER FOOT, TO SCUPPER THRU WALL, TO ROOF BELOW.
- Walls:** Top of Plate, Top of Subfloor.
- Foundation:** F.F. 205.00, F.S. 204.50, F.S. 204.90, F.S. 204.00, NATURAL GRADE 203.10, NATURAL GRADE 203.13, PAD 202.50.
- Dimensions:** 10'-0", 11'-6"±, 13'-0", 10'-0", 203.40, 202.46, 202.50.

CROSS SECTION B

SCALE: 1/4" = 1'-0"

CROSS SECTION A

SCALE: $1/4"$ = $1'-0"$

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DESIGNERS SIGNATURE

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SECTIONS & ROOF PLAN



FRONT WITHOUT TREES



FRONT WITH TREES



REAR AND RIGHT



REAR AND LEFT

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3D RENDERINGS

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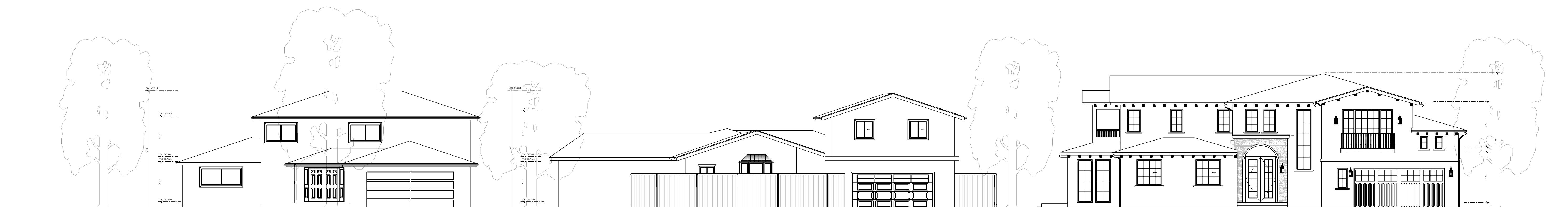
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STREET SCAPE AND NEIGHBORHOOD CROSS SECTION

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NEIGHBORHOOD CROSS SECTION

SCALE: 1/8" = 1'-0"



108 VALLECITOS WAY

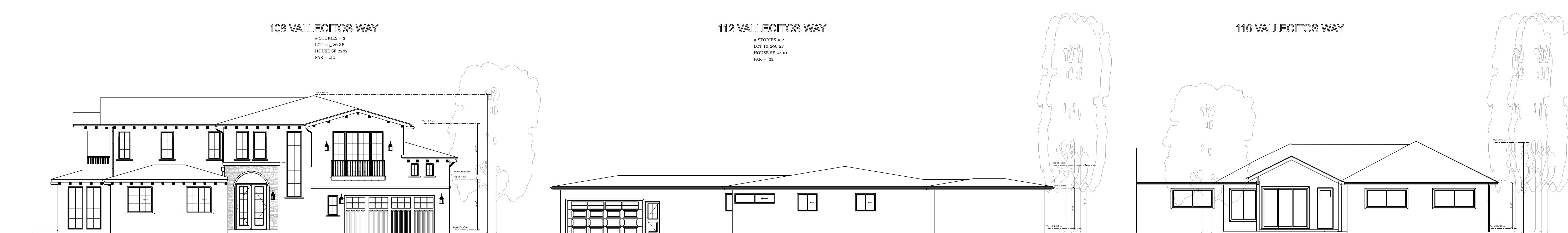
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LOT 11,356 SF
HOUSE SF 2272
FAR = .26

