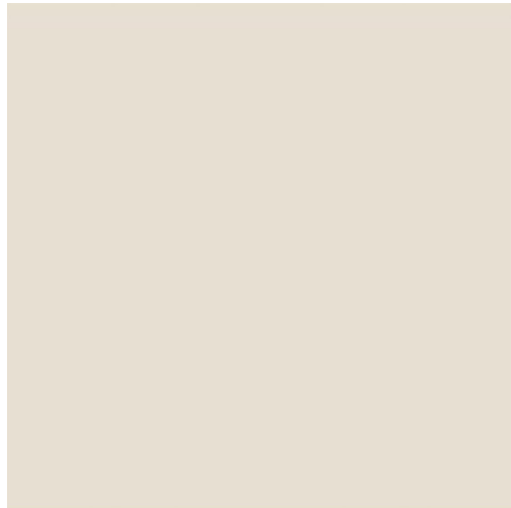


A NEW HOME FOR TOKMAN FAMILY



STUCCO - SHERWIN WILLIAMS - SHOJI WHITE



BROWN BARREL TILE ROOF



FRONT ENTRANCE-BISQUE VENEER STONE SIDING



TRIM AND ACCENTS SHERWIN WILLIAMS - IRON ORE

FOUNDATION INSPECTIONS: A pad certificate prepared by a California-licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at the foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:

- a. Building pad elevation
- b. Finish floor elevation
- c. Foundation corner locations
- d. Retaining wall(s) locations and elevations

IMPERVIOUS COVERAGE

EXISTING

HOUSE	2690 S.F.
DRIVES, WALKS AND PATIOS	2080 S.F.
TOTAL	4770 S.F.

PROPOSED

HOUSE	3182 S.F.
DRIVES, WALKS AND PATIOS	1650 S.F.
TOTAL	4832 S.F.

ALLOWABLE LOT COVERAGE	4996 S.F.
------------------------	-----------

CITY STAMP AREA

REVISIONS

REV • DATE BY


DESIGNER'S SIGNATURE

Michelle Miner

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MICHELLE MINER DESIGN.

michelle miner  
— design —  
18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984 Shelminer@aol.com

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MICHELLE MINER DESIGN, AND REQUIRES ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MICHELLE MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MICHELLE MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MICHELLE MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MICHELLE MINER DESIGN.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 34 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING

SCOPE OF WORK

- DEMOLISH EXISTING SINGLE STORY HOUSE AND DETACHED GARAGE
- BUILD A NEW 2 STORY HOME WITH ATTACHED GARAGE AND ATTACHED ADU

ANALYSIS

ASSESSOR'S PARCEL #	407-13-018
LOT AREA:	12,491 S.F.
ZONING:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY RATING:	R-3, U
EXISTING USE:	SINGLE FAMILY RES.
SLOPE OF LOT	FLAT LOT
FLOOD ZONE	X
HISTORIC	NO
FIRE SPRINKLERS	YES
WUI	NO
STORIES	(E) = 1, (N) = 2
MAX. HEIGHT	30'
YEAR BUILT	1962
REQUIRED PARKING	2 COVERED
PROVIDED PARKING	2 COVERED, 2 UNCOVERED

REQUIRED SETBACKS

FRONT SETBACK	25'
SIDE SETBACKS	10'
REAR SETBACK	25'
ADU SIDE AND REAR SETBACK	4'

EXISTING

EXISTING LIVING:	2150 S.F.
EXISTING GARAGE:	540 S.F.
TOTAL EXISTING	2690 S.F.

PROPOSED

NEW LOWER LIVING	1495 S.F.
NEW UPPER LIVING	2066 S.F.
TOTAL LIVING	3561 S.F.
NEW GARAGE	650 S.F.
GRAND TOTAL SQUARE FOOTAGE	4211 S.F.
NEW ADU	1037 S.F.
(ADU under a separate ministerial permit)	

MAX. FLOOR AREA	3622 S.F.
MAX. GARAGE	987 S.F.

APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

- 2025 CALIF. FIRE CODE
- 2025 CALIF. BLDG CODE
- 2025 CALIF. RESIDENTIAL CODE
- 2025 CALIF. MECH. CODE
- 2025 CALIF. PLUMB'G CODE
- 2025 CALIF. ELEC. CODE
- 2025 CALIF. ENERGY CODES
- 2025 CALIF. GREEN BUILDING CODES
- CALIF. CODE REGULATIONS TITLE 24, PARS 1-12
- ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

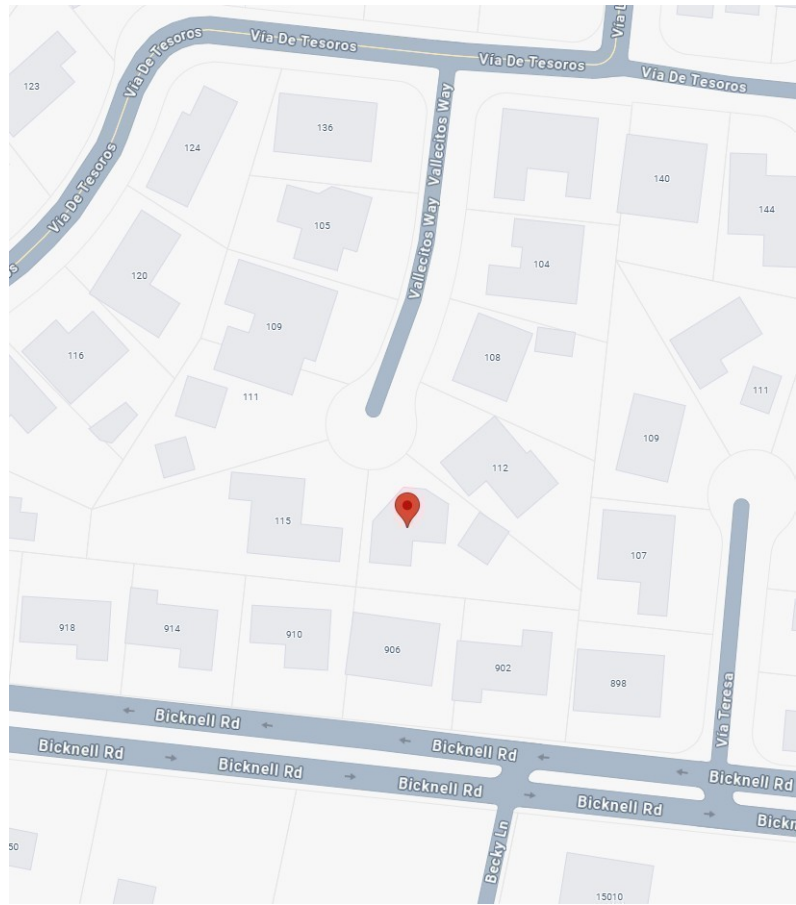
PERSONAE

OWNER Eyal & Anat Tokman 116 Vallecitos Way Los Gatos, CA 95032 408.505.0338 tokman.eyal@gmail.com	CIVIL ENGINEER ADVANCED DEVELOPMENT JACOB SAIDIAN 2933 BENJAMIN COURT SAN JOSE, CA 95124 408-376-0570 jsaidian@yahoo.com
DESIGNER MICHELLE MINER DESIGN MICHELLE MINER 18488 PROSPECT RD. #6 SARATOGA, CA 95070 SHELMINER@AOL.COM 408-396-0984	SURVEYOR WILSON LAND SURVEYOR 261 CARLTON CT. LOS GATOS, CA 95032 KOENW@WILSONLANDSURVEYS.COM 408-540-7687

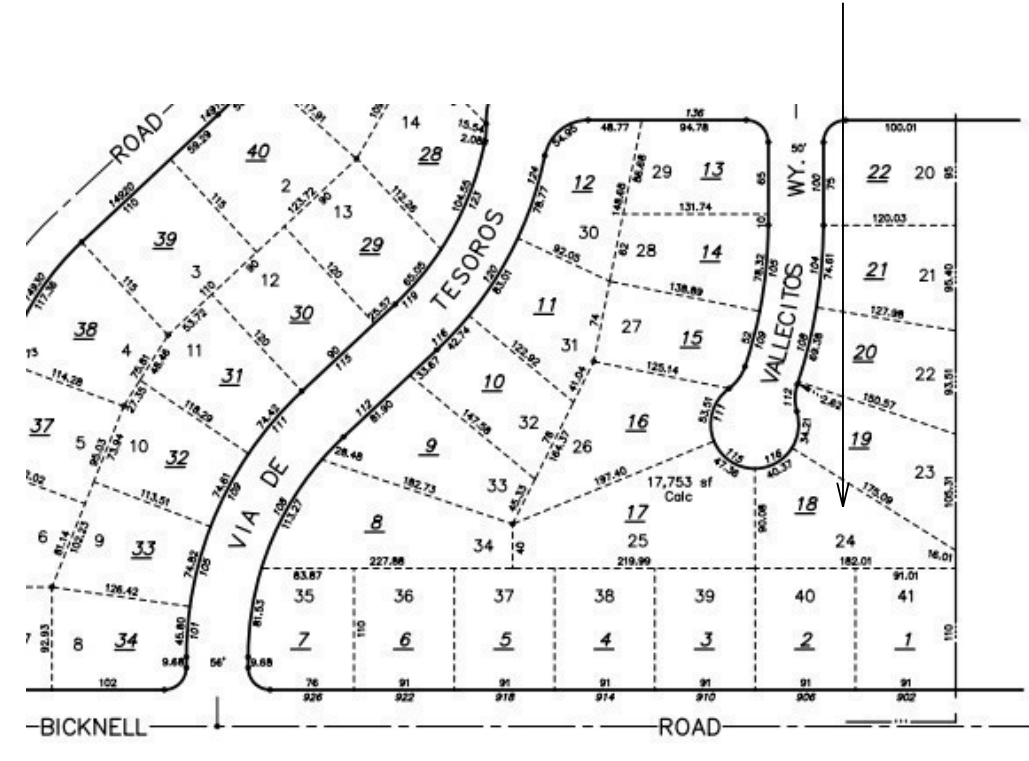
GEOTECH

FRANK LEE & ASSOCIATES  
10 KOOTENAI CT.  
FREMONT CA 94539  
510-676-5859  
SOILS REPORT DATED 28 NOV 2025

VICINITY MAP



PARCEL MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 718 OF THE CURRENT ADOPTED EDITION OF C.B.C.
- EXITING NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.

A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.

ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.

THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30 AM TO 6 PM, SATURDAYS FROM 9AM TO 5 PM.

CONSTRUCTION WASTE MANAGEMENT - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. THE CITY OF SUNNYVALE REQUIRES THE USE OF GREEN HALO, THE CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT PLAN (CDWMP) WASTE-TRACKING PROGRAM TO DOCUMENT AND MONITOR COMPLIANCE.

OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER

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DEFERRED SUBMITTALS

FIRE SPRINKLERS REQUIRED

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS - NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUT OFF VALVE TO THE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: " WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE . DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS, AND AUTOMATIC SHUT OFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

SEPARATE PERMIT

- PHOTOVOLTAIC ROOFING SYSTEM

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032

408.505.0338 tokman.eyal@gmail.com

DRAWN	MM
CHECKED	MM
DATE	2/4/2026
SCALE	AS SHOWN
JOB NO.	
PAGE:	1/21



THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

KENNETH D. WILSON LS 5571      DATE

ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY  
OF LOS GATOS BENCHMARK MS03.

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

3. BUILDING WALLS WERE LOCATED AT MAIN FINISH LOCATIONS (STUCCO, BRICK OR WOOD SIDING AS IT EXISTS IN THE FIELD).

4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.

5. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.

6. LINES ON LAYER 'X-BOUNDARY' SHOULD BE USED AS BASIS OF DESIGN FOR BOUNDARY.

7. LINES ON LAYER 'X-BLDG' SHOULD BE USED AS BASIS OF DESIGN FOR BUILDING LOCATION (SEE GENERAL NOTE 3).

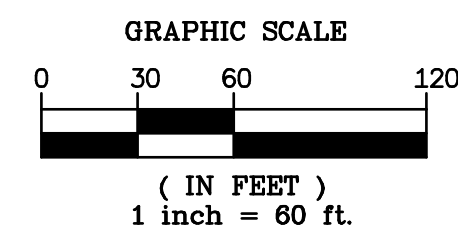
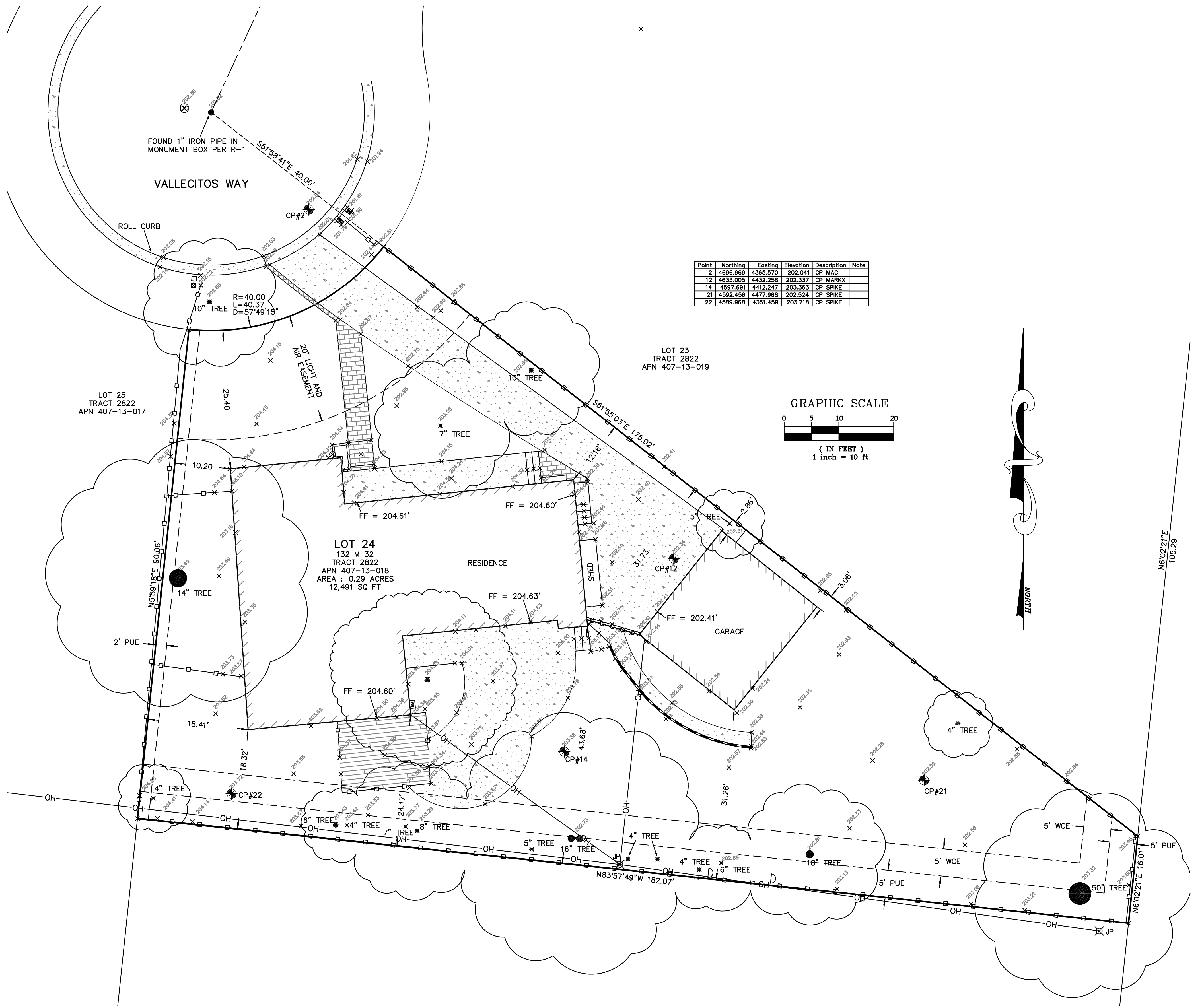
UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

A TITLE REPORT WAS PROVIDED BY THE CLIENT. THE REPORT WAS PREPARED BY CHICAGO TITLE INSURANCE COMPANY AND IS DATED APRIL 9, 2025 WITH AN ORDER NUMBER OF FWPS-3021241134-KF. ALL EASEMENTS SHOWN IN THAT REPORT ARE EITHER PLOTTED OR ADDRESSED ON THIS SURVEY.

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP  
(EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP).  
THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE  
AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

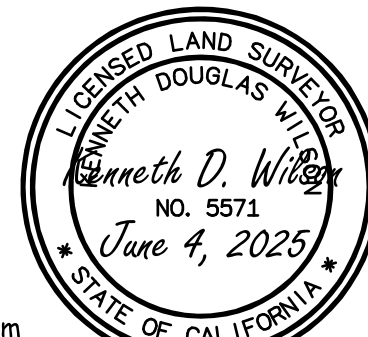
●	FOUND AS NOTED	JP	JOINT POLE
----	PROPERTY LINE	PP	POWER POLE
----	EASEMENT LINE/TIE LINE	UP	UTILITY POLE
— SS	UG SEWER LINE	TP	TELEPHONE POLE
— W	UG WATER LINE	⚡	BOLLARD
— G	UG GAS LINE	⊗	VALVE
— PH	UG PHONE LINE	—	SIGN
— E	UG ELEC LINE	(SS)	SANITARY SEWER MANHOLE
— OH	OVERHEAD LINE	(SD)	STORM DRAIN MANHOLE
☆	LAMP POST	(C)	COMMUNICATION MANHOLE
		⚡	FIRE HYDRANT
		(C)	SEWER CLEANOUT
///	BUILDING	⚡	SURVEY CONTROL POINT
		[EM]	ELECTRIC METER
		[GM]	GAS METER
		[WM]	WATER METER
		□ ⊗	LIGHT POLE AND LIGHT
		■	WALL
		[G]	DROP INLET
		⌋	GUYWIRE
		[MB]	MAILBOX
		[E]	UTILITY BOX
		—○—	WOOD FENCE
		—○—○—○—	CHAIN LINK FENCE
○	SET 5/8" REBAR WITH PLASTIC CAP LS 9440	R-1	132 M 32
●	SET BRASS SREW AND 1" BRASS TAG LS 5571 IN CONCRETE	R-2	163 M 10

LO	LIVE OAK
WO	WHITE OAK
WCE	WIRE CLEARANCE EASEMENT
RW	REDWOOD
PUE	PUBLIC UTILITY EASEMENT
FF	FINISH FLOOR
OR	OFFICIAL RECORDS



This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used for any other project without written authority of Wilson Land Surveys.