112 VALLECITOS WAY

STORIES = 2
LOT 10,206 SF
HOUSE SF 2200
FAR = .22

116 VALLECITOS WAY

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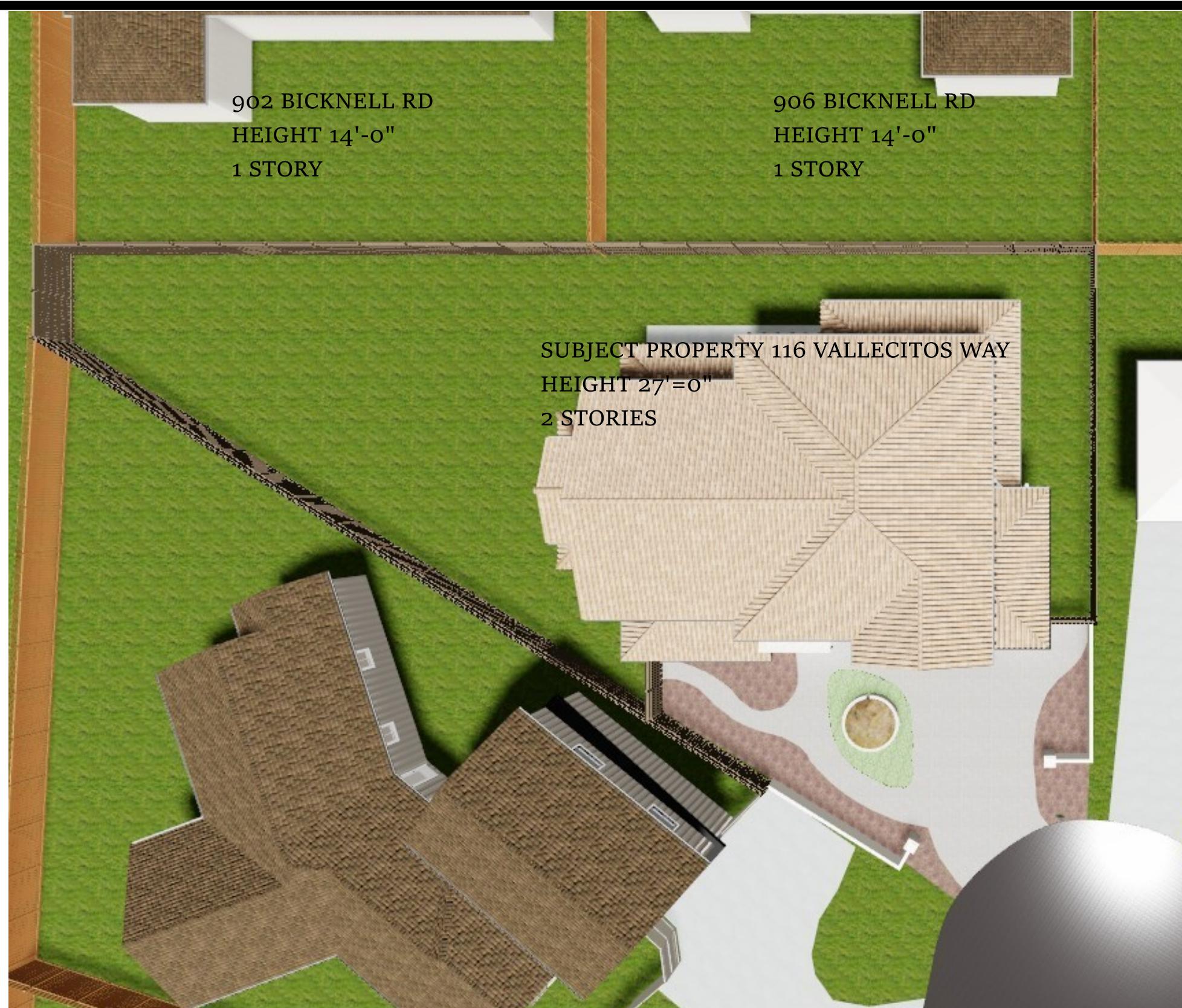
116 VALLECITOS WAY

115 VALLECITOS WAY

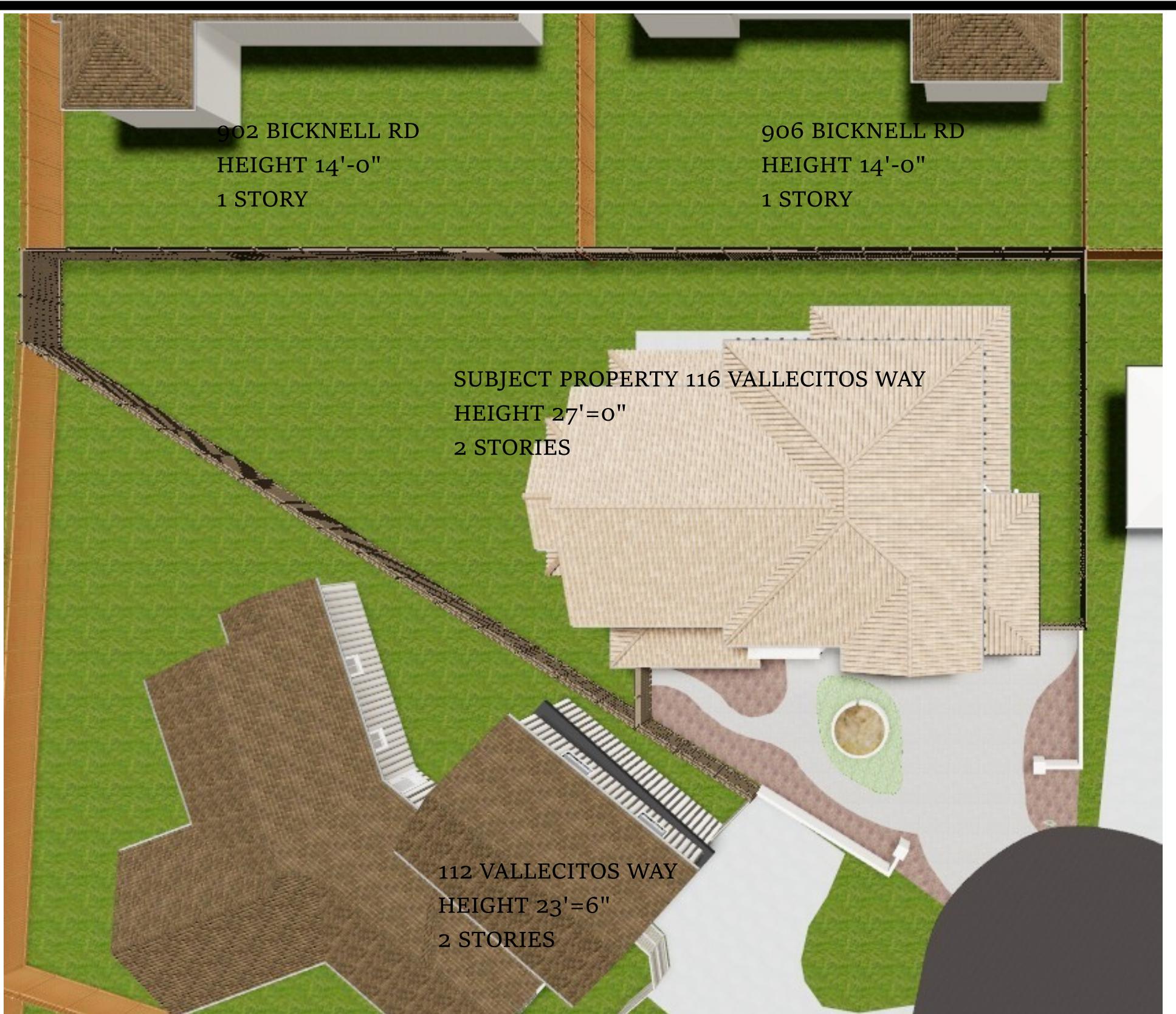
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LOT 17,859 SF
HOUSE SF 2313
FAR = .13

111 VALLECITOS WAY

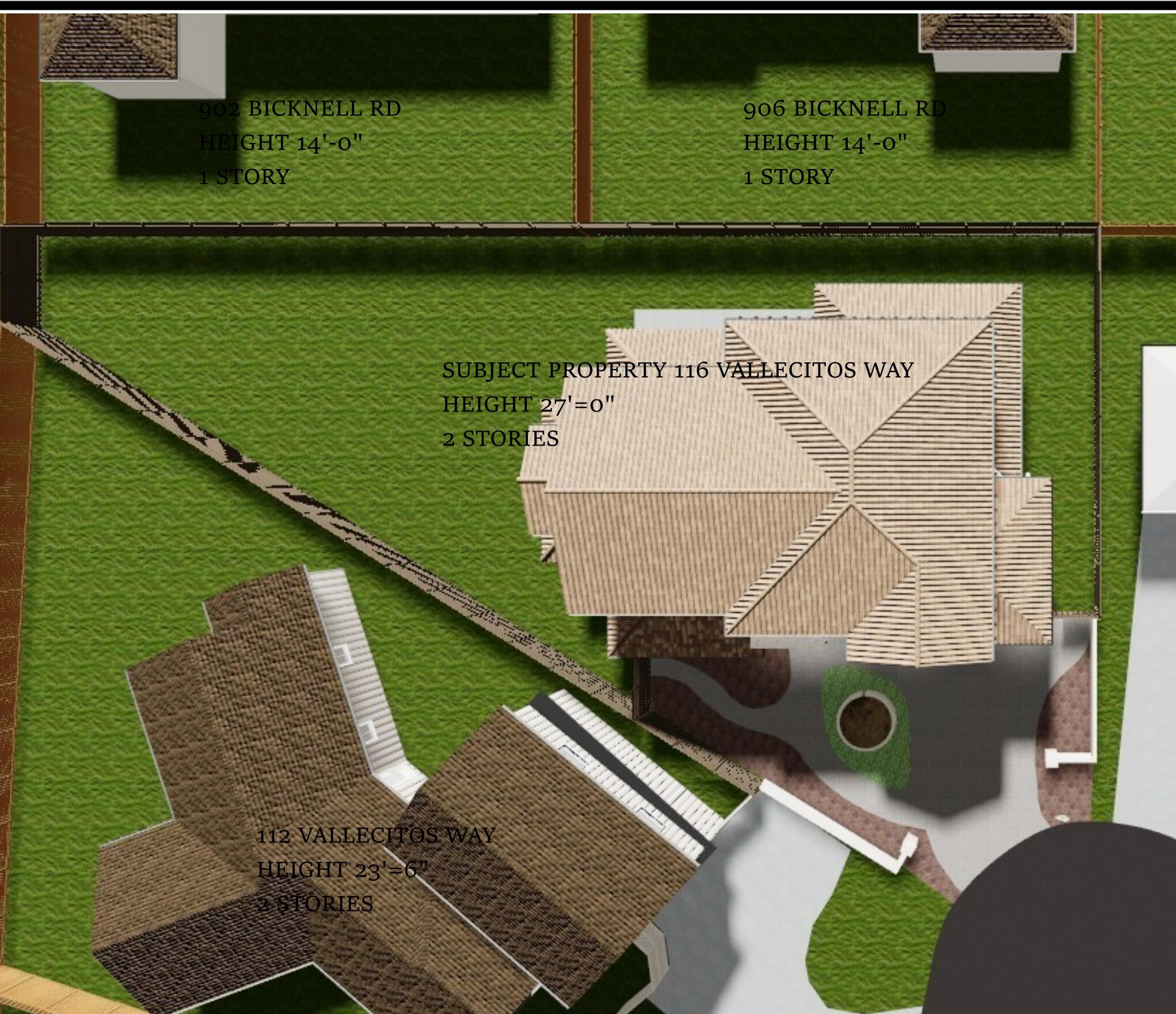
STREET SCAPE
SCALE: 1" = 10'-0"