Copyright 2025 Koen T. Wilson and Wilson Land Surveys. All rights reserved. Copies of this drawing shall have this notice. Any drawing using the information on this map shall contain the following: "Topographic Survey by Wilson Land Surveys, Los Gatos, CA"



AS REQUESTED BY:  
**EYAL TOKMAN**

LEGAL DESCRIPTION: LOT 24, TRACT 2822, 132 M 32, TOWN OF  
LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

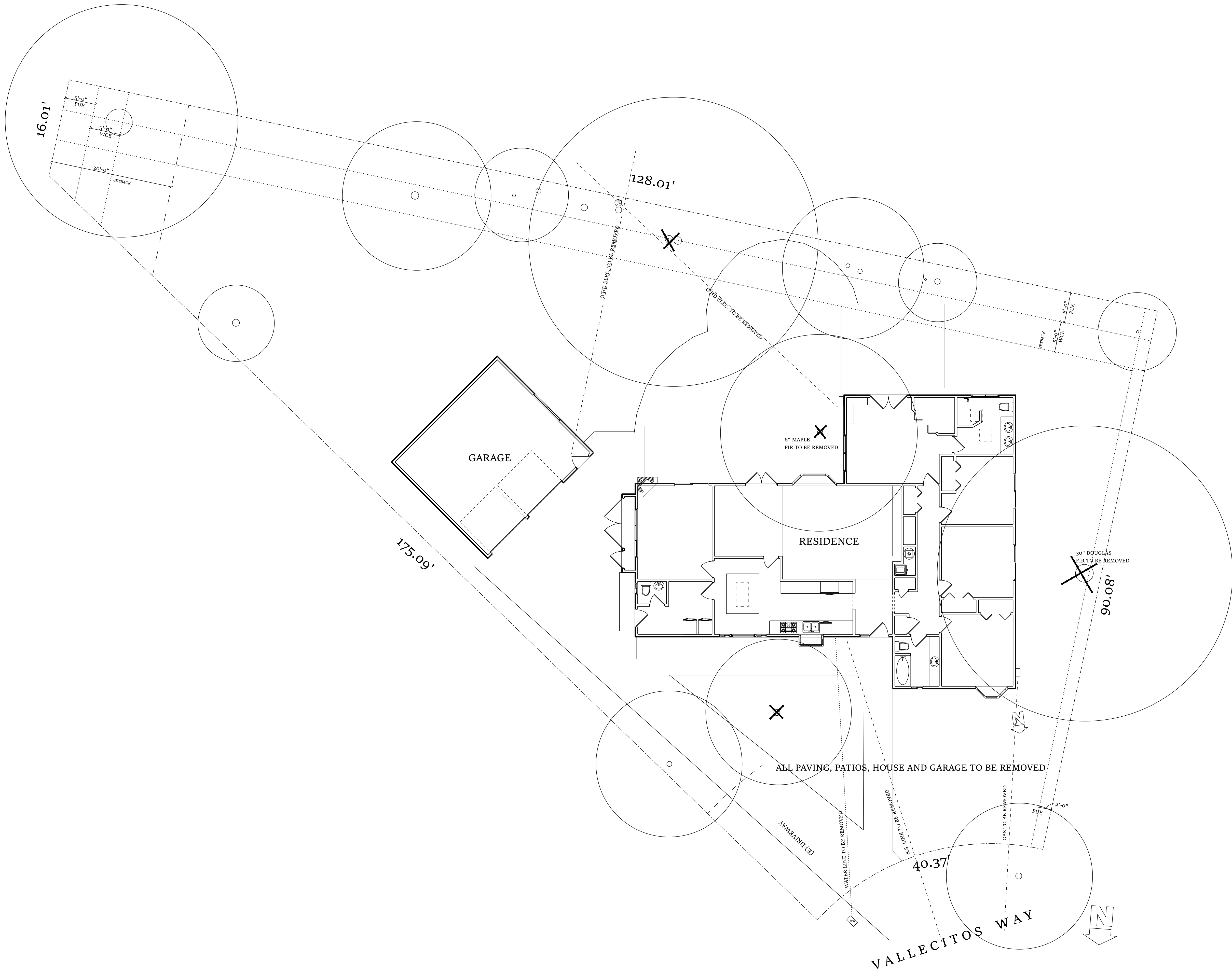
APN: 407-13-018

DATE: JUNE 2025

SITE ADDRESS: 116 VALLECITOS WAY, LOS GATOS, CA 95032

DRAWN BY: AC	SCALE: 1"=10'	PROJECT: S-089	JOB NUMBER: S-089	SHEET: 1 OF 1
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DEMO SITE PLAN

SCALE: 1/8" = 1'-0"  
HOUSE AND ALL CONCRETE WORK TO BE REMOVED

REVISIONS

REV #	DATE	BY

DESIGNER'S SIGNATURE

*Michelle Miner*

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MICHELLE MINER DESIGN.

michelle miner

design

18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032

408.505.0338    tokman.eyal@gmail.com

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DATE

2/4/2026

SCALE

AS SHOWN

JOB NO.

PAGE:

3/21

DEMO SITE PLAN



Table with 3 columns: existing trees, to be removed, and proposed trees. It lists various tree species like sweet gum, crab apple, douglas fir, etc., and their respective quantities and sizes.

PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY THE FRONT YARD MUST BE LANDSCAPED PROPOSED LANDSCAPING AREA IS LESS THAN 500 SQUARE FEET. PER THE TOWN OF LOS GATOS WATER CONSERVATION ORDINANCE AND THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) ADMINISTERED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, THIS PROJECT QUALIFIES AS A SMALL LANDSCAPE AREA AND IS NOT SUBJECT TO FULL WELO DOCUMENTATION REQUIREMENTS (WATER BUDGET, SOIL REPORT, IRRIGATION AUDIT, ETC.).LANDSCAPING WILL COMPLY WITH WATER-EFFICIENT DESIGN PRINCIPLES AS FOLLOWS:• DROUGHT-TOLERANT / LOW WATER USE PLANTS• TAN BARK MULCH ON EXPOSED SOIL SURFACES• TOTAL LANDSCAPED AREA SHALL NOT EXCEED 500 SQ. FT. SEE RENDERING ON COVER SHEET

SITE PLAN - LANDSCAPING
SCALE: 1" = 10'-0"

REVISIONS table with columns REV, DATE, BY. Below it is the DESIGNER'S SIGNATURE section with a signature and the text: THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MICHELLE MINER DESIGN.

Design firm information: michelle miner design, 18488 Prospect Rd. #6 Saratoga, CA 95070, 408.396.0984, Shelminer@aol.com. Includes a logo with a house icon.

Client information: Eyal & Anat Tokman, 116 Vallecitos Way, Los Gatos, CA 95032, 408.505.0338, tokman.eyal@gmail.com.

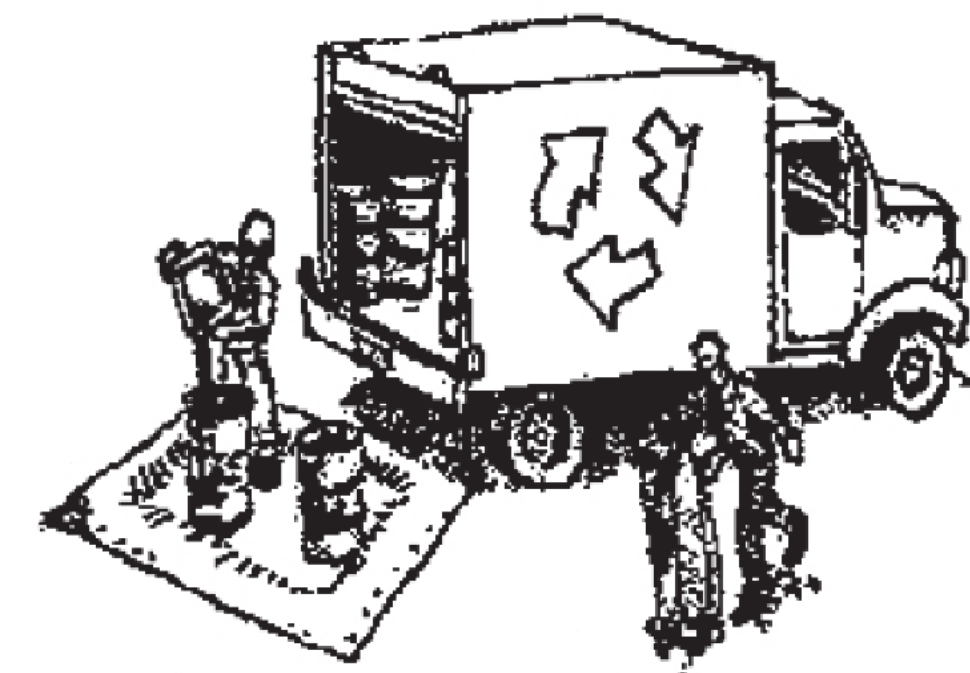
Project details: DRAWN MM, CHECKED MM, DATE 2/4/2026, SCALE AS SHOWN, JOB NO., PAGE: 4/21, SITE PLAN - LANDSCAPING.



# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

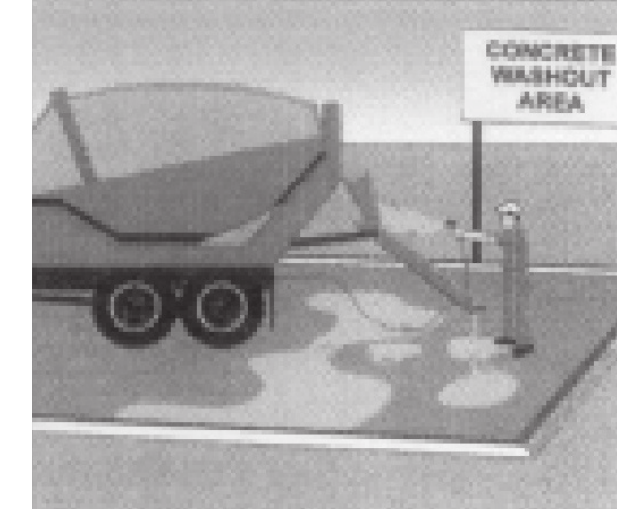
### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



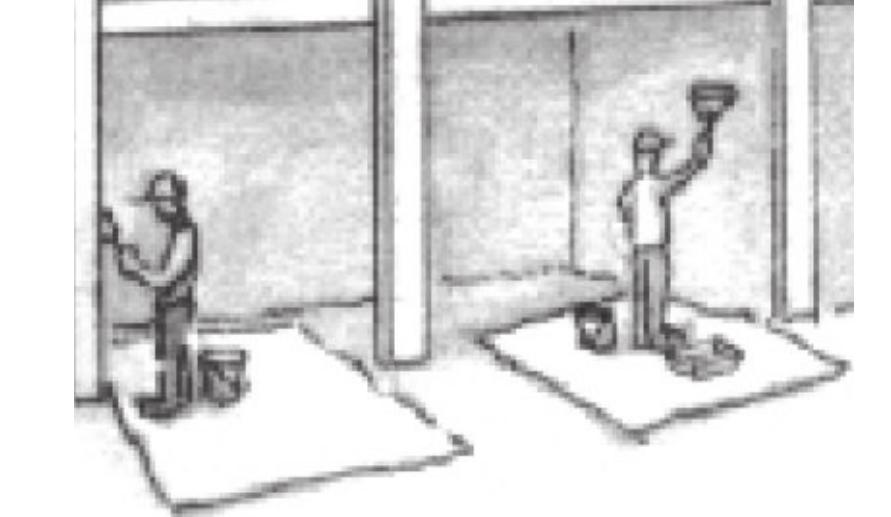
### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program**

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**







# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

[illegible]

TABLE 4.504.5 - FORMALDEHYDE LIMITS,	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD:	0.13

- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

### DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

#### 4.504.3 CARPET SYSTEMS.

All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CDC/DPH/DEOD/EBL/BAQ/Pages/VOC.aspx>.

#### 4.504.3.1 Carpet cushion.

All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CDC/DPH/DEOD/EBL/BAQ/Pages/VOC.aspx>.

#### 4.504.3.2 Carpet adhesive.

All carpet adhesive shall meet the requirements of Table 4.504.1.

#### 4.504.4 RESILIENT FLOORING SYSTEMS.

Where resilient flooring is installed, at least 80% of floor areas receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CDC/DPH/DEOD/EBL/BAQ/Pages/VOC.aspx>.

#### 4.504.5 COMPOSITE WOOD PRODUCTS.

Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), or by before the dates specified in those sections, as shown in Table 4.504.5

#### 4.504.5.1 Documentation.

Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 S5 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

### 4.505 INTERIOR MOISTURE CONTROL

#### 4.505.1 General.

Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

#### 4.505.2 CONCRETE SLAB FOUNDATIONS.

Concrete slab foundations required to have a vapor retarder by the California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

#### 4.505.2.1 Capillary break.

A capillary break shall be installed in compliance with at least one of the following:

- A 4-inch (101.6 mm) thick base of 1/2-inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

#### 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.

Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped on each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

### 4.506 INDOOR AIR QUALITY AND EXHAUST

#### 4.506.1 Bathroom exhaust fans.

Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
  - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
  - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

**Notes:**

- For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
- Lighting installed to bathroom exhaust fans shall comply with the *California Energy Code*.

### 4.507 ENVIRONMENTAL COMFORT

#### 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.

Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 5 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are acceptable.

Y	N/A	RESPON- PARTY

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**michelle miner**  
— design —

18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com

**Eyal & Anat Tokman**

116 Vallecitos Way, Los Gatos, CA 95032

408.505.0338    tokman.eyal@gmail.com

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GREEN CHECKLIST 2




TOKMAN RESIDENCE  
1116 VALLECITOS WAY  
LOS GATOS, CA 95032

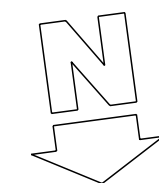
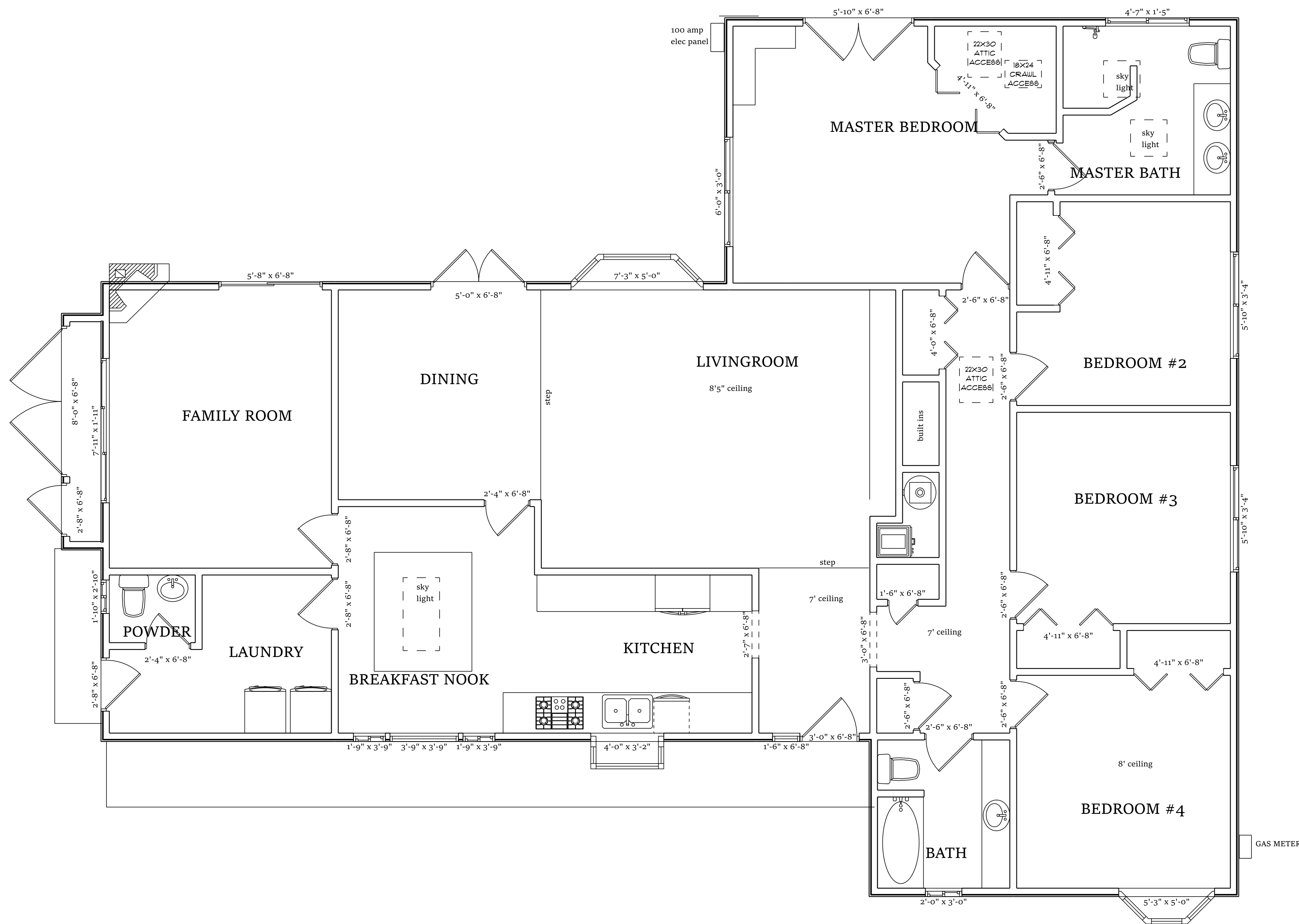
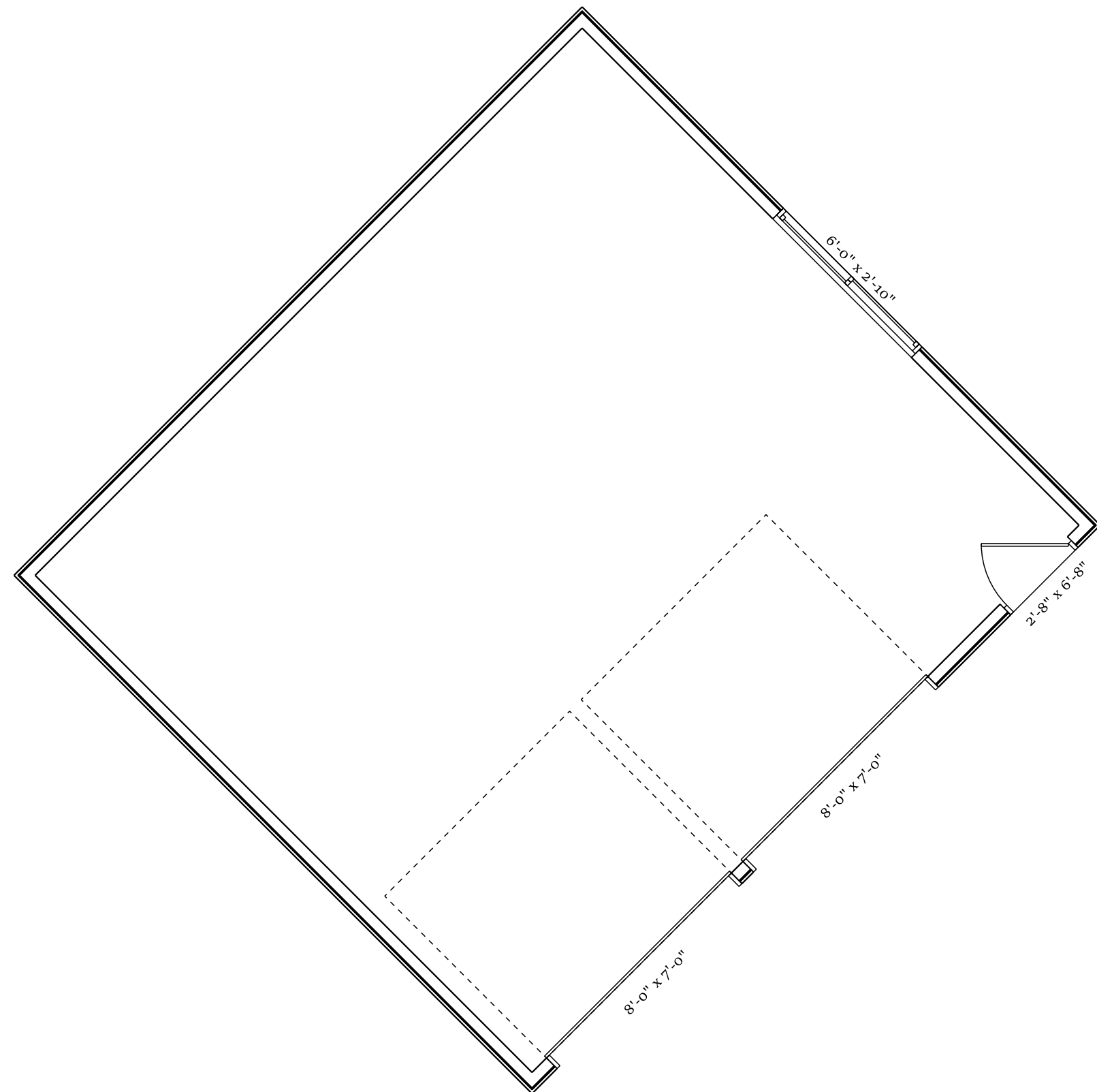