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JUNE 21 12:00 PM



JUNE 21 9:00 AM



DEC. 21 3:00 PM



DEC. 21 12:00 PM



DEC. 21 9:00 AM



WORST CASE SCENARIO

DEC. 21 9:00 AM

SHADOW STUDY

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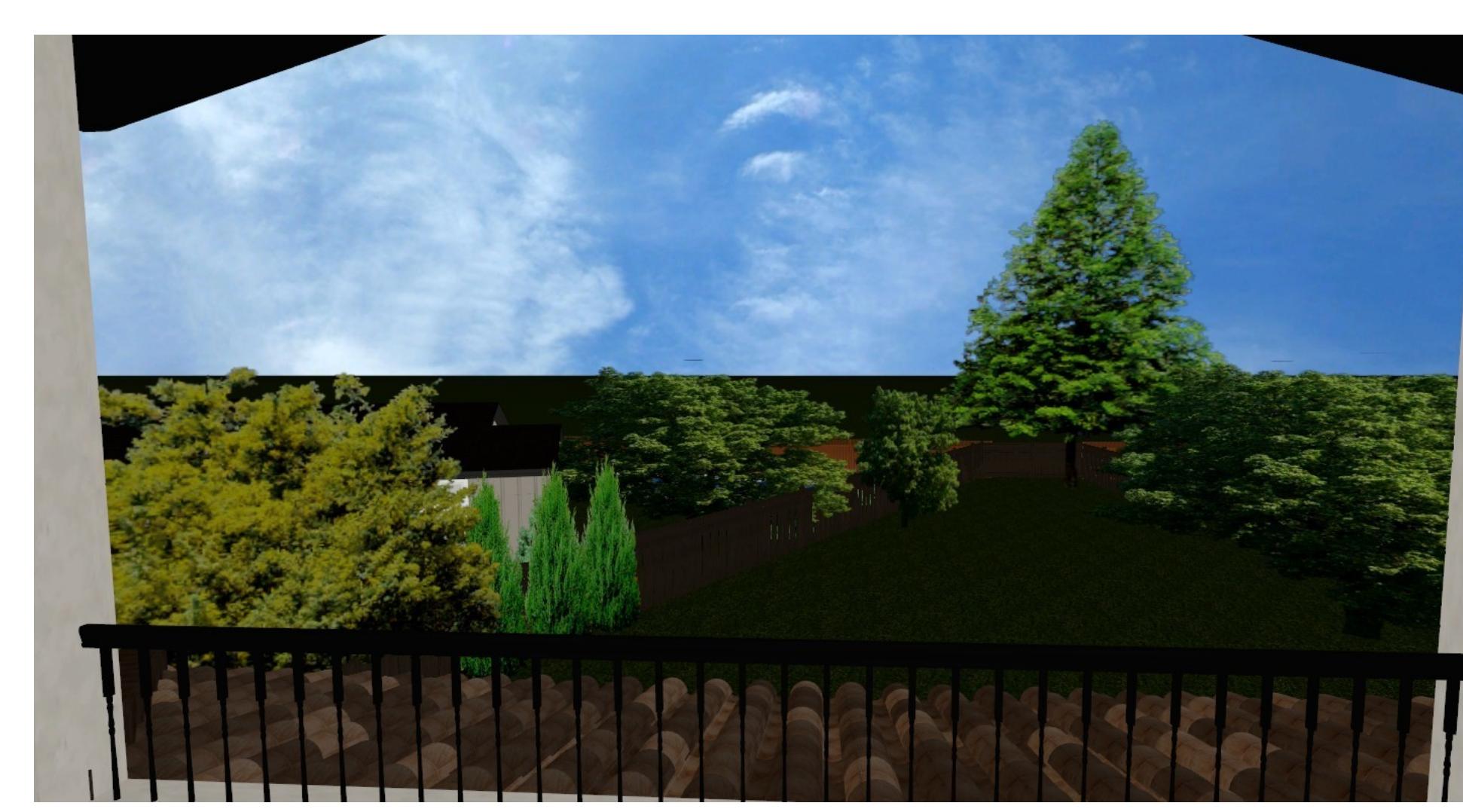


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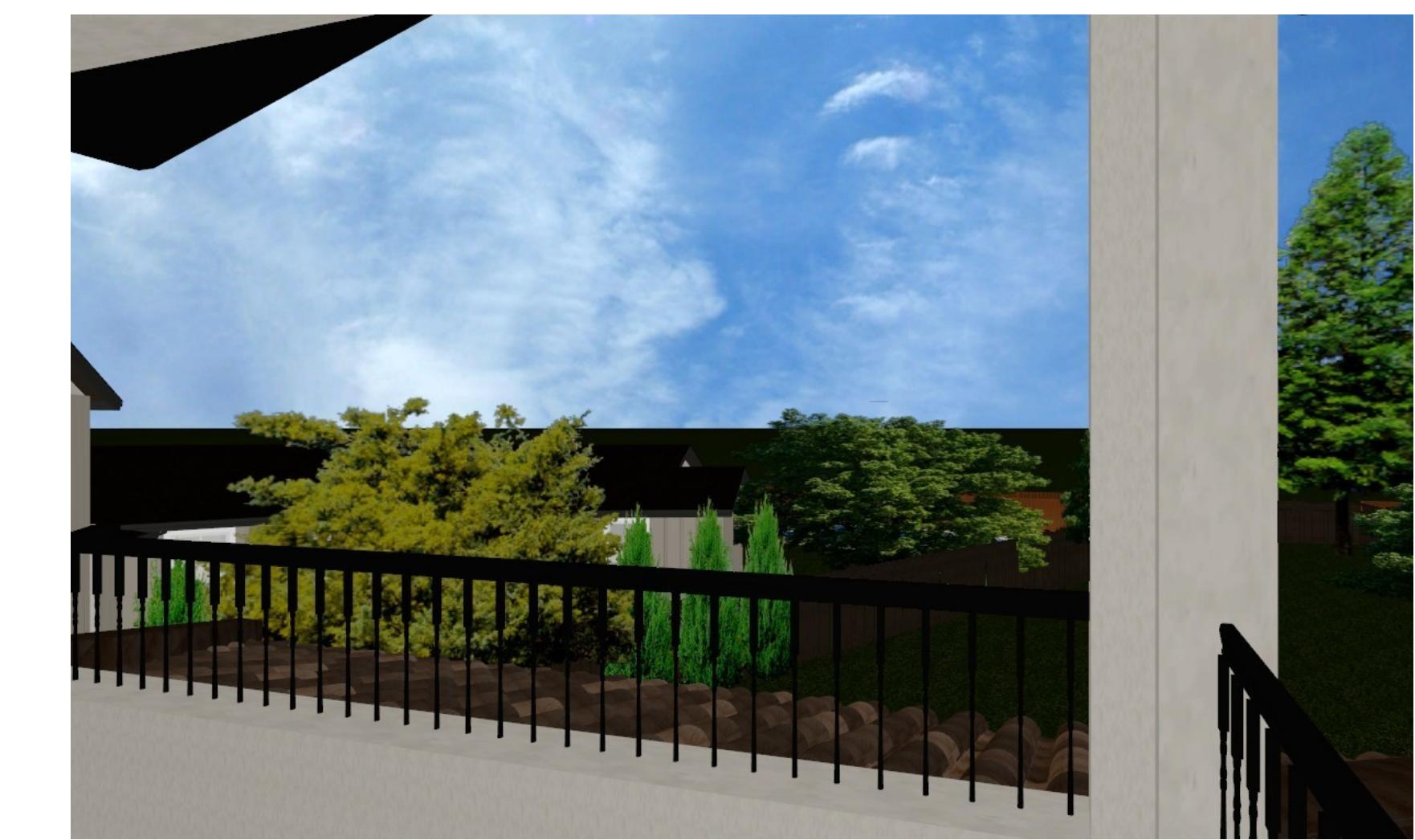
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SHADOW STUDY