# NEW HOME RATING SYSTEM, VERSION 9.1

## Blueprint Scoresheet

Tokman Residence		Points Targeted	Community	Energy	MoHealth	Resources	Water	Responsible Party	Blueprint Page No.
New Home Single Family 		Possible Points							
CALGreen	Yes								
<b>A. SITE</b>	Yes	4		1	1	1	1		
<b>A1. Job Site Construction Waste Diversion</b>									
Yes	A2 1 TPD Card Waste Diversion (Including Alternative Daily Cover)	2				2			
Yes	A2 2 Recycling Rates From Third-Party Vendor Mixed-Use Waste Facility								
<b>A6. Stormwater Control: Prescriptive Path (section capped at 3 points)</b>									
Yes	A6 1 Permeable Paving Materials	1				1			
Yes	A6 3 Non-Leaching Roofing Materials								
<b>C. LANDSCAPE</b>									
<b>C3. Resource Efficient Landscapes</b>									
Yes	C3 1 No Invasive Species Listed by Region	1				1			
Yes	C3 2 Plants Chosen and Located to Grow in Natural Site					1			
<b>C4. Minimal Turf in Landscape</b>									
Yes	C4 1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2					2		
Yes	C6. High-Efficiency Irrigation System						2		
Yes	C13. Reduced Light Pollution	1	1						
<b>D. STRUCTURAL FRAME AND BUILDING ENVELOPE</b>									
<b>D9. Reduced Pollution Entering the Home from the Garage</b>									
Yes	D9 2 Mitigation Strategies for Attached Garage	1	1						
Yes	D9 1 Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2			1	1			
<b>E. EXTERIOR</b>									
Yes	E4. Durable and Non-Combustible Cladding Materials	1					1		
Yes	E5. Durable and Fire-Resistant Roofing Materials or Assembly								
<b>G. PLUMBING</b>									
<b>G1. Efficient Distribution of Domestic Hot Water</b>									
Yes	G1 2 WaterSense Volume Limit for Hot Water Distribution	1					1		
Yes	G1 3 Increased Efficiency in Hot Water Distribution	2							
<b>G2. Install Water-Efficient Fixtures</b>									
Yes	G2 1 WaterSense Showerheads \$1.75 gpm with Matching Compensating Valve	2					2		
Yes	G2 2 WaterSense Bathroom Faucets 1.0 gpm	1					1		
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>									
<b>H5. Advanced Practices for Cooling</b>									
Yes	H5 1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms	1		1					
Yes	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality								
Yes	H6 1 Meet ASHRAE 62.2-2019 Ventilation Residential Standards	Y	R	R	R	R	R	R	
<b>H7. Effective Range Hood Design and Installation</b>									
Yes	H7 1 Effective Range Hood Ducting and Design	1							
Yes	H7 2 Automatic Range Hood Control	1							
Yes	H8. High Efficiency HVAC Filter (MERV 16+)	1							
Yes	H9. Advanced Refrigerants	1							
Yes	H10. No Fireplace	1			1				
Yes	H12. Register Design Per ACCA Manual T								
<b>J. BUILDING PERFORMANCE AND TESTING</b>									
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1		1					
<b>K. FINISHES</b>									
<b>K1. Emissions Designed to Reduce Tracked-In Contaminants</b>									
Yes	K1 1 Individual Entryways	1				1			
Yes	K3. Low-VOC Caulks and Adhesives	1							
<b>K5. Formaldehyde Emissions in Interior Finish Exceed CARB</b>									
Yes	K5 1 Doors	1				1			
Yes	K5 2 Cabinets and Countertops	2				2			
Yes	K5 3 Interior Trim and Shaving	2				2			
Yes	K6. Products That Comply With the Health Product Declaration Open Standard	2				2			





EXISTING FLOOR PLAN - TP BE REMOVED  
SCALE: 1/4" = 1'-0"

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michelle miner

design

18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032  
408.505.0338    tokman.eyal@gmail.com

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EXISTING FLOOR PLAN	





GARAGE



REAR



LEFT



116 VALLECITOS (PROJECT PROPERTY)



RIGHT



112 VALLECITOS



115 VALLECITOS



EXISTING SITE PHOTOS

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design

18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032  
408.505.0338    tokman.eyal@gmail.com

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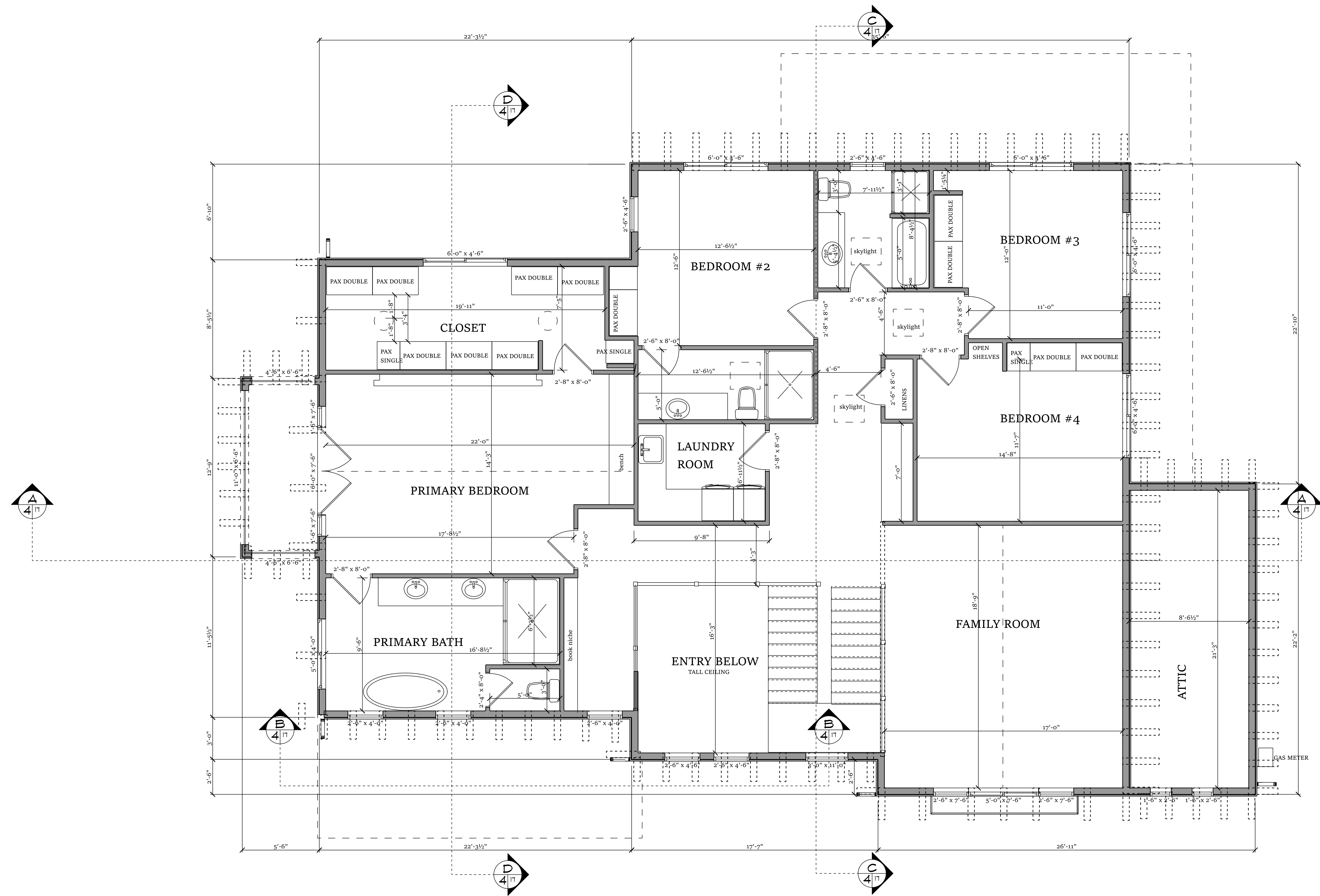
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NEW LOWER FLOOR PLAN







NEW UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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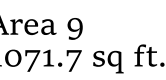
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408.396.0984 Shelniner@aol.com

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116 Vallecitos Way, Los Gatos, CA 95032  
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NEW UPPER FLOOR PLAN	

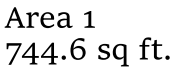




LOWER LIVING 1497 S.F.

UPPER LIVING 2066 S.F.

GARAGE 650 S.F.

ADU 1037 S.F.

Area 2  
211.8 sq ft.

Area 3  
126.0 sq ft.

# AREA CALCS

SCALE: 1/4" = 1'-0"

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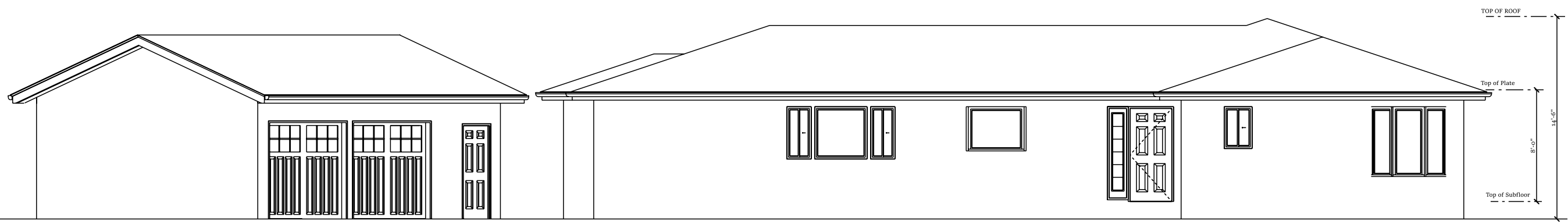
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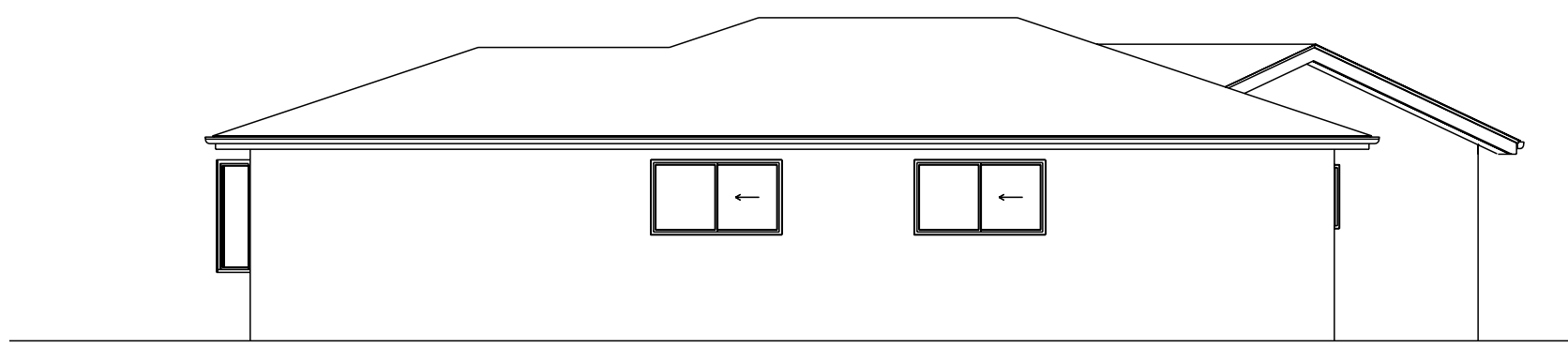
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AREA CALCS

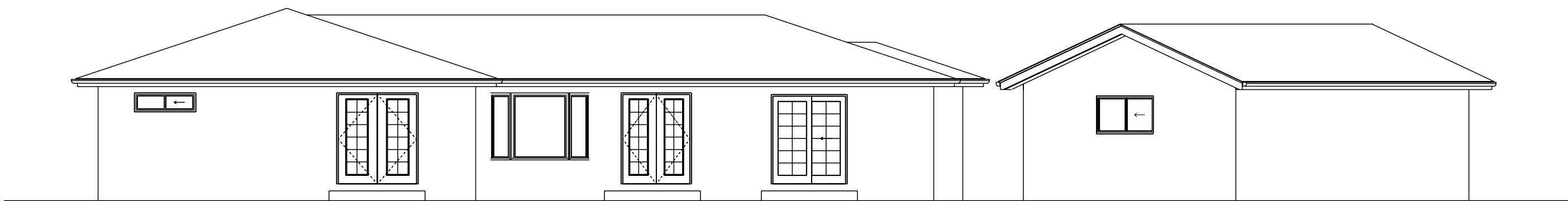
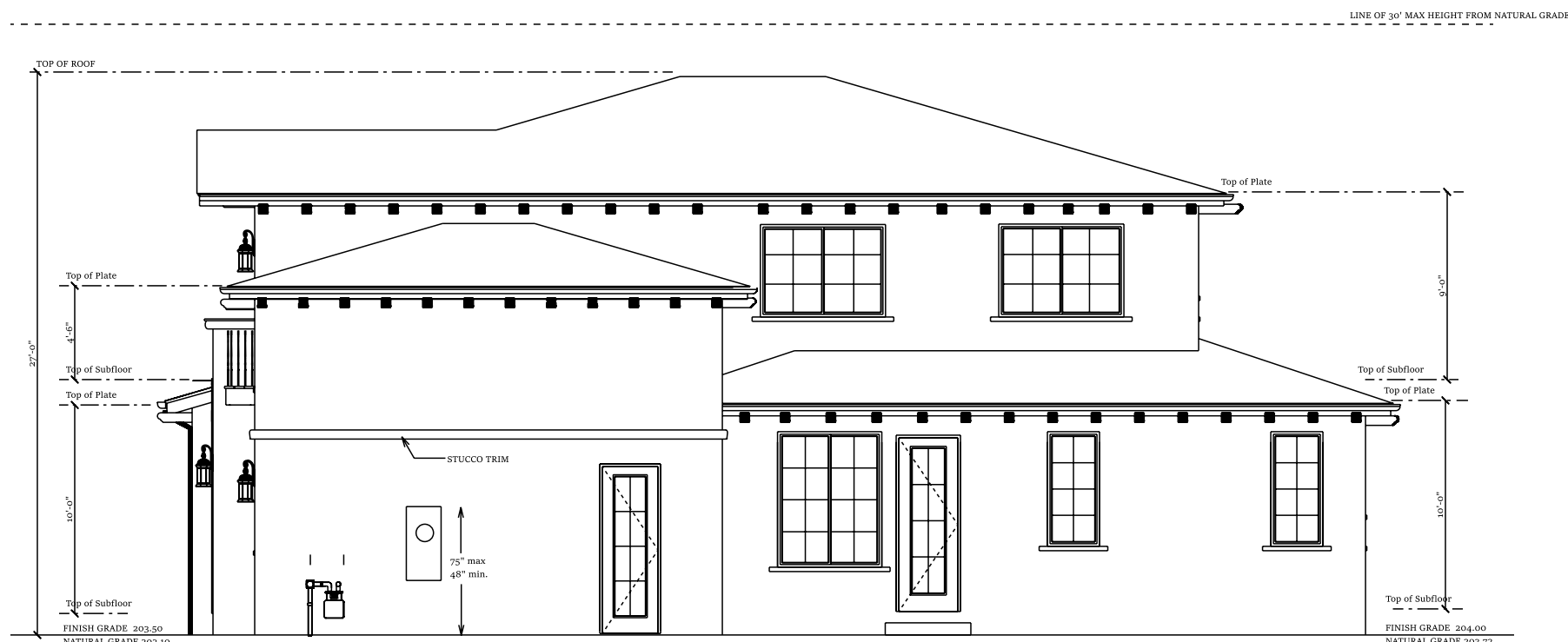




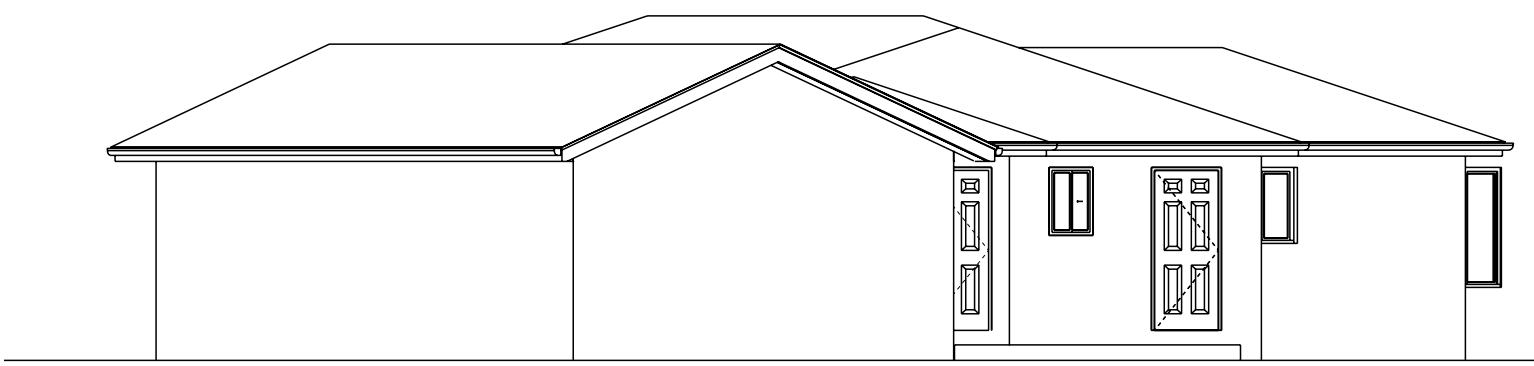
EXISTING 1/8" FRONT - NORTH ELEVATION



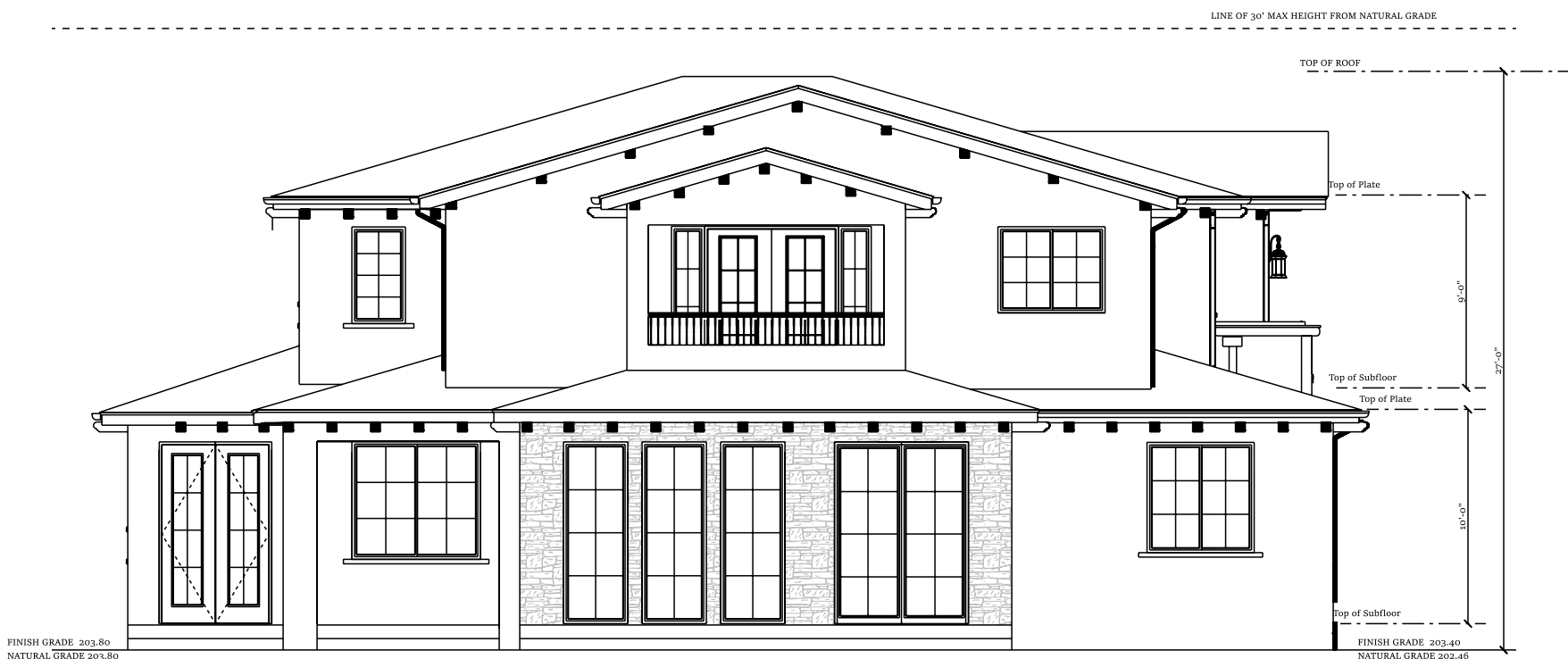
EXISTING 1/8" RIGHT- WEST SIDE ELEVATION