TAKEN FROM CLOSEST CORNER OF BALCONY TO NEIGHBORS YARD



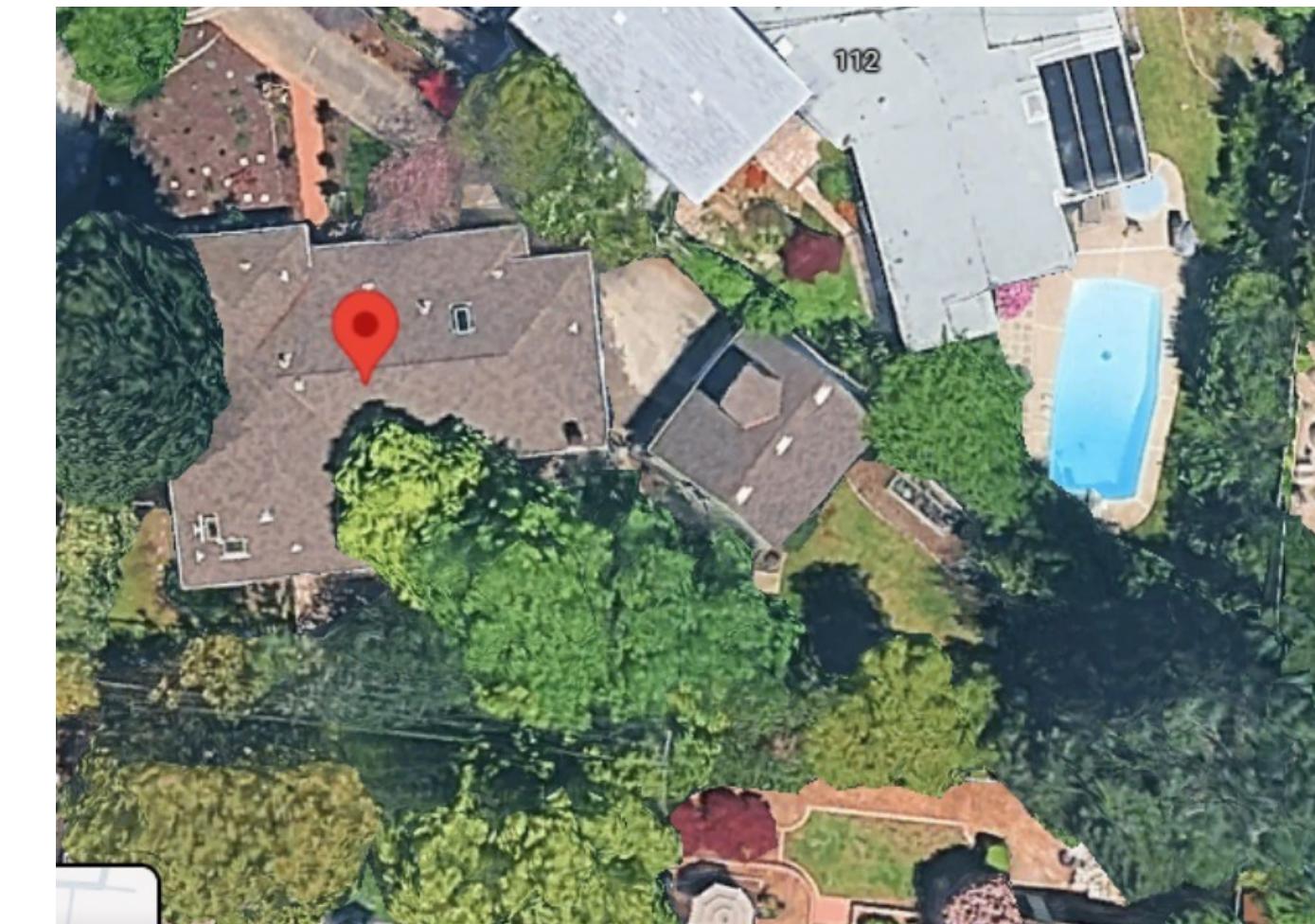
TAKEN FROM MIDDLE OF BALCONY LOOKING AT NEIGHBORS YARD



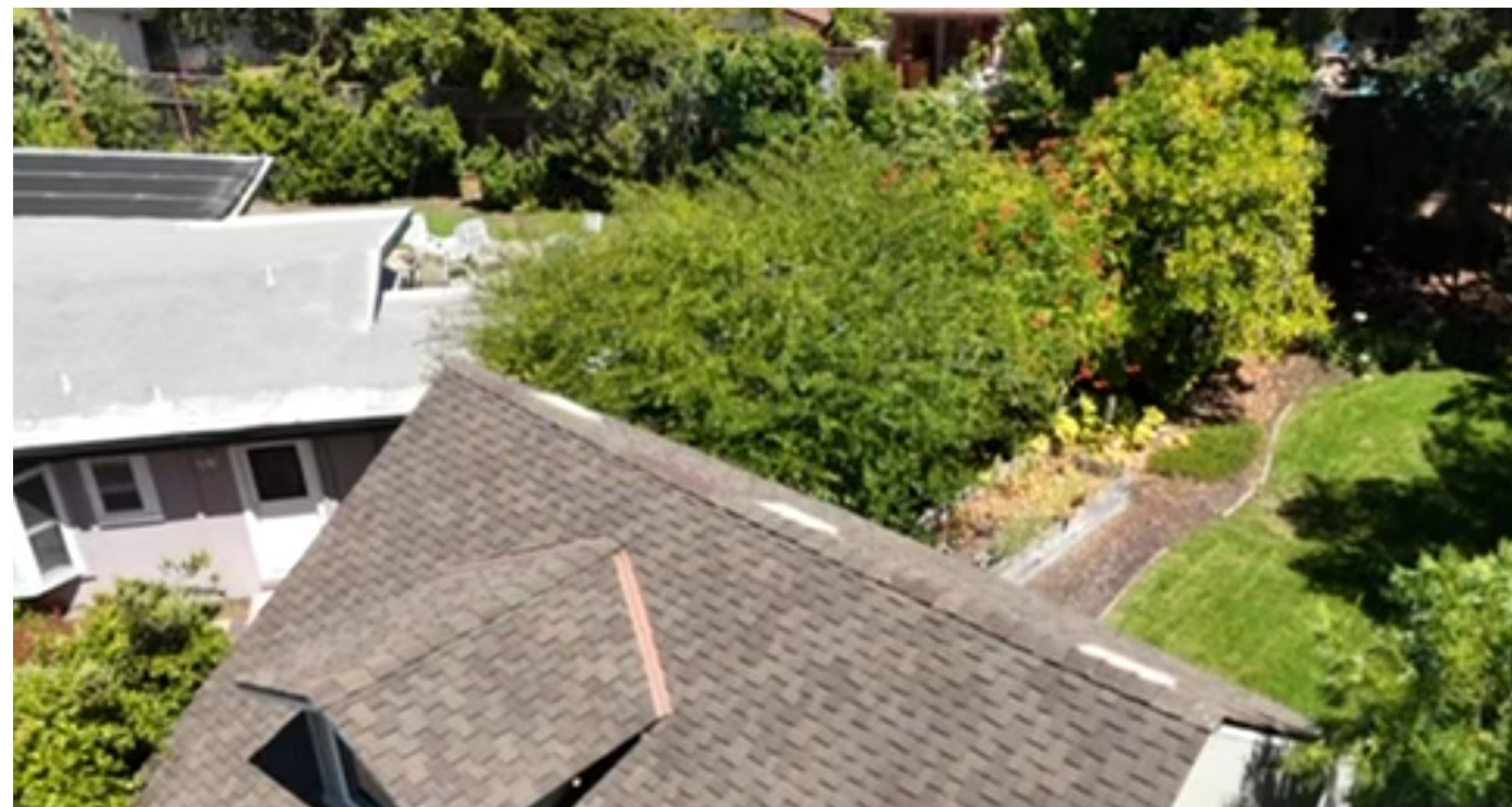
TAKEN FROM FURTHEST CORNER OF BALCONY TO NEIGHBORS YARD



TAKEN FROM NEIGHBORS POOL LOOKING BACK AT OUR HOUSE



GOOGLE VIEW OF OURS AND NEIGHBORS YARD SHOWING LOCATION OF POOL AND MATURE LANDSCAPING



DRONE FOOTAGE TAKEN ABOVE EXISTING DETACHED GARAGE LOOKING INTO NEIGHBORS YARD