EXISTING 1/8" REAR - SOUTH ELEVATION



EXISTING 1/8" LEFT- EAST SIDE ELEVATION



EXISTING AND PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"

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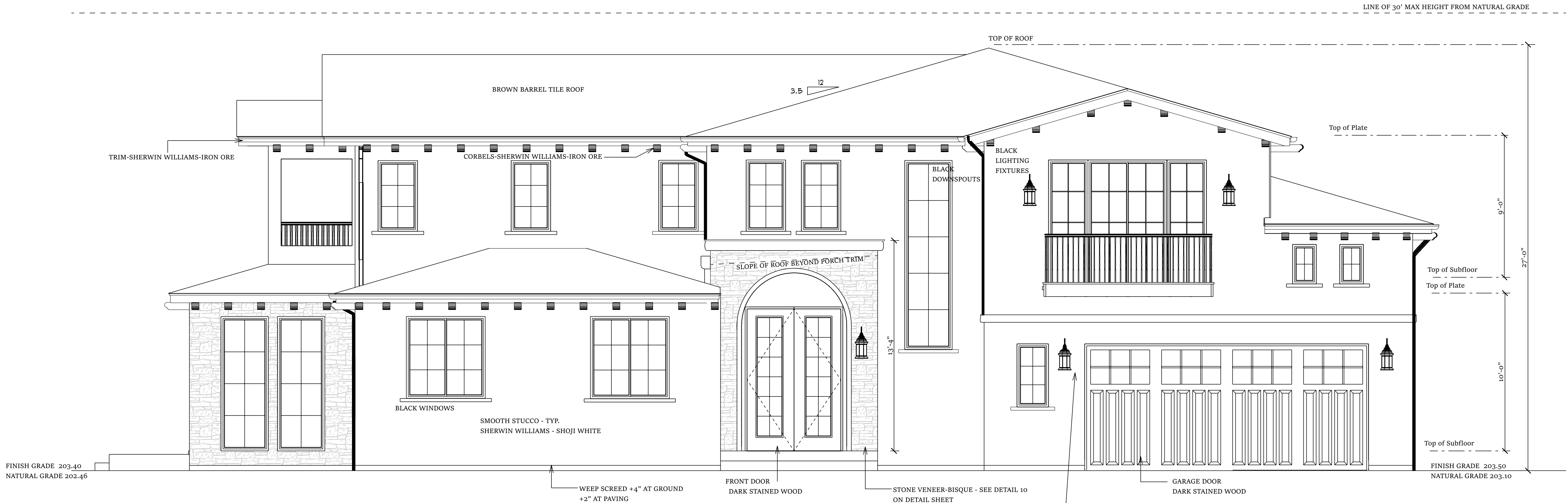
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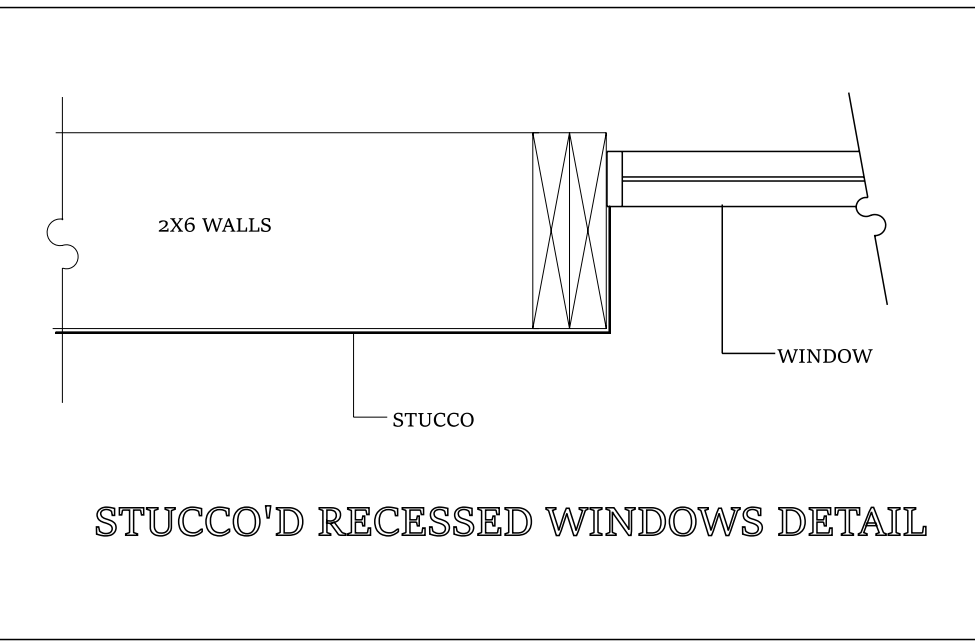
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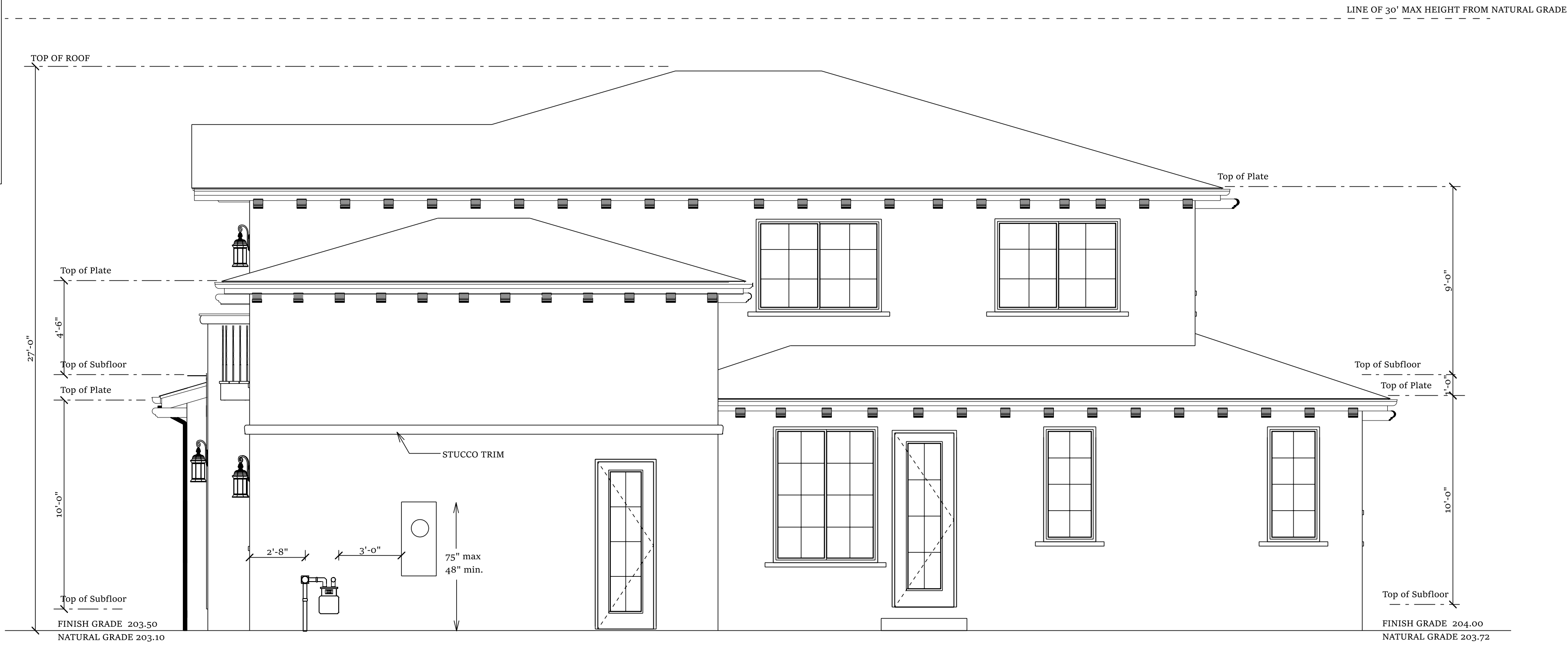
ALL WINDOWS TO BE RECESSED AD DEEP AS POSSIBLE IN THE 2X6 WALL



OUTDOOR LIGHTING: EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM, AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCR OACH ONTO ADJACENT PROPERTIES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY

"PROVIDE FULLY SHIELDED, FULL CUT-OFF EXTERIOR FIXTURES DIRECTING LIGHT ≥30° BELOW HORIZONTAL; NO UPLIGHT. MAX 3000K CCT. EXAMPLE: MAXIM 'SANTA BARBARA DARK SKY' (E26 WITH 9-12W LED), PROGRESS 'WISH' (INTEGRATED LED WITH ~10-15W DRAW), OR EQUAL.

1/4" FRONT - NORTH ELEVATION



1/4" RIGHT- WEST SIDE ELEVATION

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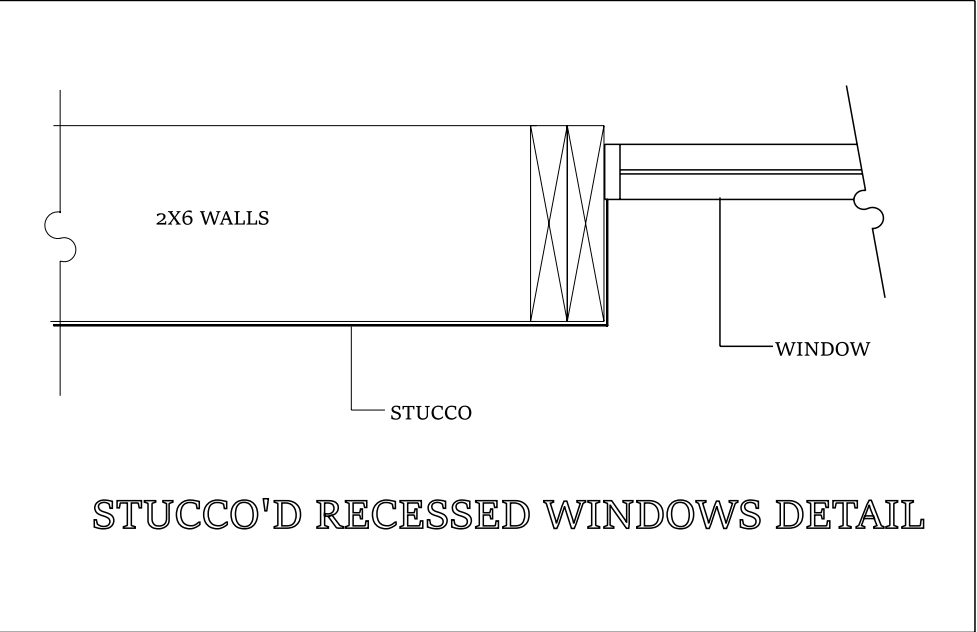
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EXTERIOR ELEVATIONS

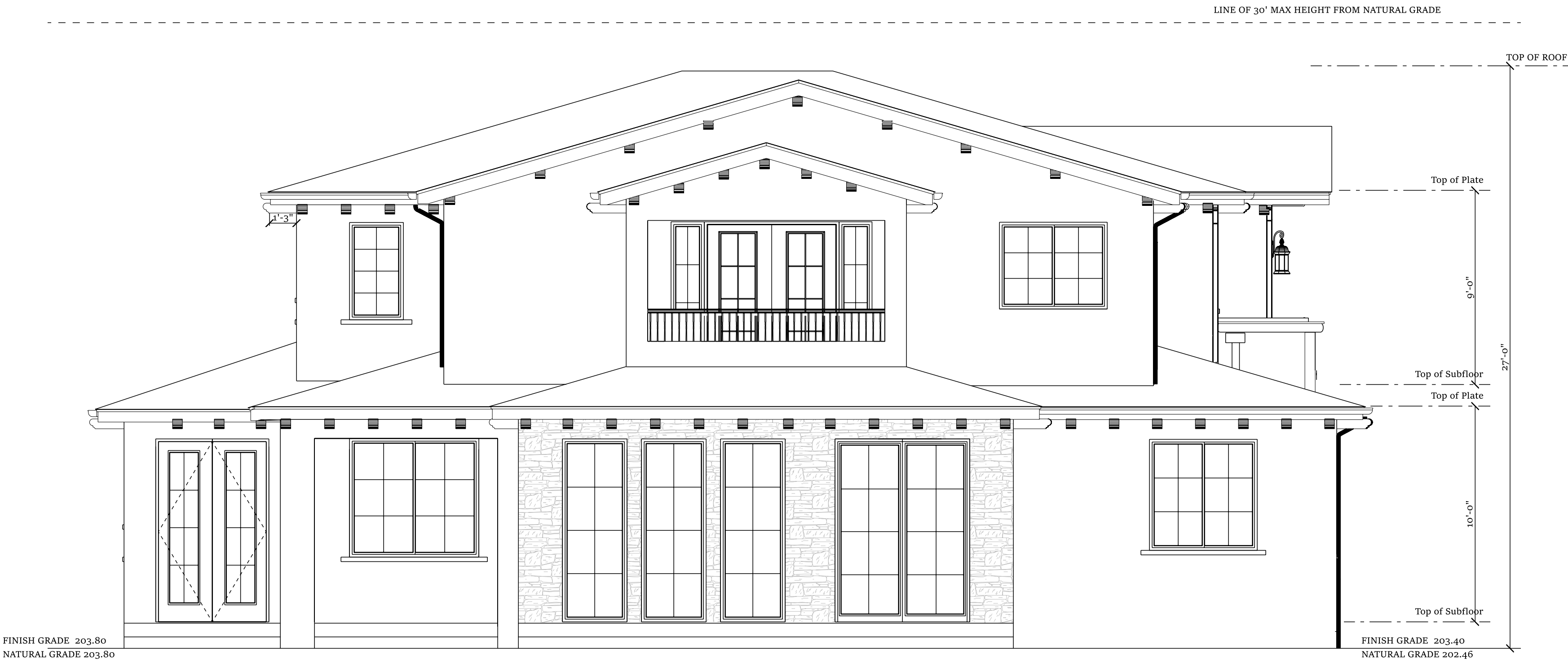




ALL WINDOWS TO BE RECESSED AD DEEP AS  
POSSIBLE IN THE 2X6 WALL



1/4" REAR - SOUTH ELEVATION



1/4" LEFT- EAST SIDE ELEVATION

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18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com



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116 Vallecitos Way, Los Gatos, CA 95032

408.505.0338    tokman.eyal@gmail.com

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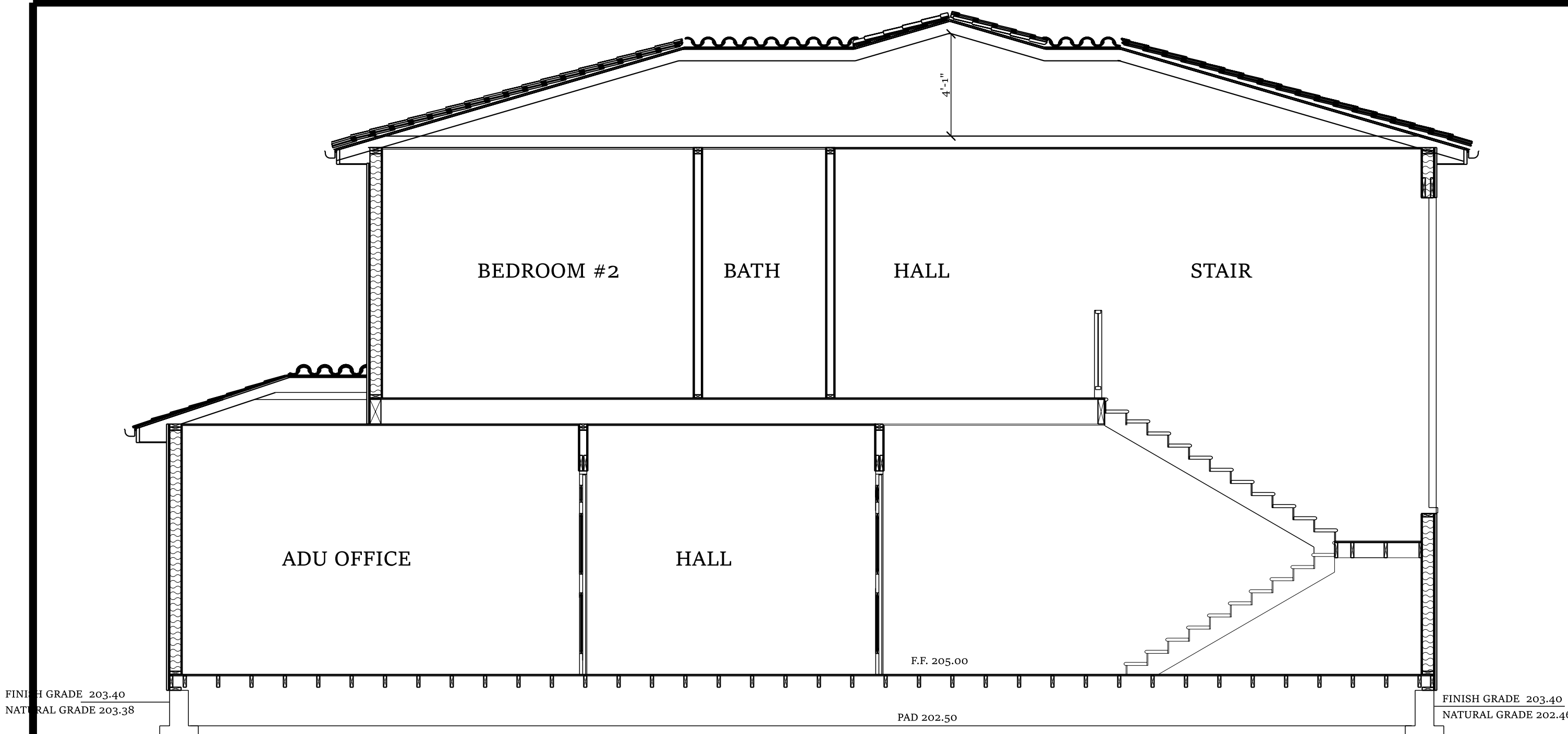
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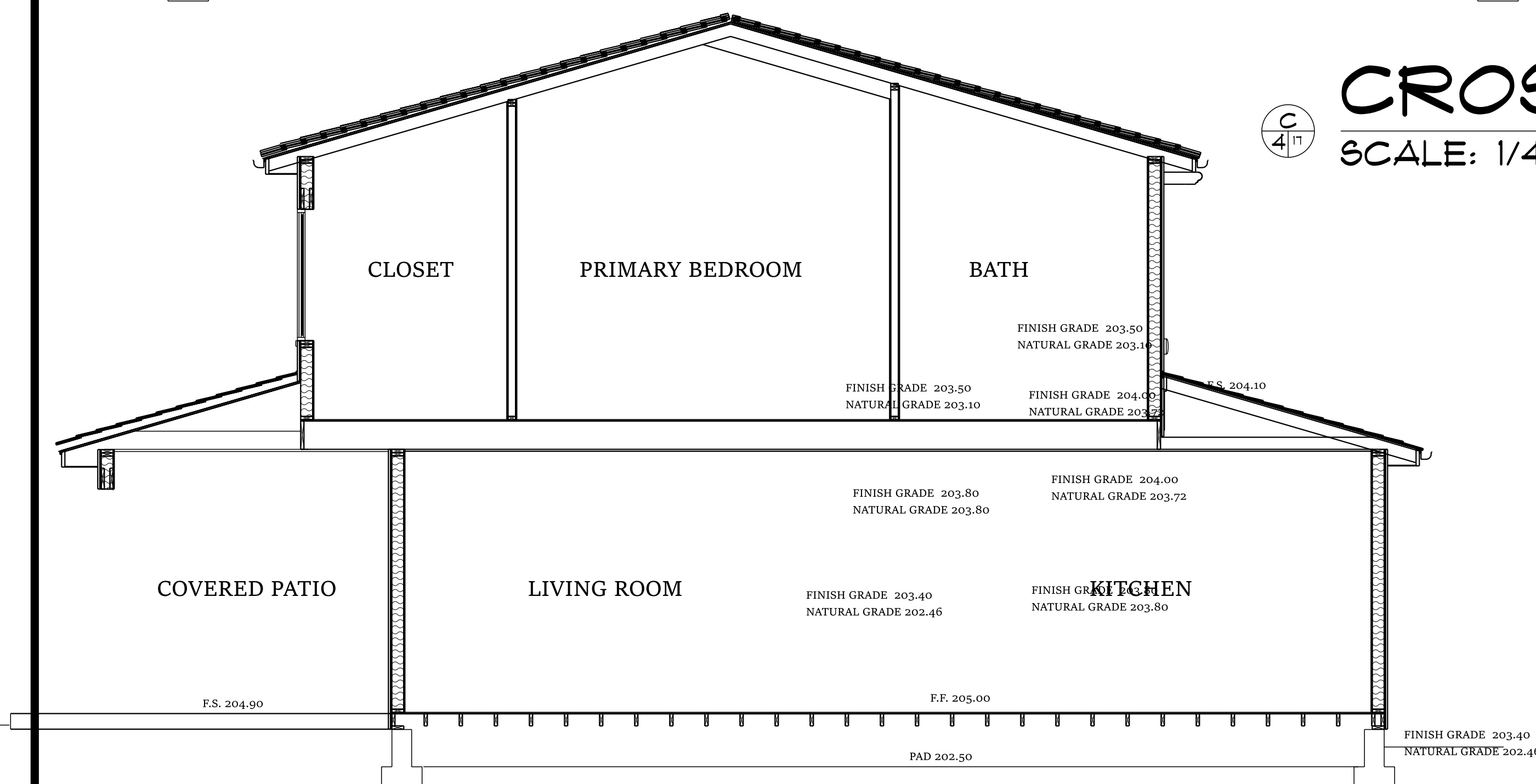
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EXTERIOR ELEVATIONS 2

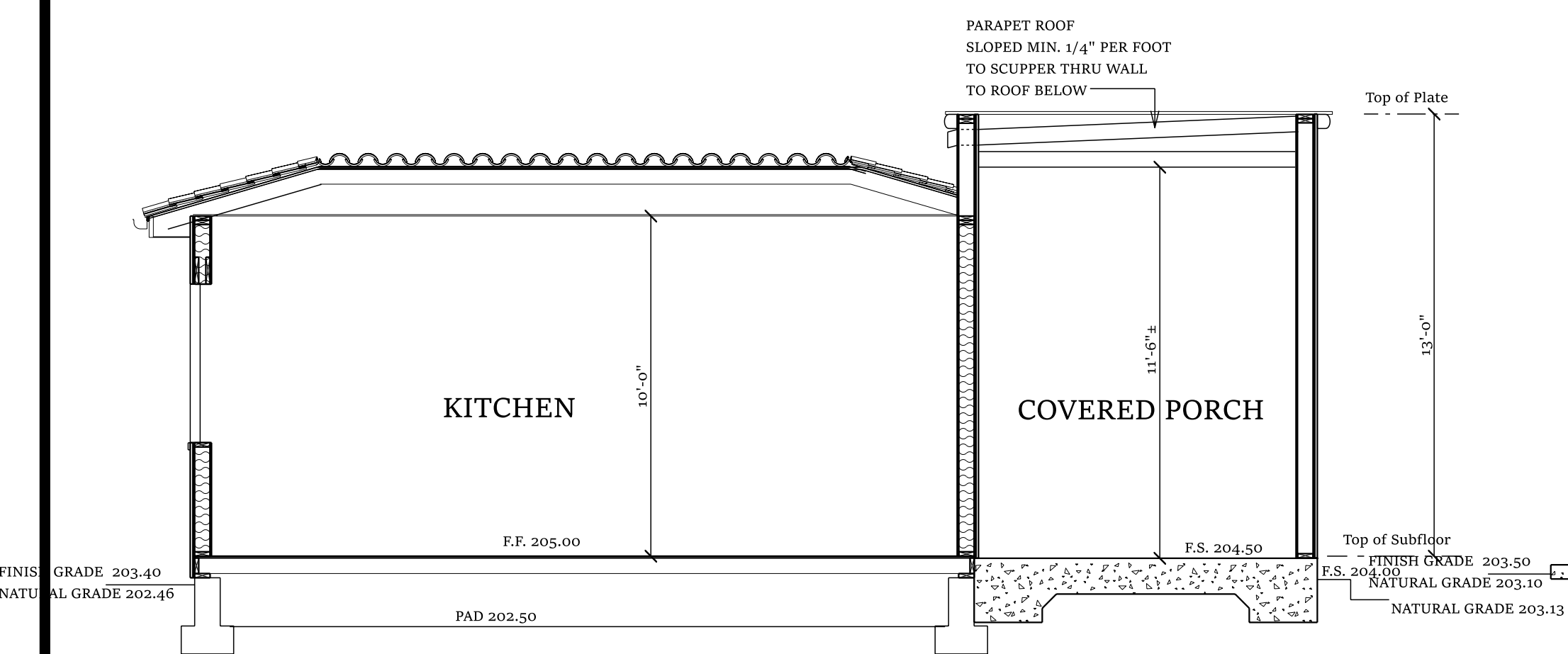




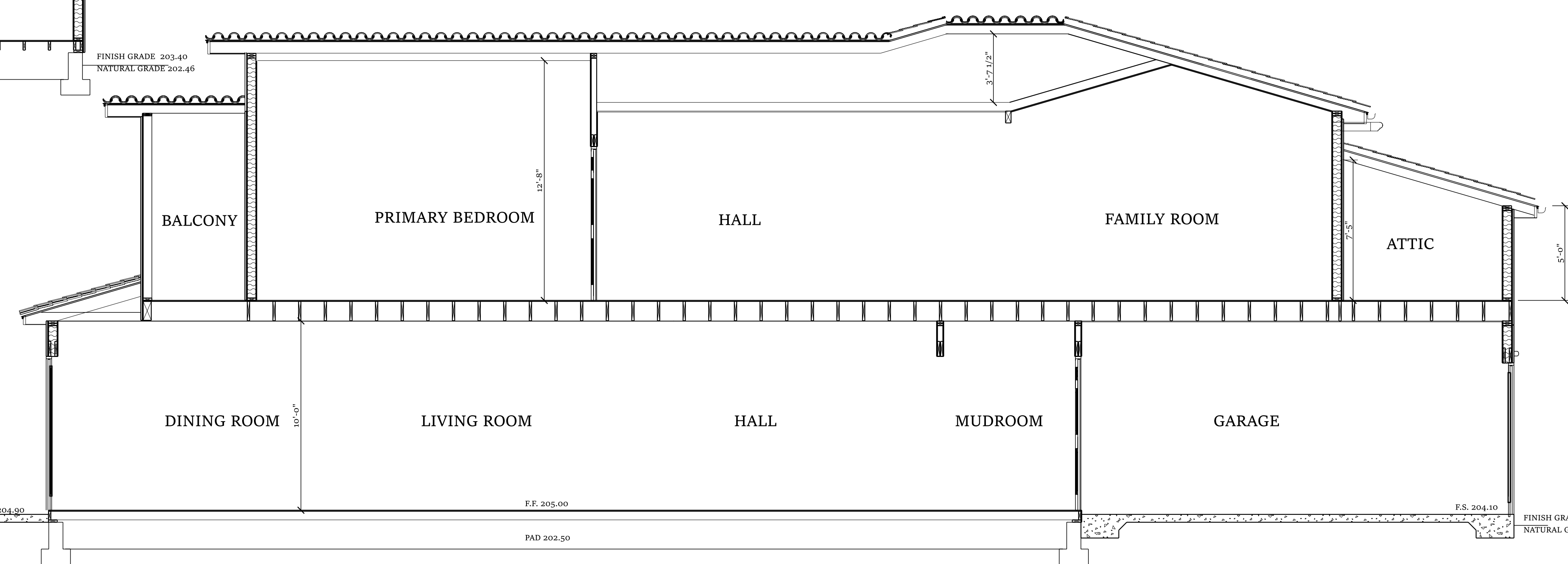
**CROSS SECTION C**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION D**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION B**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION A**  
SCALE: 1/4" = 1'-0"

**ROOF PLAN NOTES**

**ROOFING:**  
CLASS "A" CONCRETE OR CLAY BARREL TILE ROOFING, COLOR SELECTED BY OWNER. INSTALL OVER TWO LAYERS OF 30# ASTM D226 TYPE II FELT (OR APPROVED SYNTHETIC UNDERLAYMENT) OVER SOLID SHEATHING. INSTALLATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND CRC R905.3. ROOFING FASTENERS SHALL BE CORROSION-RESISTANT IN ACCORDANCE WITH CRC R905.2.5.

**BUILT-UP ROOF, CLASS "A"**  
28 LB BASE PLY, ATTACHED MECHANICALLY 9" OC EDGES, AND 18" OC FIELD. INNER PLYS, 11 LB. FELT W/ MIN. 25 LB. MOPPING. 78 LB. MINERAL SURFACE CAP SHEET. MIN. SLOPE AT BUILT-UP ROOF: 1/2" PER FOOT. (WATER TO DRAIN ONTO SLOPED ROOF.)

**FLASHING & COUNTERFLASHING:**  
26 GAUGE STEEL, U.O.N., AS REQUIRED AT JUNCTURE OF ROOF AND VERTICAL SURFACES. SEE SHEET METAL NOTES ON NOTES SHEET

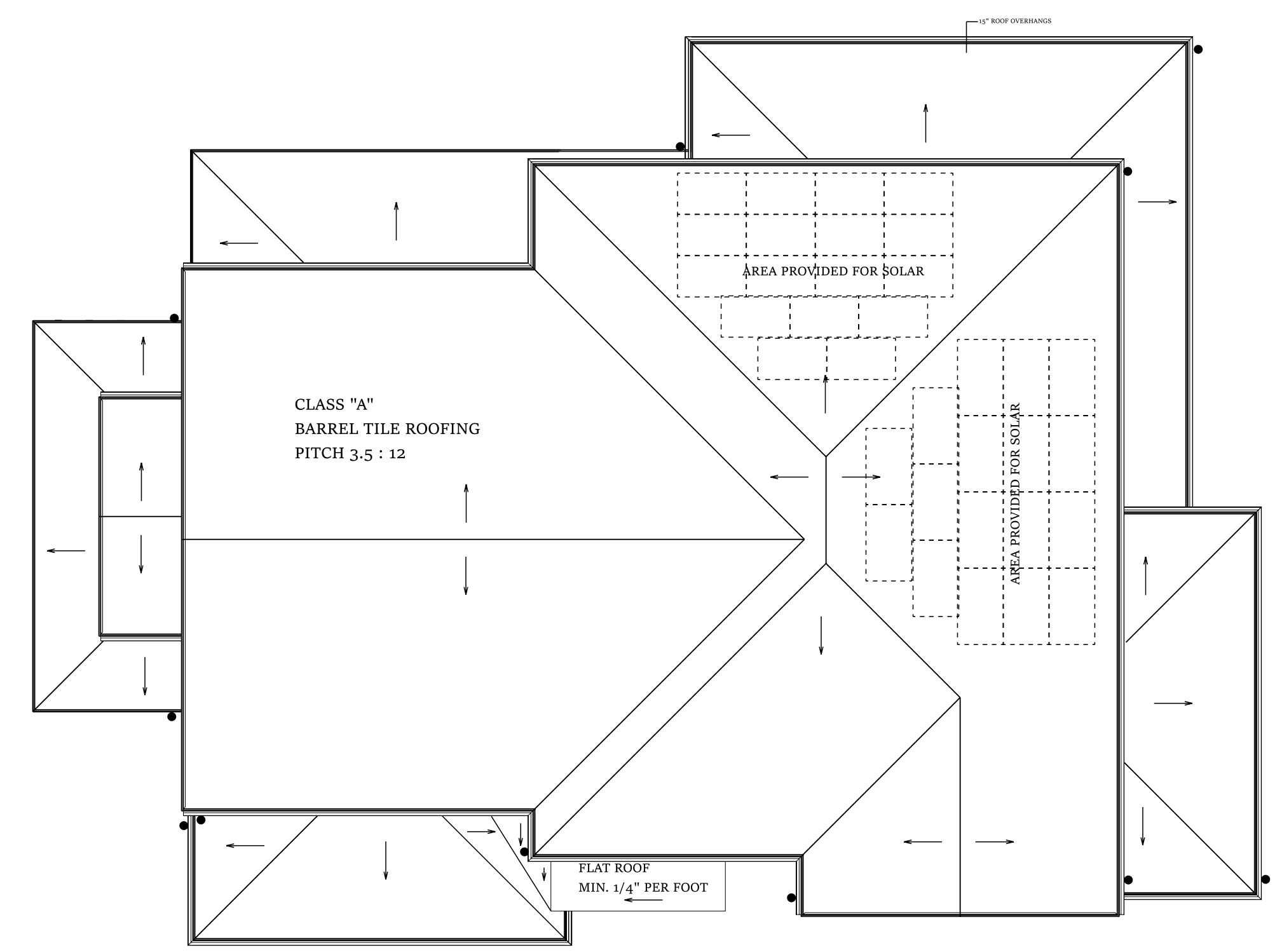
**VALLEY FLASHING:**  
26 GAUGE GALV. STEEL OVER 15 LB. FELT. CRICKETS SIMILAR.

**GUTTERS & DOWNSPOUTS:**  
5" GALV. STEEL GUTTER OR MATCH EXISTING STYLE IF REMODEL. 2 1/4" DIA ROUND GALV. STEEL DOWN SPOUTS. PROVIDE BASKET STRAINER AND SPLASH-BLOCK AT EACH DOWNSPOUT AT GROUND LEVEL..

**SKYLIGHTS:**  
USE VELUX RESIDENTIAL, WDMA (WINDOW AND DOOR MANUFACTURING ASSOCIATION) HALLMARK CERTIFICATION #426-H-679 (FOR VENTED) AND #426-H-675 (FOR FIXED). SEE PLAN FOR SKYLIGHT SIZE. PER CRC R308.6.9 TESTING AND LABELING:UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LAB, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING, AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA 101/1.5.2/NAFS.

**PLUMBING VENTS:**  
PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10 FEET FROM, OR NOT LESS THAN 3 FEET ABOVE AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED. CPC 906.2

ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

REVISIONS		
REV	DATE	BY

DESIGNER'S SIGNATURE  
*Michelle Miner*

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**michelle miner**  
—design—  
18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984 Shelminer@aol.com

**Eyal & Anat Tokman**  
116 Valleritos Way, Los Gatos, CA 95032  
408.505.0338 tokman.eyal@gmail.com

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SECTIONS & ROOF PLAN





FRONT WITHOUT TREES



FRONT WITH TREES



REAR AND RIGHT



REAR AND LEFT

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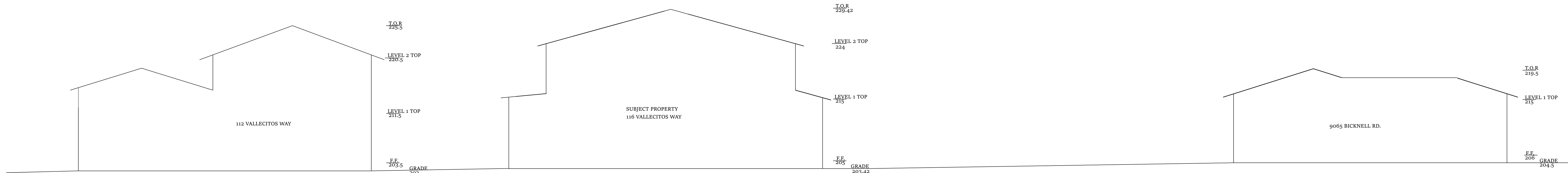
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408.396.0984  
Shelminer@aol.com

Eyal & Anat Tokman

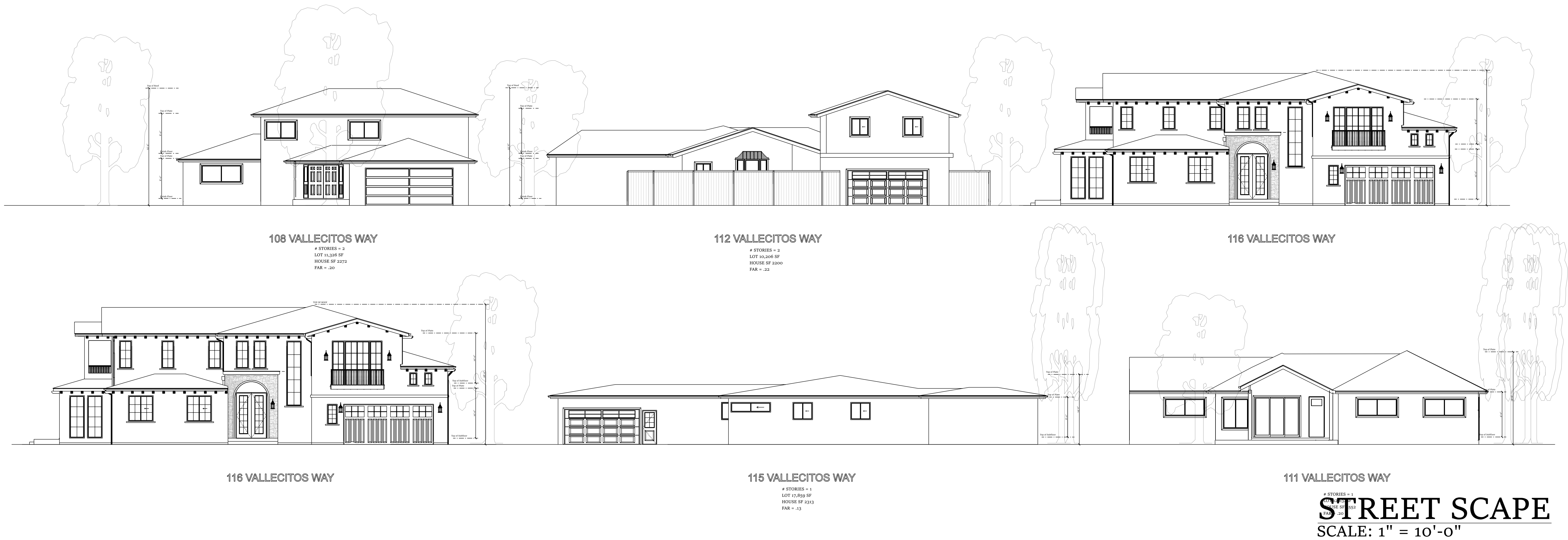
116 Vallecitos Way, Los Gatos, CA 95032  
408.505.0338  
tokman.eyal@gmail.com