POOL IS BEHIND THE MATURE LANDSCAPING

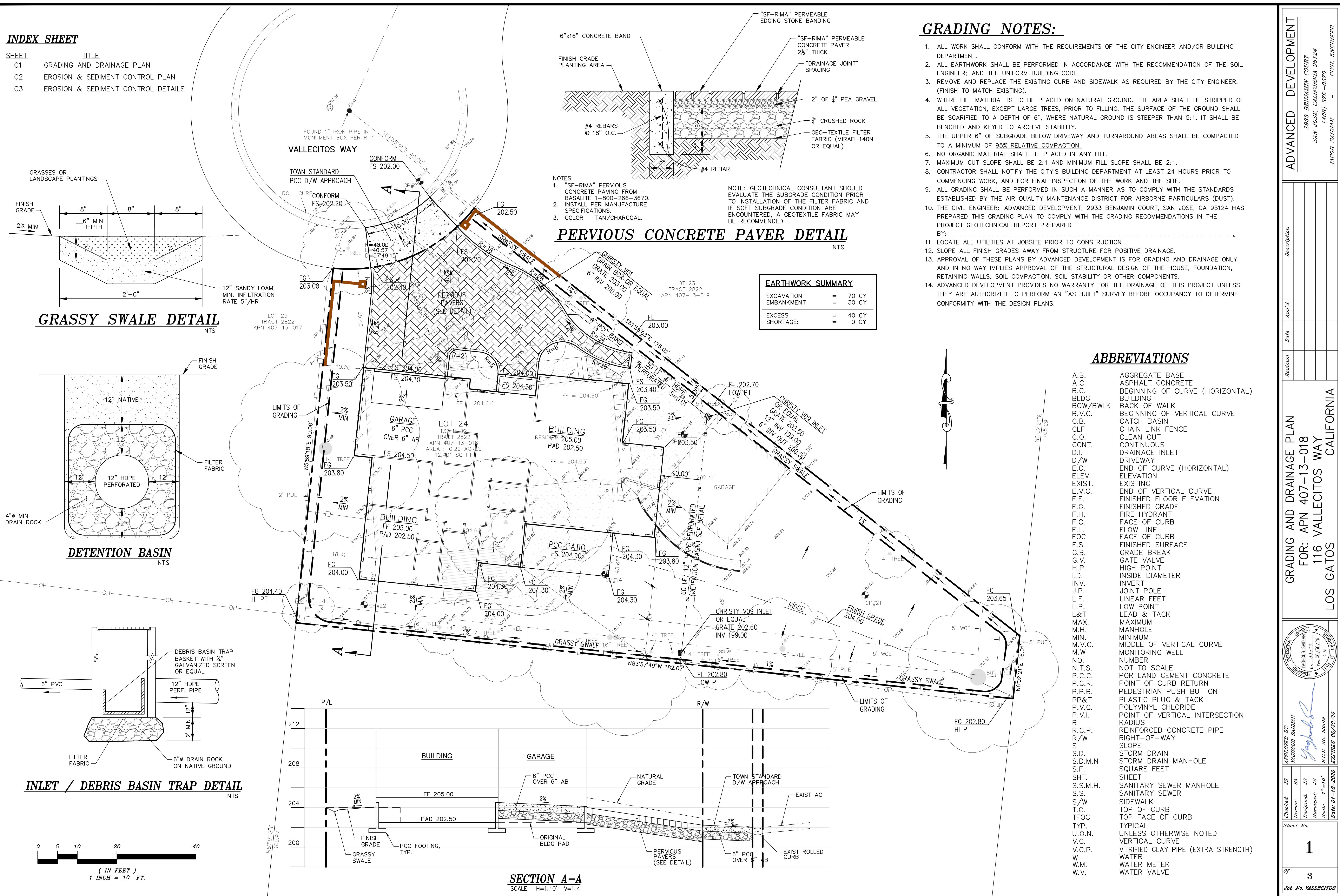


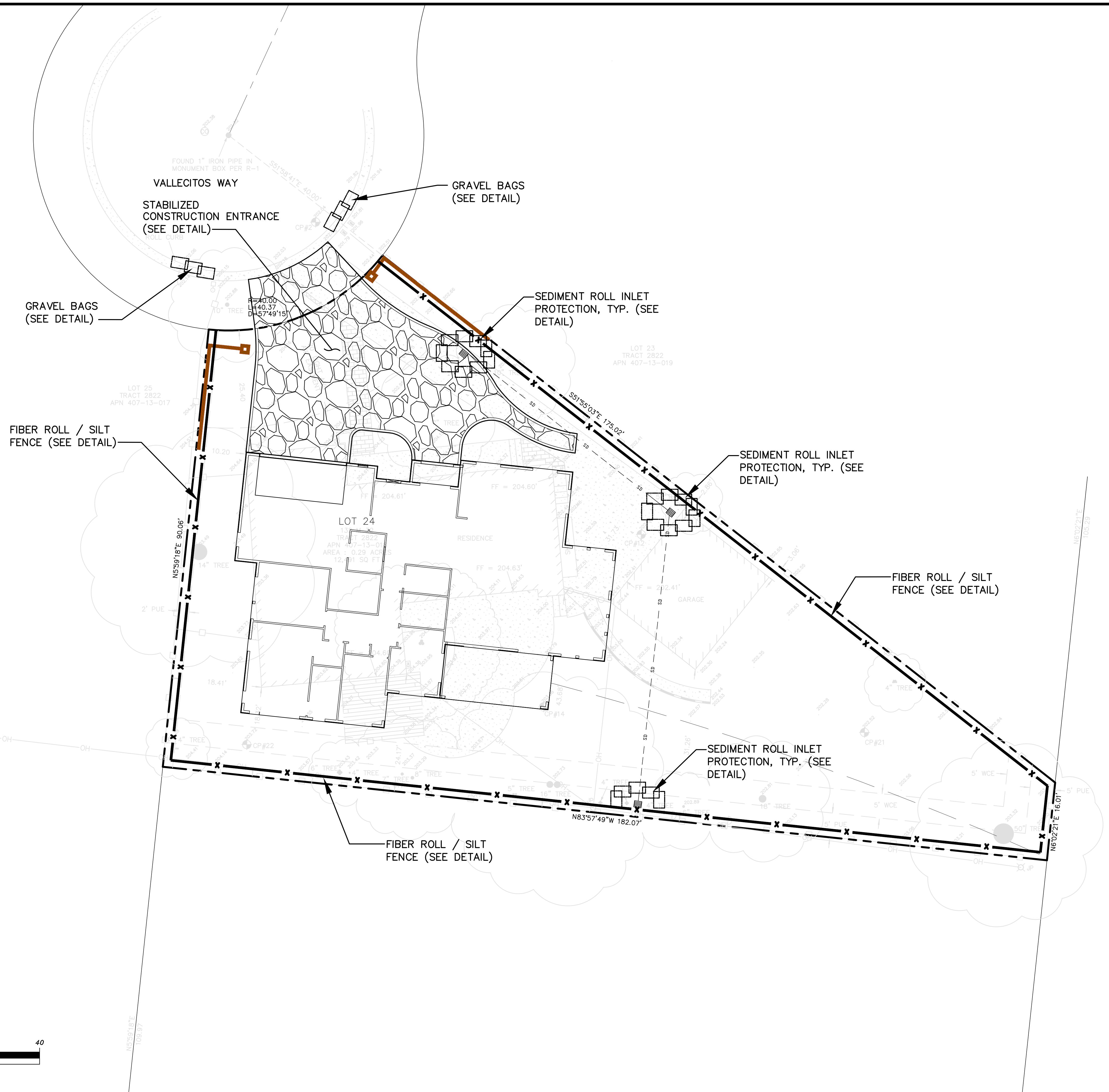
DRONE FOOTAGE TAKEN FROM VERY HIGH ABOVE THE EXISTING DETACHED GARAGE SHOWING WHERE POOL IS BEHIND MATURE LANDSCAPING

PRIVACY STUDY

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PRIVACY STUDY

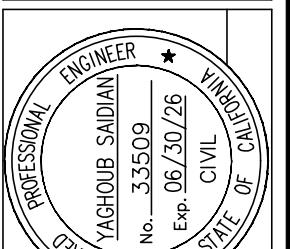




ADVANCED DEVELOPMENT

2933 BENJAMIN COURT
SAN JOSE, CALIFORNIA 95124
(408) 376-0570
JACOB SAIDIAN - CIVIL ENGINEER

EROSION & SEDIMENT CONTROL PLAN
FOR: APN 407-13-018
116 VALLECITOS WAY
LOS GATOS CALIFORNIA



Checked: <i>JS</i>	Approved By: <i>YAGHOUB SAIDIAN</i>
Drawn: <i>EA</i>	
Designed: <i>JS</i>	
Surveyed: <i>JS</i>	
Scale: $1'' = 10'$	R.C.E. NO. <i>33509</i>
Date: <i>01-26-2026</i>	
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of <i>3</i>	
Job No. <i>VALLECITOS</i>	