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3D RENDERINGS	





NEIGHBORHOOD CROSS SECTION  
SCALE: 1/8" = 1'-0"



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design

18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984 Shelminer@aol.com

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032

408.505.0338 tokman.eyal@gmail.com

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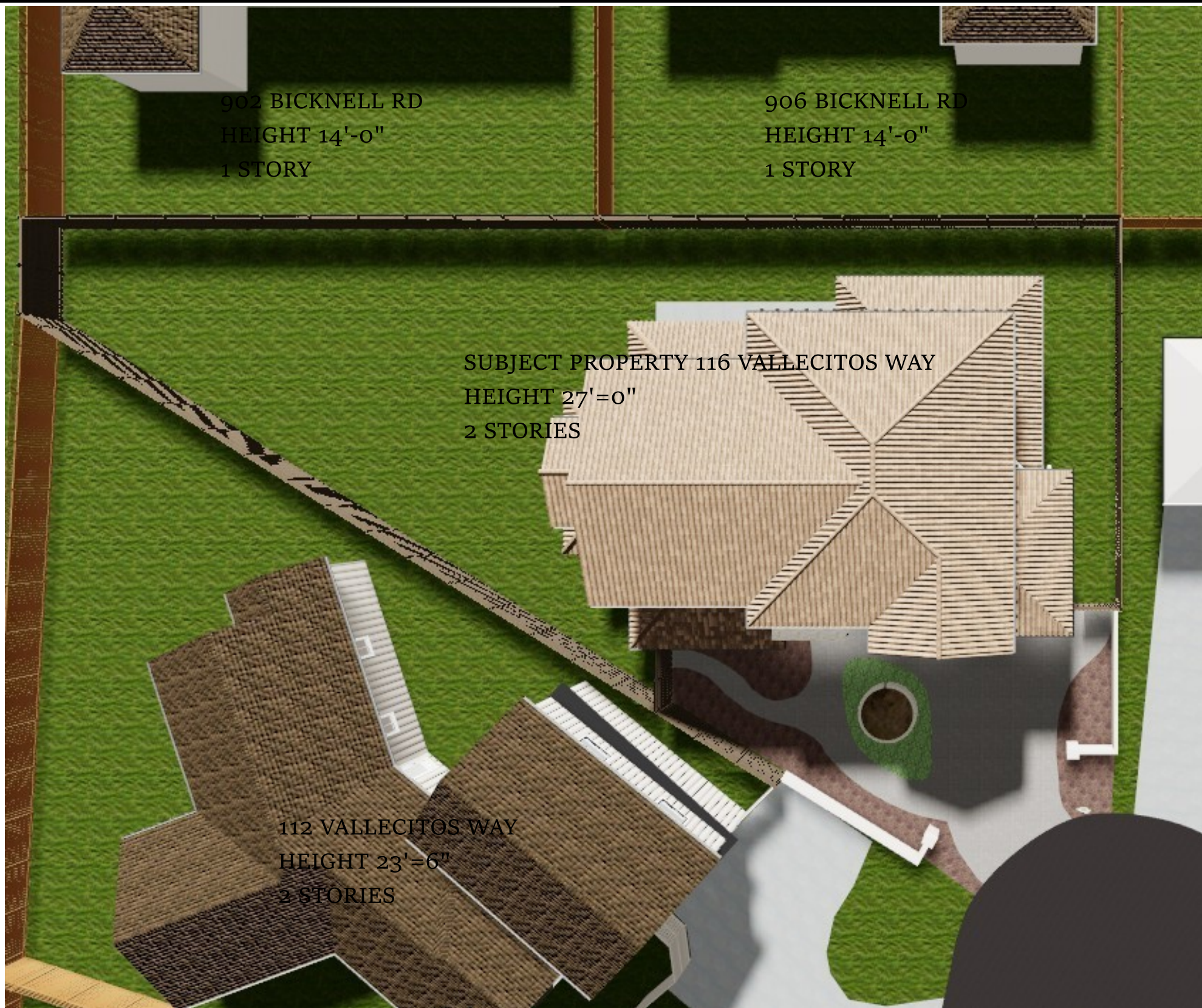




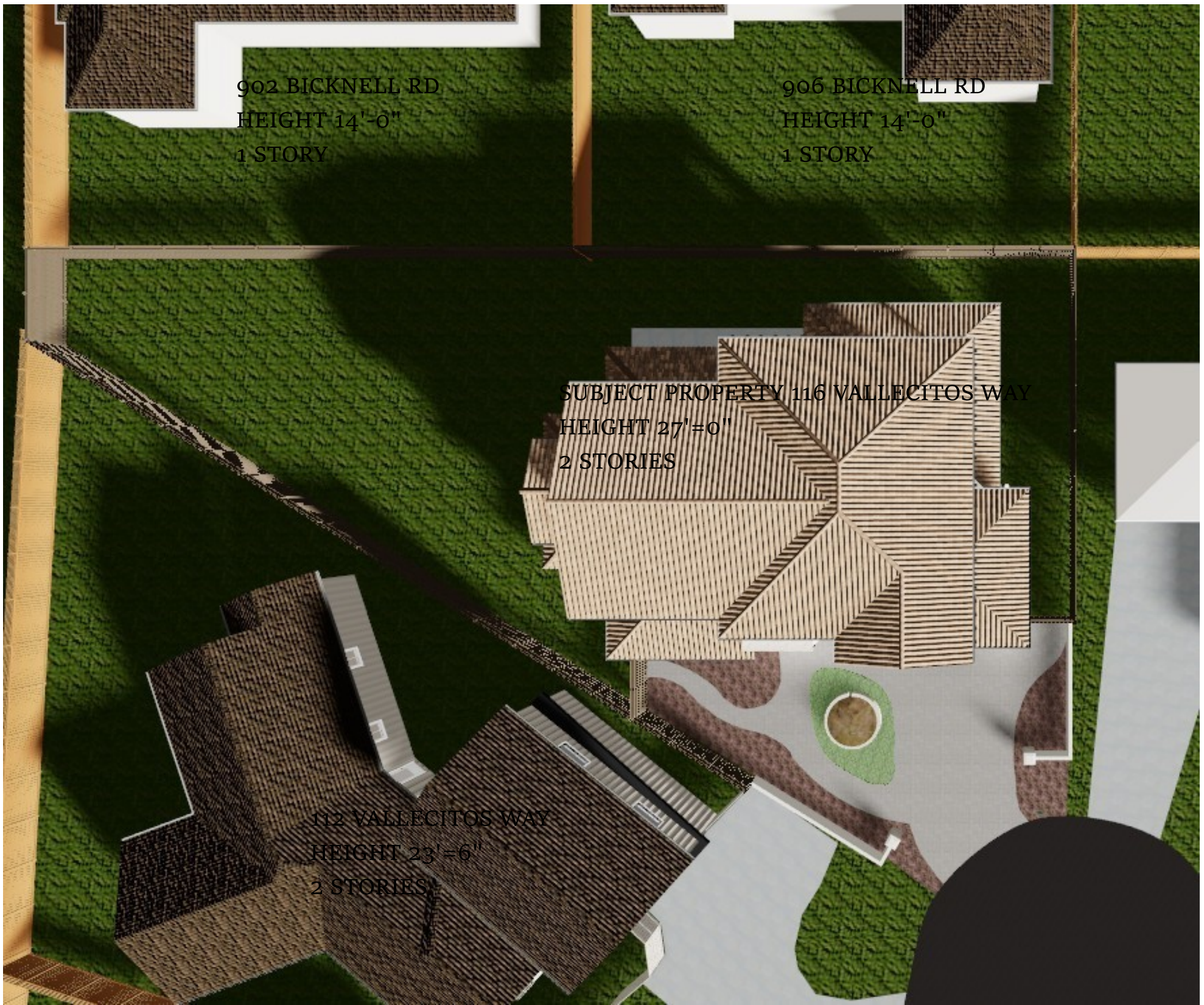
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JUNE 21 12:00 PM



JUNE 21 9:00 AM



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DEC. 21 12:00 PM



DEC. 21 9:00 AM



WORST CASE SENARIO

DEC. 21 9:00 AM

## SHADOW STUDY

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— design —

18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032  
408.505.0338    tokman.eyal@gmail.com

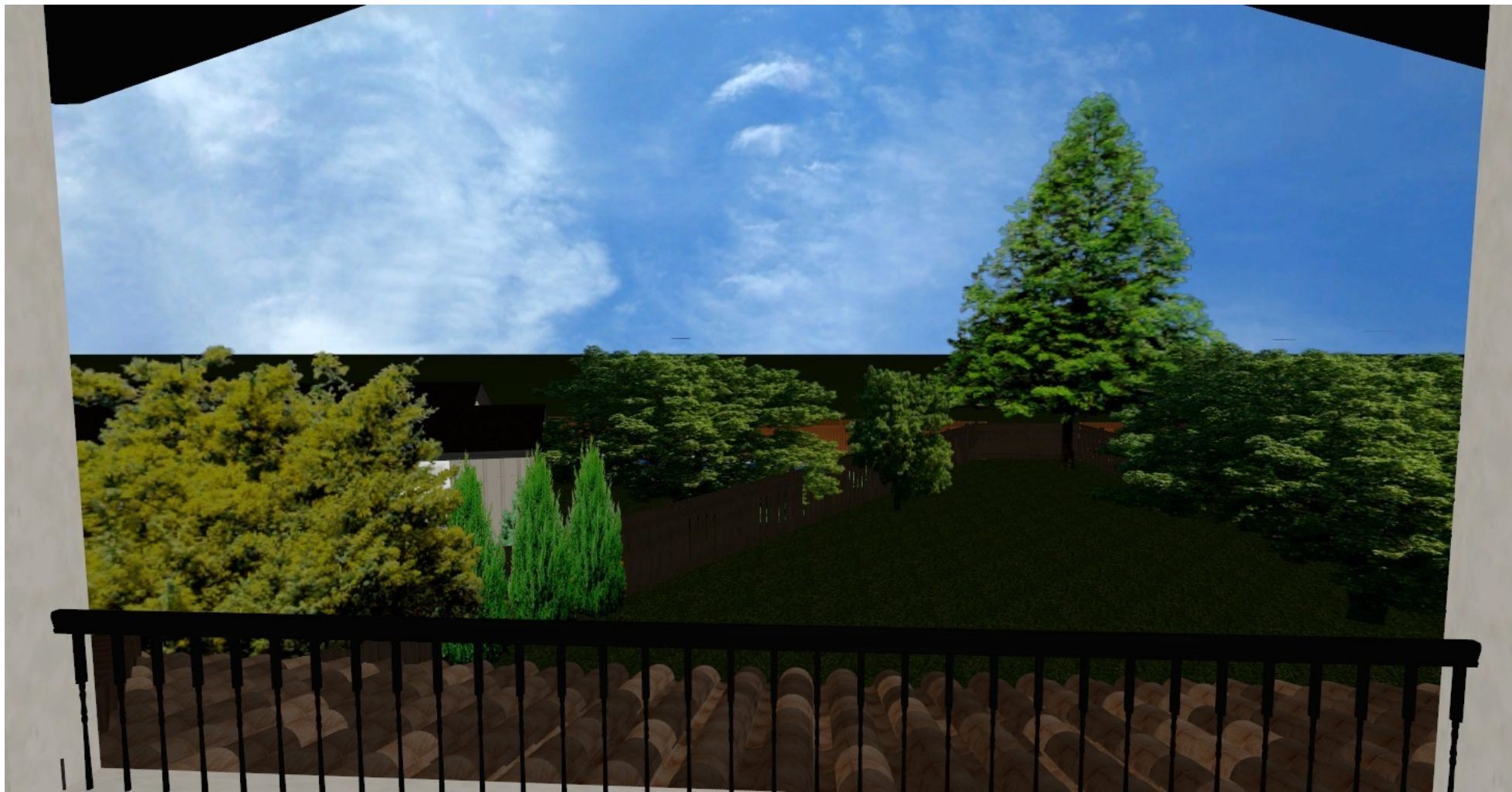
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SHADOW STUDY



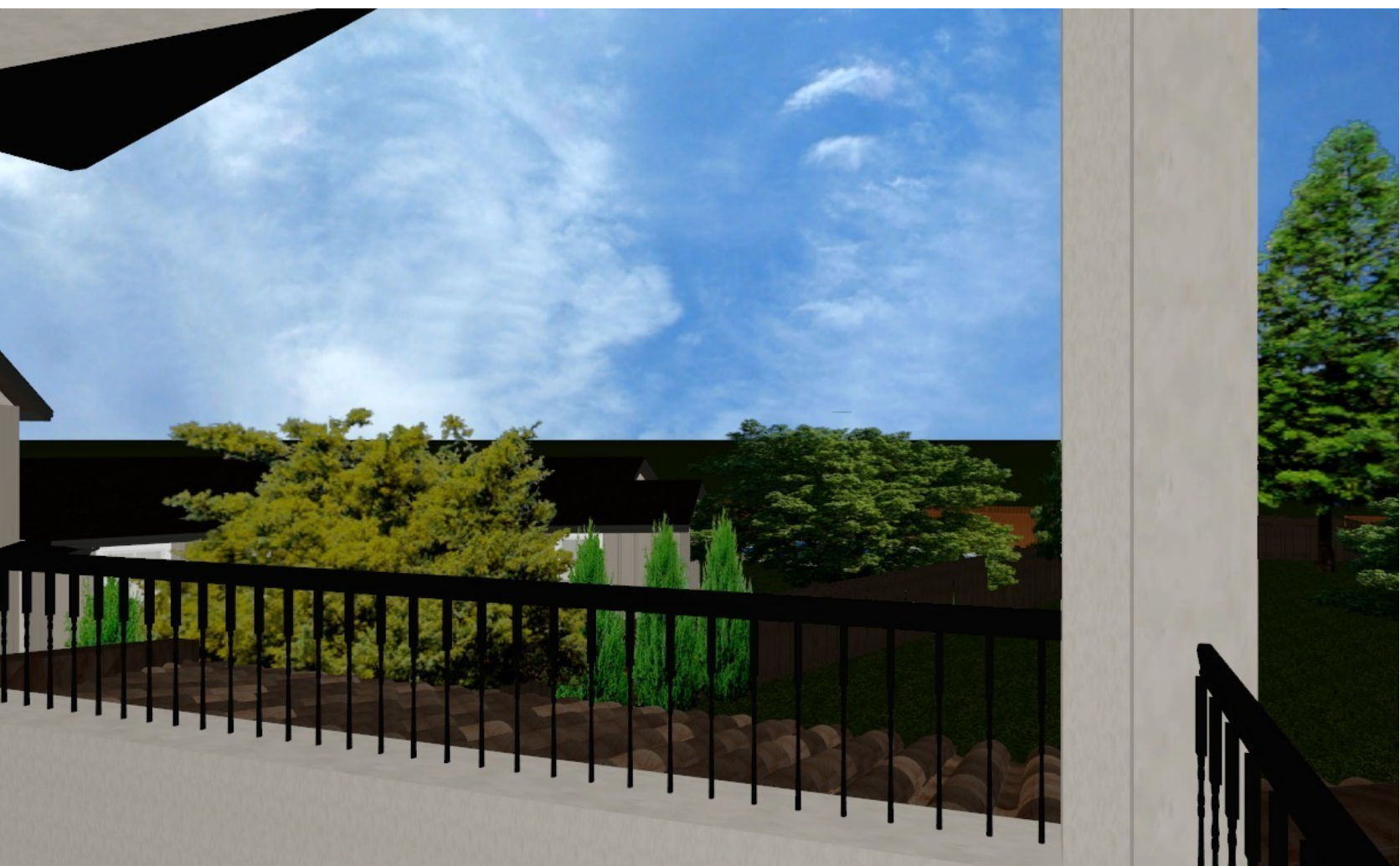
3D RENDERING OF OUR HOUSE AND NEIGHBORS HOUSE, POOL AND YARD



TAKEN FROM CLOSEST CORNER OF BALCONY TO NEIGHBORS YARD



TAKEN FROM MIDDLE OF BALCONY LOOKING AT NEIGHBORS YARD



TAKEN FROM FURTHEST CORNER OF BALCONY TO NEIGHBORS YARD



TAKEN FROM NEIGHBORS POOL LOOKING BACK AT OUR HOUSE



GOOGLE VIEW OF OURS AND NEIGHBORS YARD SHOWING LOCATION OF POOL AND MATURE LANDSCAPING



DRONE FOOTAGE TAKEN ABOVE EXISITING DETACHED GARAGE LOOKING INTO NEIGHBORS YARD  
POOL IS BEHIND THE MATURE LANDSCAPING



DRONE FOOTAGE TAKEN FROM VERY HIGH ABOVE THE EXISTING DETACHED GARAGE SHOWING WHERE POOL IS BEHING MATURE LANDSCAPING

PRIVACY STUDY


REVISIONS

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michelle miner  
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18488 Prospect Rd. #6 Saratoga, CA 95070  
408.396.0984    Shelminer@aol.com

Eyal & Anat Tokman

116 Vallecitos Way, Los Gatos, CA 95032

408.505.0338    tokman.eyal@gmail.com

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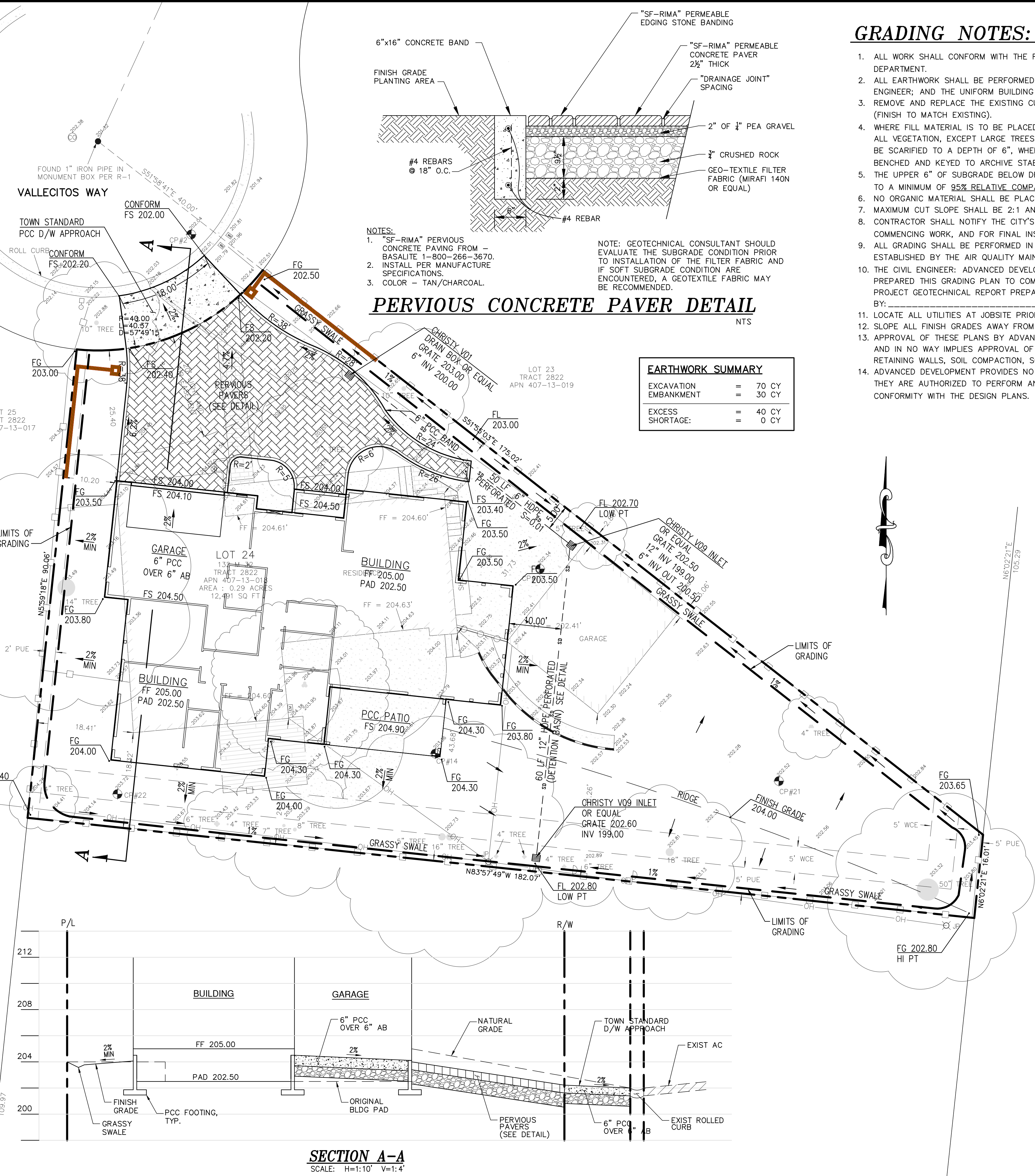
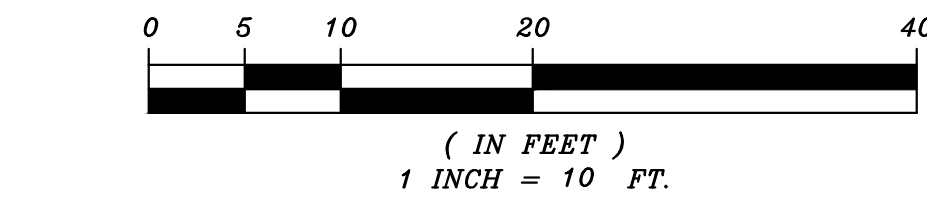
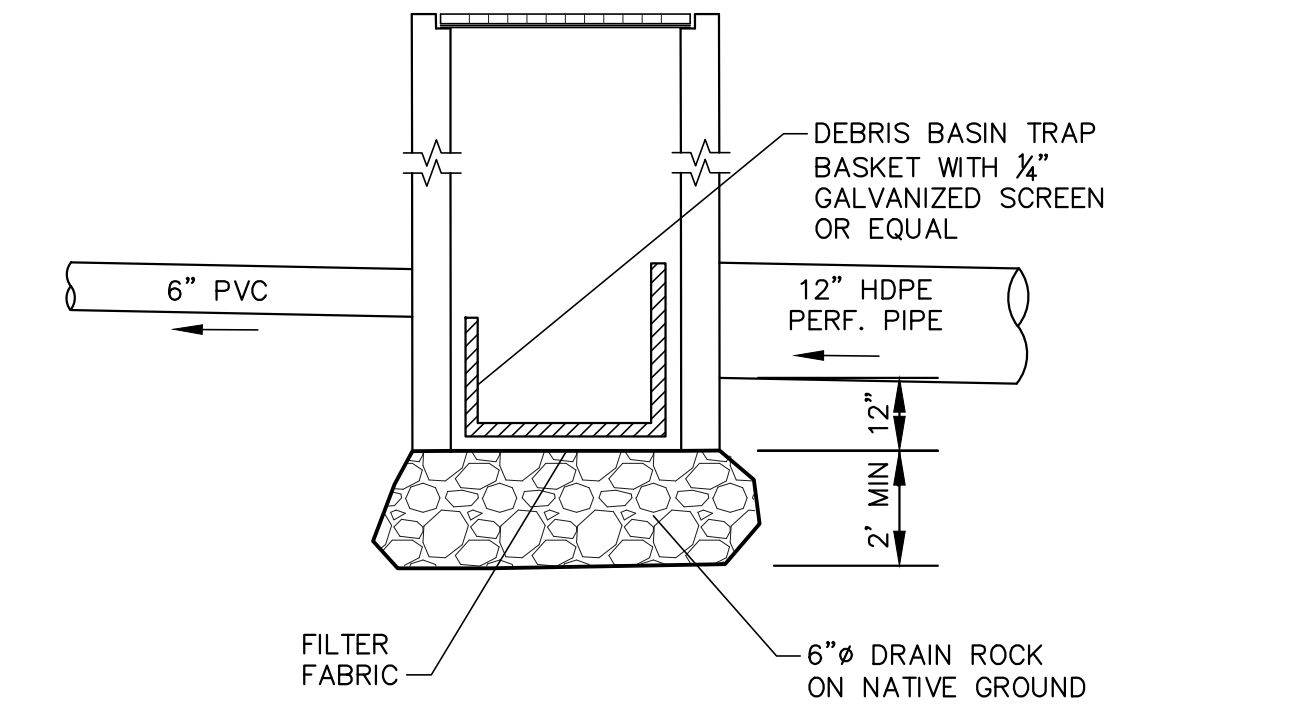
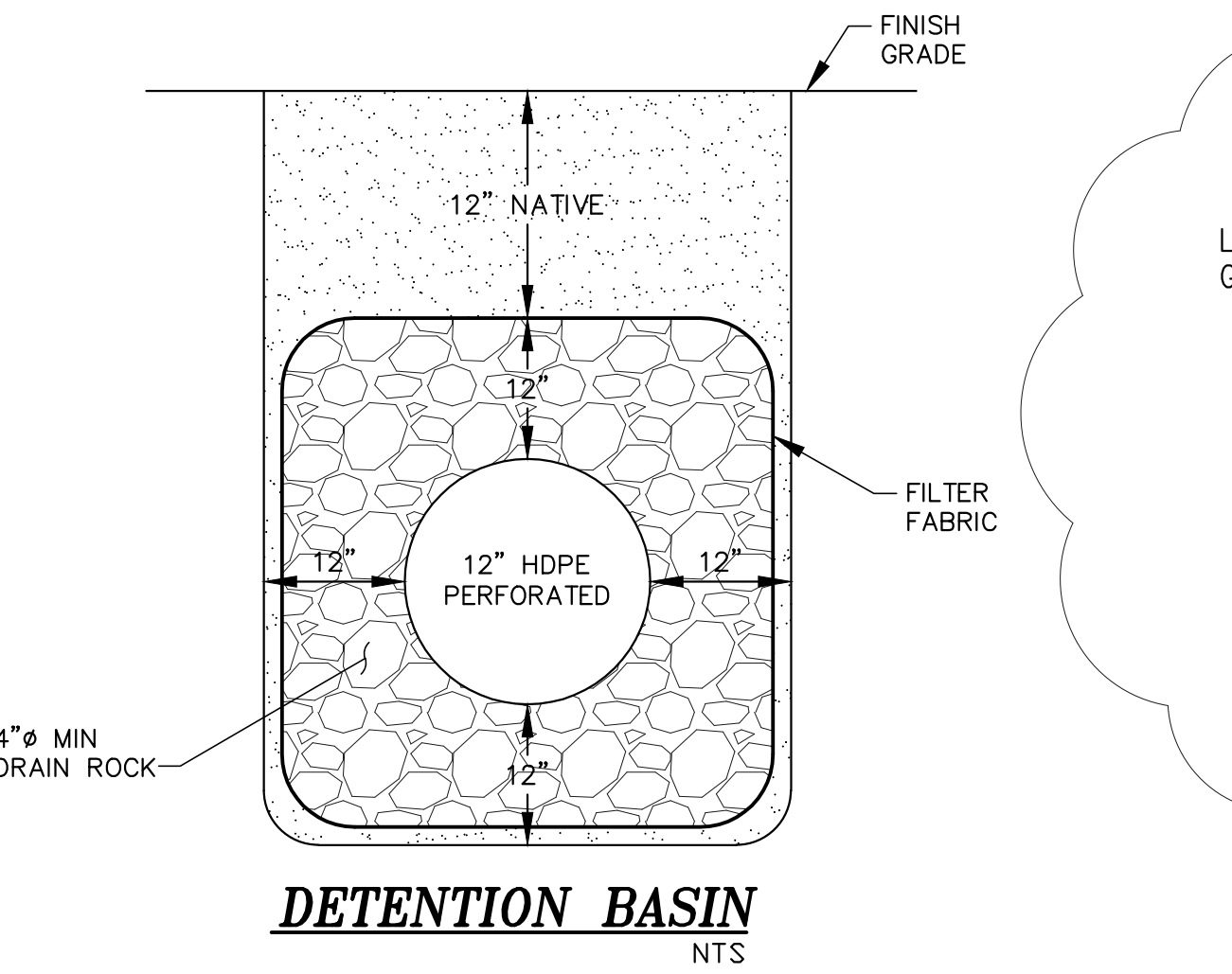
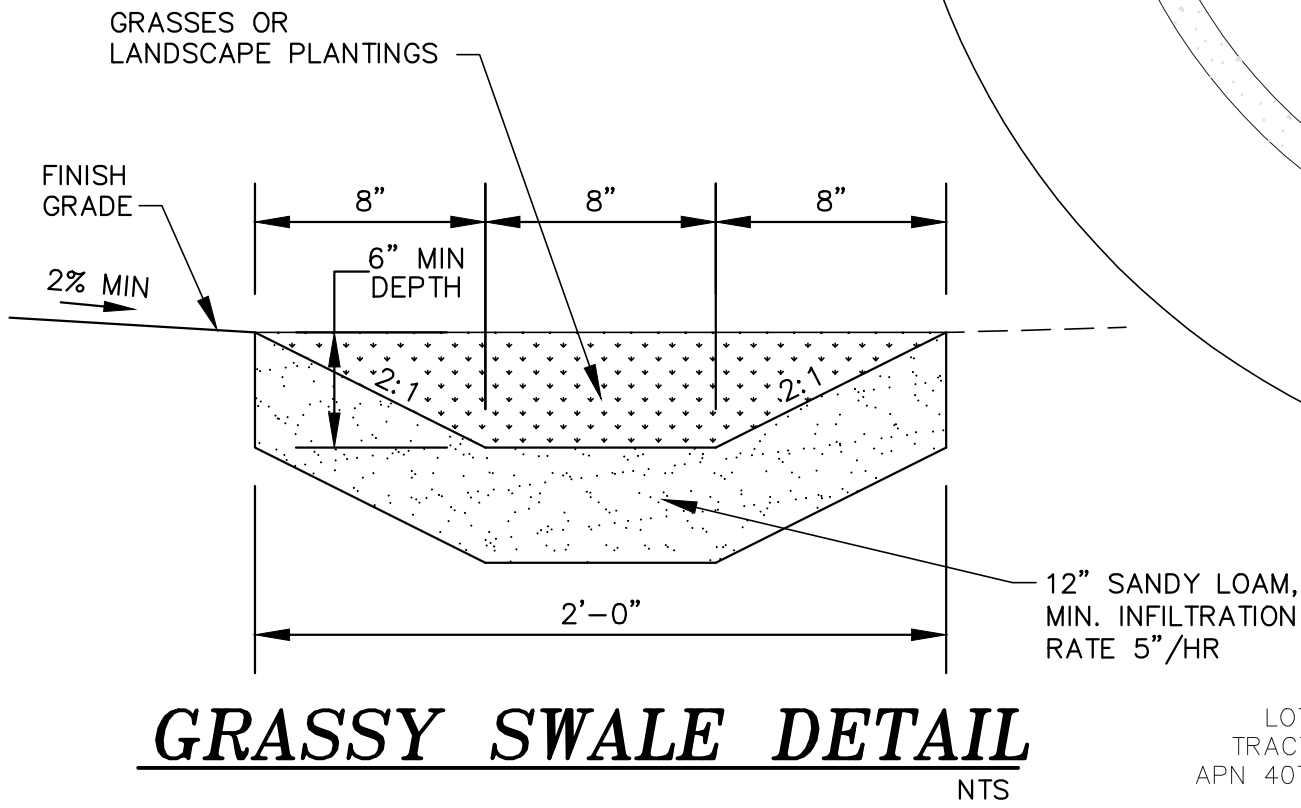
21/21

PRIVACY STUDY



INDEX SHEET

SHEET	TITLE
C1	GRADING AND DRAINAGE PLAN
C2	EROSION & SEDIMENT CONTROL PLAN
C3	EROSION & SEDIMENT CONTROL DETAILS



GRADING NOTES:

- ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY ENGINEER AND/OR BUILDING DEPARTMENT.
- ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SOIL ENGINEER; AND THE UNIFORM BUILDING CODE.
- REMOVE AND REPLACE THE EXISTING CURB AND SIDEWALK AS REQUIRED BY THE CITY ENGINEER. (FINISH TO MATCH EXISTING).
- WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, THE AREA SHALL BE STRIPPED OF ALL VEGETATION, EXCEPT LARGE TREES, PRIOR TO FILLING. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO A DEPTH OF 6", WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND KEYED TO ARCHIVE STABILITY.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY AND TURNAROUND AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL.
- MAXIMUM CUT SLOPE SHALL BE 2:1 AND MINIMUM FILL SLOPE SHALL BE 2:1.
- CONTRACTOR SHALL NOTIFY THE CITY'S BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO COMMENCING WORK, AND FOR FINAL INSPECTION OF THE WORK AND THE SITE.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT FOR AIRBORNE PARTICULARS (DUST).
- THE CIVIL ENGINEER: ADVANCED DEVELOPMENT, 2933 BENJAMIN COURT, SAN JOSE, CA 95124 HAS PREPARED THIS GRADING PLAN TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT PREPARED BY:
- LOCATE ALL UTILITIES AT JOBSITE PRIOR TO CONSTRUCTION.
- SLOPE ALL FINISH GRADES AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE.
- APPROVAL OF THESE PLANS BY ADVANCED DEVELOPMENT IS FOR GRADING AND DRAINAGE ONLY AND IN NO WAY IMPLIES APPROVAL OF THE STRUCTURAL DESIGN OF THE HOUSE, FOUNDATION, RETAINING WALLS, SOIL COMPACTION, SOIL STABILITY OR OTHER COMPONENTS.
- ADVANCED DEVELOPMENT PROVIDES NO WARRANTY FOR THE DRAINAGE OF THIS PROJECT UNLESS THEY ARE AUTHORIZED TO PERFORM AN "AS BUILT" SURVEY BEFORE OCCUPANCY TO DETERMINE CONFORMITY WITH THE DESIGN PLANS.

PERVIOUS CONCRETE PAVER DETAIL

NTS

- NOTES:
- "SF-RIMA" PERVIOUS CONCRETE PAVING FROM - BASALTITE 1-800-266-3670.
  - INSTALL PER MANUFACTURE SPECIFICATIONS.
  - COLOR - TAN/CHARCOAL.

NOTE: GEOTECHNICAL CONSULTANT SHOULD EVALUATE THE SUBGRADE CONDITION PRIOR TO INSTALLATION OF THE FILTER FABRIC AND IF SOFT SUBGRADE CONDITION ARE ENCOUNTERED, A GEOTEXTILE FABRIC MAY BE RECOMMENDED.

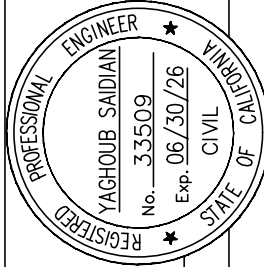
EARTHWORK SUMMARY

EXCAVATION	=	70 CY
EMBANKMENT	=	30 CY
EXCESS	=	40 CY
SHORTAGE:	=	0 CY

ABBREVIATIONS

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE (HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D.I.	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE (HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INVERT	INVERT
J.P.	JOINT POLE
L.F.	LINEAR FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S	SLOPE
S.D.	STORM DRAIN
S.D.M.N	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
TFOC	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W	WATER
W.M.	WATER METER
W.V.	WATER VALVE

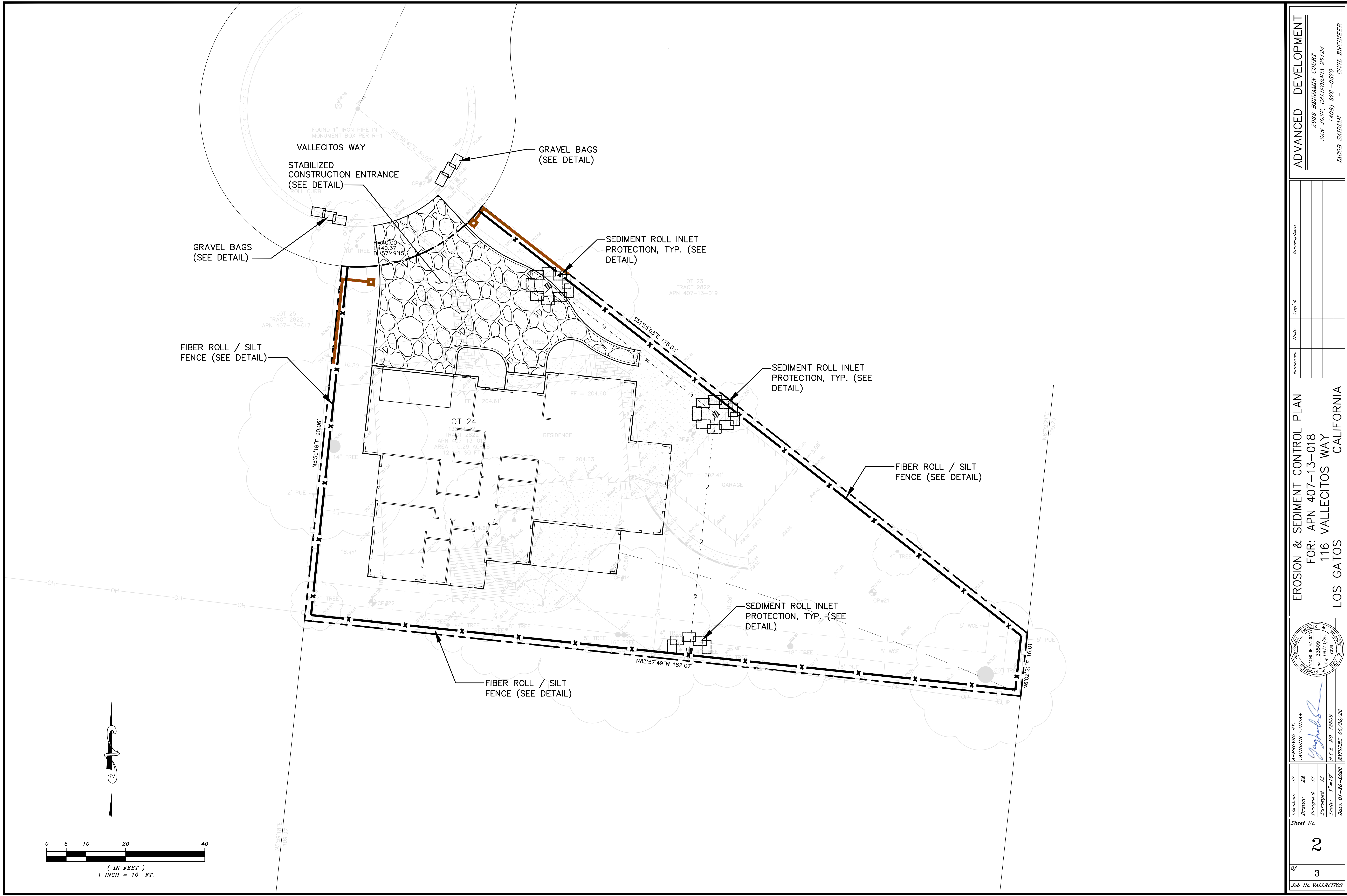
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JACOB SAIDIAN  
[Signature]  
R.C.E. No. 33509  
Date: 01-18-2026

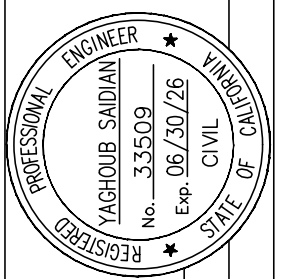
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Job No. VALLECITOS					





Description	App'd	Date	Revision

EROSION & SEDIMENT CONTROL PLAN  
FOR: APN 407-13-018  
116 VALLECITOS WAY  
LOS GATOS, CALIFORNIA



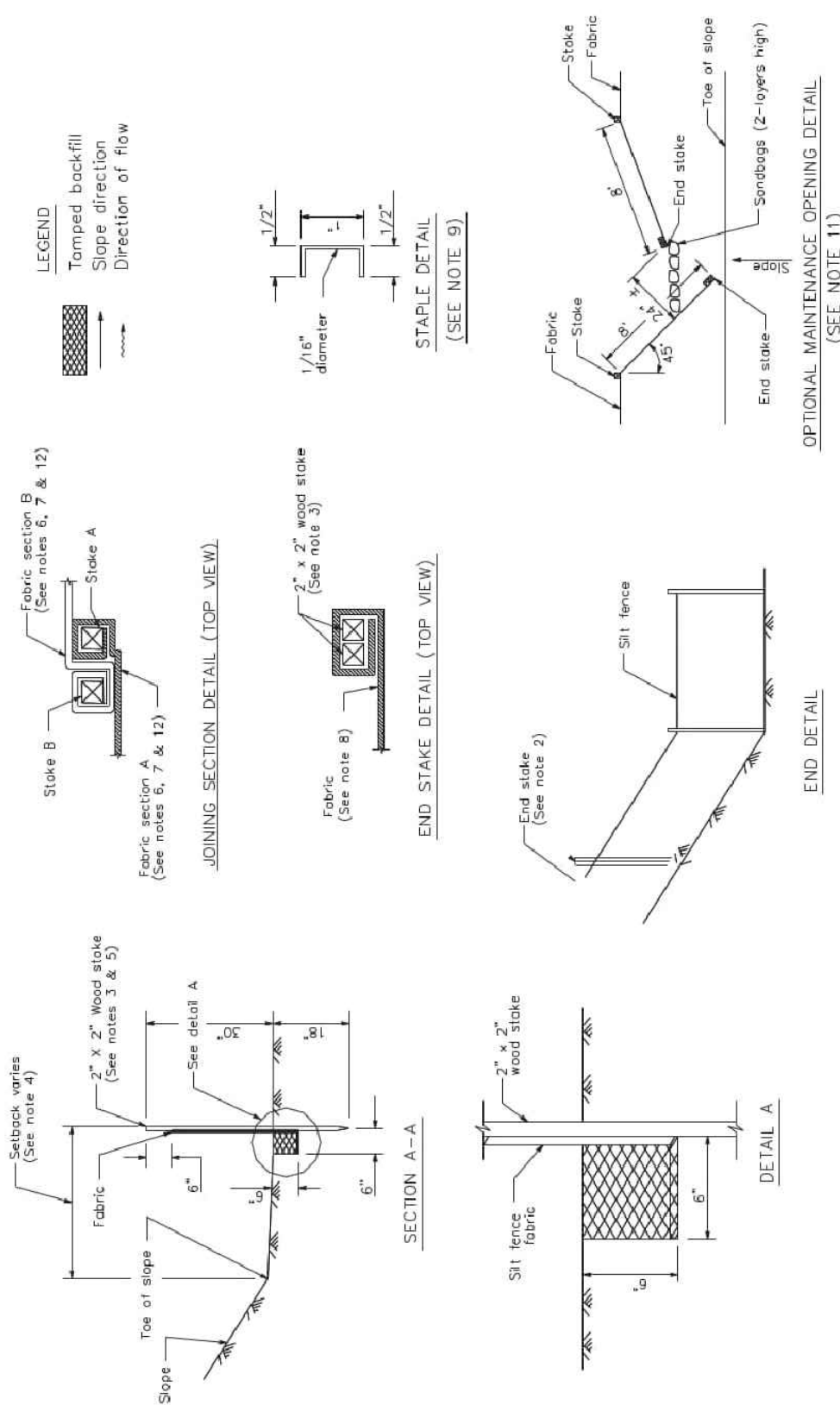
APPROVED BY:  
JACOB SAIDIAN  
*Jacob Saidian*  
No. 28350, State of California, Civil Engineering, dated 06/30/26

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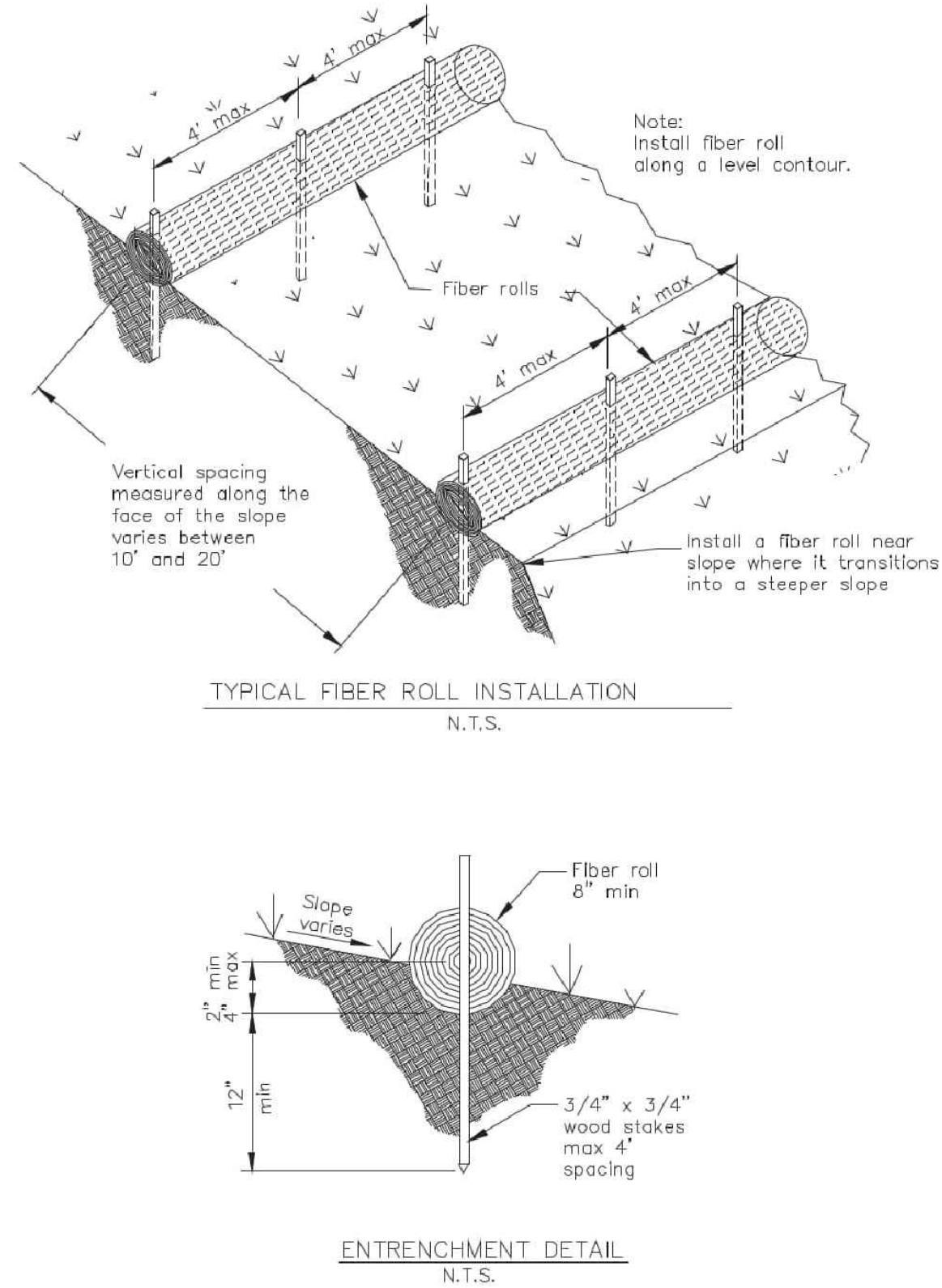
Silt Fence

SE-1



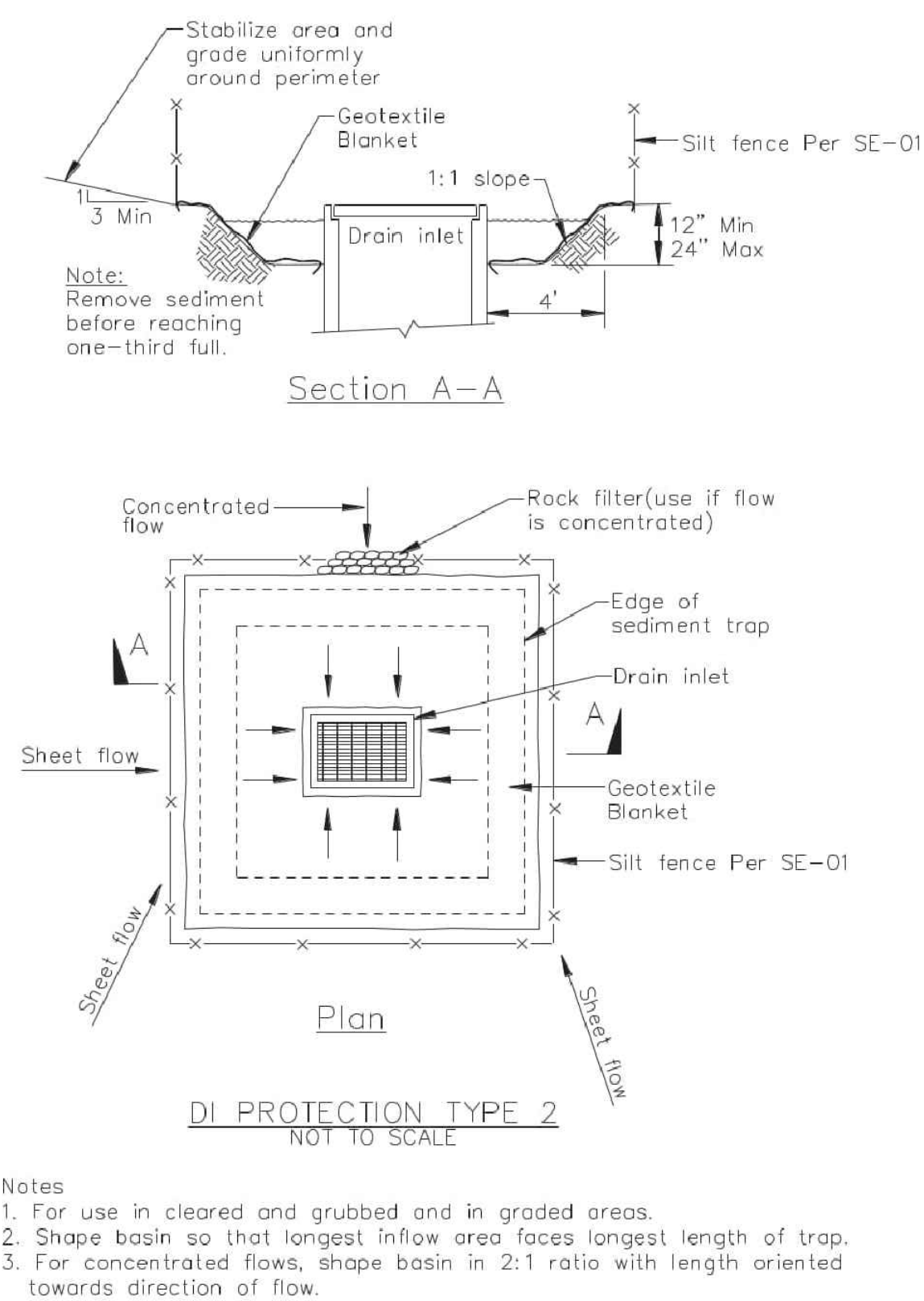
Fiber Rolls

SE-5



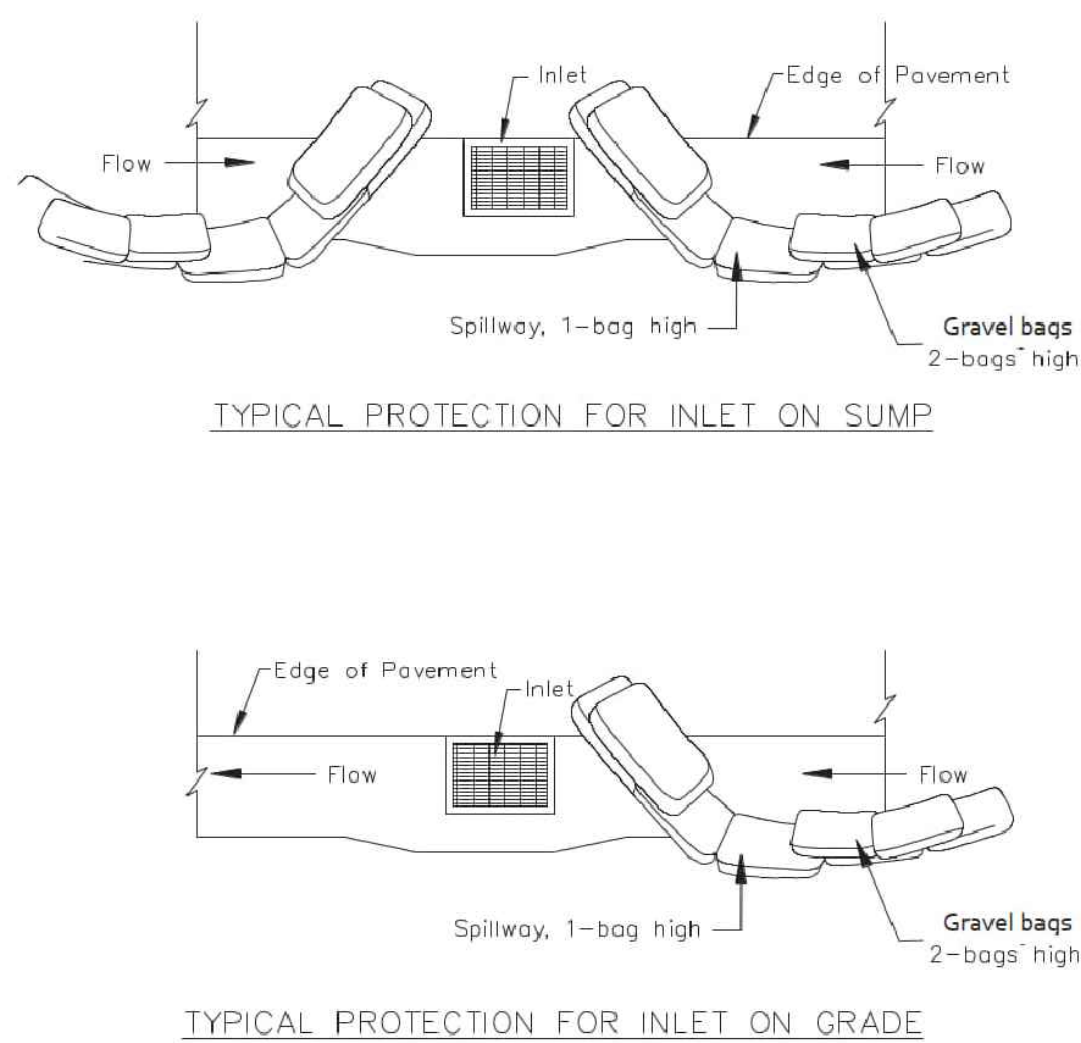
Storm Drain Inlet Protection

SE-10



Storm Drain Inlet Protection

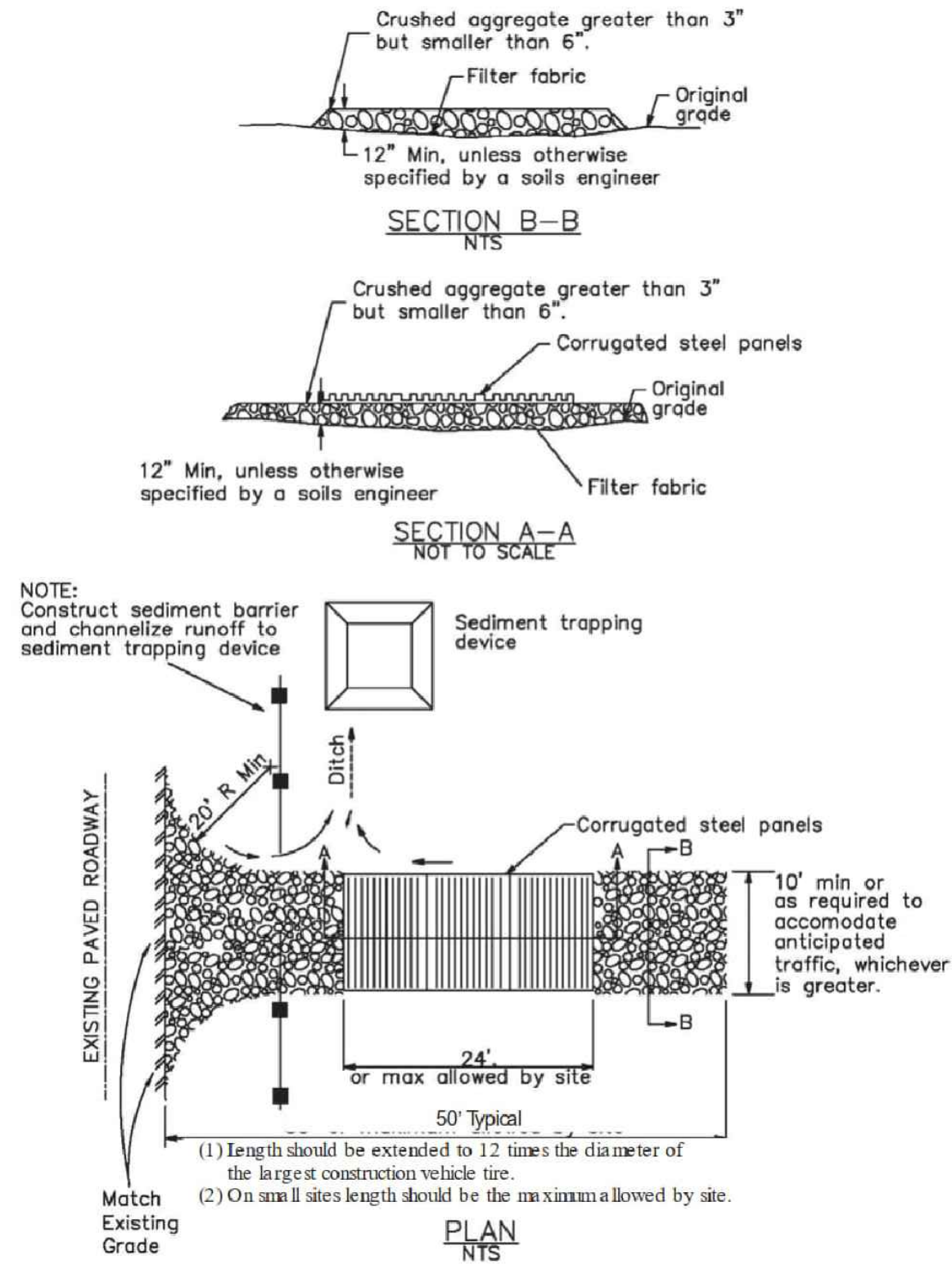
SE-10



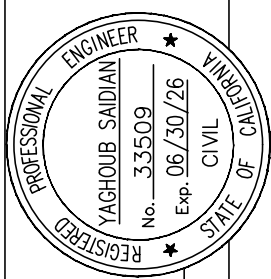
- NOTES:
1. Intended for short-term use.
  2. Use to inhibit non-storm water flow.
  3. Allow for proper maintenance and cleanup.
  4. Bags must be removed after adjacent operation is completed.
  5. Not applicable in areas with high silts and clays without filter fabric.
  6. Protection can be effective even if it is not immediately adjacent to the inlet provided that the inlet is protected from potential sources of pollution.

DI PROTECTION TYPE 3  
NOT TO SCALE

Stabilized Construction Entrance/Exit TC-1



Revision	Date	App'd	Description



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JACOB SAIDIAN  
No. 33509  
CIVIL  
EXPIRES 06/30/26

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